

1. Agenda

Documents:

[HARBAGENDA11.15.18.PDF](#)

2. Meeting Materials

Documents:

[HARBPACKET111518R1.PDF](#)



City of St. Augustine

Historic Architectural Review Board



A G E N D A

Thursday, November 15, 2018 1:00 p.m. *Amended

Alcazar Room - City Hall, 75 King Street, St Augustine, Florida

1. Roll Call
2. General Public Comments for Items not on the Agenda
3. Approval of Minutes
4. Modification and approval of Agenda
5. Recommended Expedited Hearing Items*
 - a) Certificate of Appropriateness 2018-0147
A to Z Custom Homes, Inc. – Applicant
Harold E. Fethe and Frances G. Charlson – Owner
[71 Marine Street](#)
To replace a copper metal roof with a coated aluminum roof in a medium bronze finish.
6. Continued Items from the previous HARB meetings
 - a) Opinion of Appropriateness 2018-0111
(Continued from September 20, 2018)
City of St. Augustine – Owner and Applicant
[20 Spanish Street](#)
To make alterations to an existing parking lot to include adding landscaping, constructing a masonry wall, and installing paving material, lighting, and signage.
Requested a Continuance to the December 20th Meeting
 - b) Certificate of Appropriateness 2018-0121
(Continued from September 20, 2018)
Don Crichlow & Associates – Applicants
Steven and Linda Lohrke – Owners
[320 Charlotte Street](#)
To construct a second-story onto an existing one-story Frame Vernacular home and to build a two-story garage apartment.
7. Certificate of Appropriateness
 - a) 2018-0134
Don Crichlow & Associates – Applicant
18 St. George Street LLC – Owner
[18 St. George Street](#)
To construct new buildings between Spanish and St. George Streets designed with Spanish Colonial character.

8. Certificate of Demolition

a) 2018-0144

Sarah Ryan, Architect - Applicant
Dave and Lynn McKee - Owners

[329 St. George Street](#)

Partial demolition of a building constructed in 1910, recorded in the Florida Master Site file, and not located in a district to include the windows, roof, and chimney.

b) 2018-0135

R.L. Bailey – Owner and Applicant

[101 South Street](#)

To demolish a building constructed in 1954 that does not contribute to the Lincolnville National Register Historic District and that is not recorded in the Florida Master Site File.

c) 2018-0139

Steven Binninger – Applicant

Green Family Investment LTD – Owner

[55 Masters Drive](#)

To demolish a building constructed in 1910 that is recorded in the Florida Master Site File and is not located in a National Register Historic District.

d) 2018-0140

Shawn and Renee Aunchman – Owner and Applicant

[478 Arricola Avenue](#)

To demolish a building constructed in 1955 that is recorded in the Florida Master Site File and is not located in a National Register Historic District.

e) 2018-0143

James Philcox – Owner and Applicant

[111 Zoratoa Avenue](#)

To demolish a building constructed in 1922 that is recorded in the Florida Master Site File and is not located in a National Register Historic District.

f) 2018-0141

Muscetta Custom – Applicant

BETA Three of Alachua LLC – Owner

[28 Magnolia Avenue](#)

Partial demolition of a building constructed in 1917 that is recorded in the Florida Master Site File and not located in a National Register District to include removal of windows, doors, exterior walls, and a portion of the roof (after-the-fact).

- g) 2018-0149 BETA Three of Alachua LLC– Applicant and Owner
[28 ½ Magnolia Avenue](#)
To demolish a guest house constructed in 1935 that is recorded in the Florida Master Site File and is not located in a National Register Historic District.
9. Appeal of Staff Interpretation of the Design Standards for Entry Corridors
a) 2018-0146 Antigua Veterinary Practice – Applicant
Eric Searcy Rentals LLC - Owner
[195 San Marco Avenue](#)
To appeal the staff interpretation of the Design Standards that a metal roof is not a compatible replacement roof material to maintain the character of the legacy building as per 6.4.1.c.
10. Incomplete Items
a) Certificate of Appropriateness Martin Gould - Applicant
2018-0145 EMA Inc. - Owner
[36 Charlotte Street](#)
To construct a trellis over the front seating area and to convert the front fence into a wall.
Need Owners Signature
11. Preliminary Design Approval for the Design Standards for Entry Corridors
a) 2018-0148 City of St. Augustine Police Department
Applicant, City of St. Augustine – Owner
[151 King Street](#)
To install color LED lighting on the exterior of the building.
12. Other Business
a) Selection of Chair & Vice-Chair for Fiscal Year 2018-2019
b) Review annual meeting schedule
13. Review of Conflict Statements from Previous Meetings
14. Adjournment

Notices: In accordance with Florida Statute 286.0105: “If any person decides to appeal any decision made by the Historic Architectural Review Board with respect to any matter considered at this scheduled meeting or hearing, the person will need a record of the proceedings, and for such purpose the person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.” In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the individual or agency sending notice not later than seven days prior to the proceeding at the address given on the notice. Telephone: (904) 825-1007 or 1-800-955-8771 (TDD).



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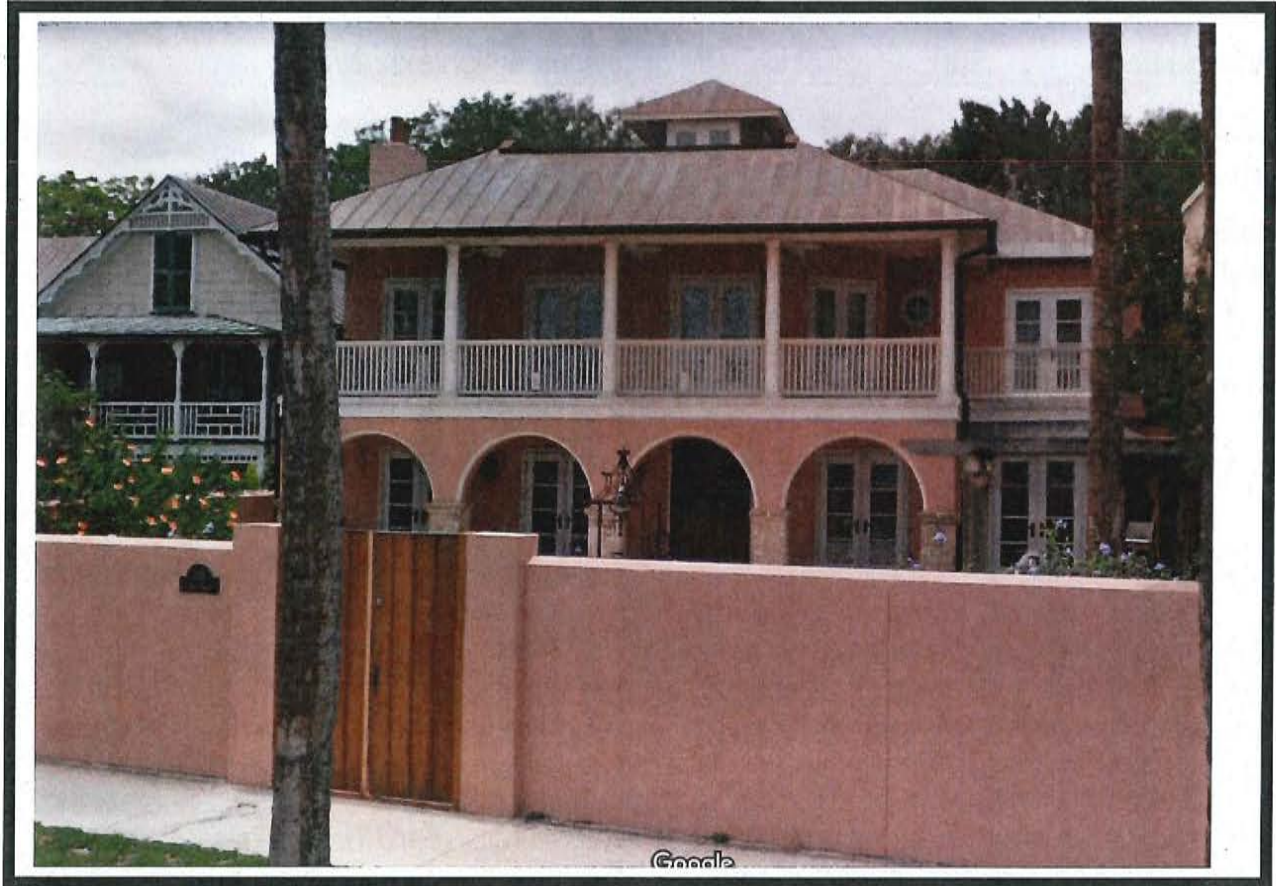
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CITY OF
ST AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0147

Address: 71 Marine Street

Charles McHone/A to Z Custom Homes, Inc., Applicant

Harold E. Fethe and Frances G. Charles, Owner

Project description: To replace a copper metal roof with a coated aluminum roof in a medium bronze finish.

Architectural Style: Spanish Colonial	FMSF: SJ02516
National Register: Contributing to NRHD	Construction date: ca. 1798
Archaeology Zone: 1C	Zoning District: HP-1
Parcel number: 198560 0000	
Agenda Item: 5(a)	Previous Action(s): N/A

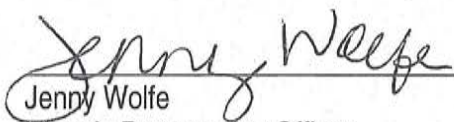
STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Appropriateness to replace a copper roof with a coated aluminum panel roof in medium bronze finish.

- the existing roof is a copper standing seam metal roof and a segment of that material and the proposed material was provided to staff which is available for board inspection at the meeting
- the applicant indicates the copper roof was painted and the replacement roof is as similar as can be found to match the existing roof
- the AGHP allows for replacement using the same material and since this is a different metal with a color coated finish and different aging qualities the substitute material could not be approved administratively
- the copper roof was not original to the Spanish Colonial period but was installed before permits were recorded and may have achieved historic significance in its own right
- copper roofing existing historically (a small dome on the Alcazar Hotel is copper clad)
- a compatible alternative to the copper roof would be appropriate according to the Secretary of the Interior's Standards; although roof materials in the AGHP for Spanish Colonial buildings are required to be wood shingles or in some cases slate or barrel tile; this is a pre-existing metal roof on a historic building that is allowed to be maintained and replaced in like kind
- *Note this is as an existing, historic building which has been altered and it is unlike other projects that are new construction reviewed by HARB from design to construction which must meet all aspects of Spanish Colonial construction including wood shake/shingle roofs*

STAFF RECOMMENDATION

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **APPROVE a Certificate of Appropriateness** to replace a copper metal roof with a coated aluminum roof in a medium bronze finish at **71 Marine Street** because it meets SOIS #2, 4, and 6, as a compatible material to the existing, potentially historic, roof material.


Jenny Wolfe
Historic Preservation Officer

COA F2018-0147
71 Marine Street
November 15, 2018

SUMMARY SCOPE OF WORK:

- the existing copper roof has been removed and the building has been re-sheathed and sealed pending HARB review of the proposed replacement material
- install an aluminum 16" wide panel roofing system with v-shaped crimp and medium bronze coated finish

CITY CODES/DESIGN GUIDELINES:

Architectural Guidelines for Historic Preservation

Pre-approved guidelines:

The HARB has found the following work items to be consistent with the AGHP and are included here for reference:

1. Roofing material: If photographic or physical evidence can be shown that another roofing material had previously existed on a building, that same material can be pre-approved

Second Spanish Period (1784-1821)

Roof types are gable and hip. Roof pitches varied from 30° to 45° with the lower pitches reflecting 19th century design. Flat roofs are not used. Roof surfaces are split wood shakes or shingles, although some larger buildings use slate or barrel tile.

Roofs and Roofing

Do...

- Identify, retain and preserve roofs and their functional and decorative features that are important in defining the overall historic character of the building. This includes the roof's shape, such as hip, gambrel and mansard; decorative features such as parapets, cornices, eaves, dormers, cupolas, towers, brackets, cresting, gutters and downspouts, chimneys, weather vanes and lightning rods; roofing material such as slate, wood, clay tile and metal; and the size, color and patterning of the material.
- Replace deteriorated roof surfacing with matching materials or new materials, such as composition shingles or tabbed asphalt shingles in dark shades that match the original in composition, size, shape, color and texture.
- Replace in kind an entire feature of the roof that is too deteriorated to repair, if the overall form and detailing are still evident, using the physical evidence as a model to reproduce the feature. Examples can include a large section of roofing, a dormer or a chimney. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

Don't...

- Radically change, damage or destroy roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished. Examples of such changes are converting a gable roof to a hip roof, or a flat roof to a pitched roof. Such changes should only be considered as part of a documented restoration to recreate the original appearance of the building.
- Strip the roof of sound historic material such as slate, clay tile, wood or architectural metal.
- Install new materials, such as roll roofing, whose composition, size, shape, color and texture alter the appearance of the building. Examples of such changes are replacing hexagonal singles with rectangular shingles, replacing wood shingles with fiberglass shingles, or replacing sheet metal with shingles. Such changes should only be considered as part of a documented restoration to recreate the original appearance of the building.
- Permit a leaking roof to remain unprotected so that accelerated deterioration of historic building materials such as masonry, wood, plaster, paint and structural members occurs.
- Use a substitute material for the replacement part that does not convey the visual appearance of the surviving parts or the roof, or that is physically or chemically incompatible.

Pre-1821

Roofs may be covered with either split wood shakes or wood shingles preferably of cedar or cypress. In some instances, slate or barrel tile roofs may be appropriate.

Secretary of the Interior's Standards for Rehabilitation that apply:

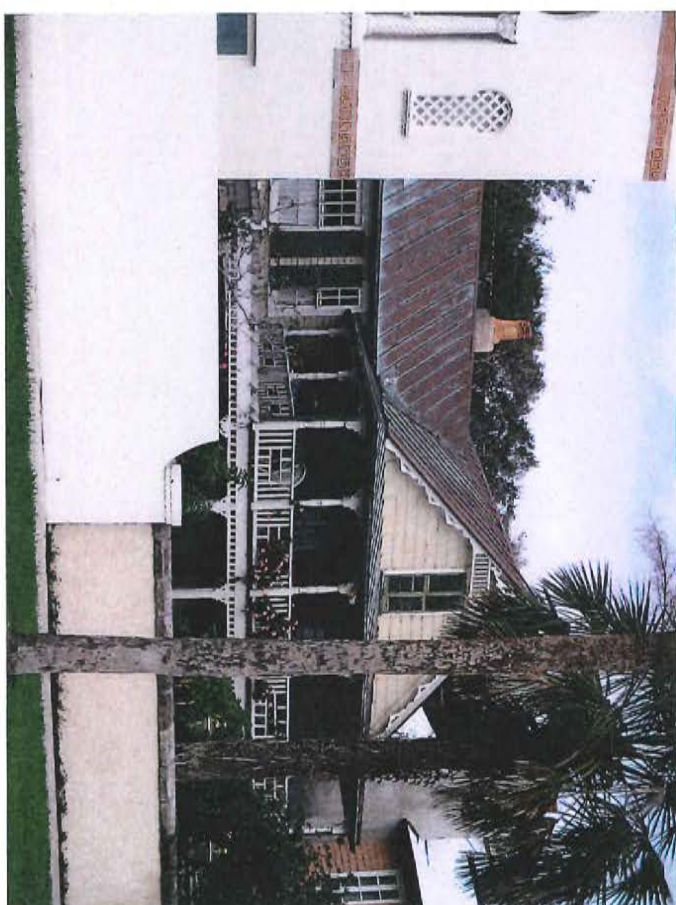
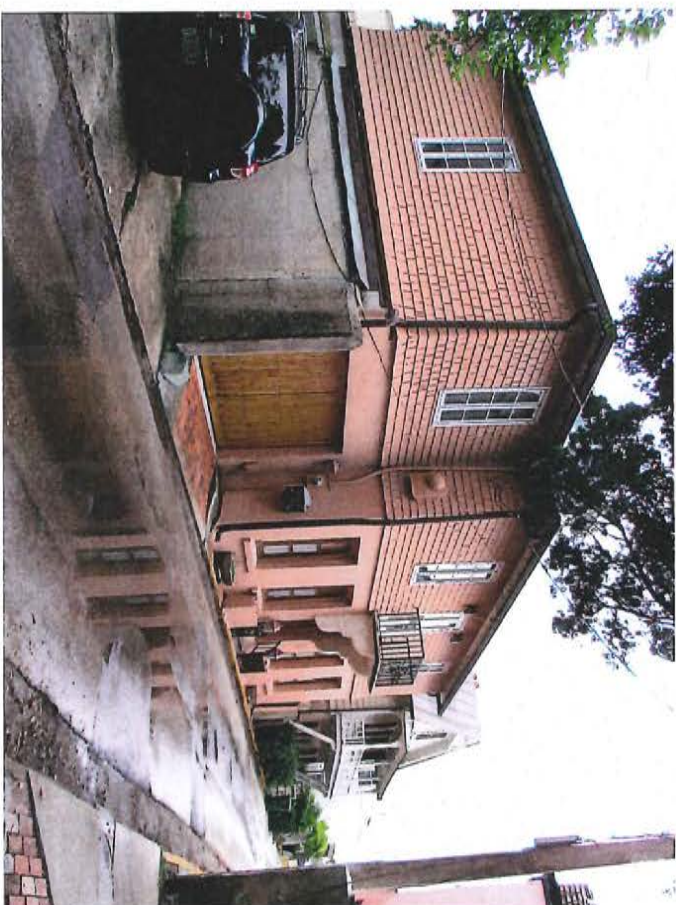
2. The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided. [Retention of Distinguishing Architectural Character]
4. Most properties change over time; those changes have acquired historic significance in their own right shall be retained and preserved. [Retention of Significant Later Alterations and Additions]
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of the deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence. [Repair or Replacement of Deteriorated or Missing Architectural Features Based on Historic Evidence]

COA F2018-0147
71 Marine Street
November 15, 2018

LIST OF ATTACHMENTS:

1. Staff photographs
2. Sanborn map
3. Sample materials will be provided at the meeting

↙ 77 Marine St./171 Avenida Mendez



Page 1
__ original
__ update

HISTORICAL STRUCTURES FORM
FLORIDA MASTER SITE FILE

Site 8 SJ 2516
Recorder # _____

SITE NAME: 71 Marine Street
HISTORICAL CONTEXTS: 18th century
NAT. REGISTER CATEGORY: building / /
OTHER NAMES OR MSF NOS:
COUNTY: St. Johns OWNERSHIP TYPE: corporate
PROJECT NAME: DHR NO:
LOCATION: (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS: 71 Marine Street
VICINITY OF/ROUTE TO: East side of Marine St. between St. Francis & Bridge Sts. (and east side of Avenida Menendez
SUBDIVISION: City of St. Augustine BLOCK: 12 LOT: 22
PLAT OR OTHER MAP:
TOWNSHIP: 7S RANGE: 30E SECTION: 17
IRREGULAR SEC? __ Y __ N LAND GRANT:
USGS 7.5' MAP:
UTM: ZONE: 17 EASTING: 470085 NORTHING: 3306285
COORDINATES: LATITUDE ____D ____M ____S LONGITUDE ____D ____M ____S

HISTORY

ARCHITECT:
BUILDER:
CONSTRUCTION DATE: +1798 RESTORATION DATE(S): / /
MODIFICATION DATE(S):
MOVE: DATE: / / ORIG LOCATION:
ORIGINAL USE(S): priv. resid.
PRESENT USE(S): priv. resid.

DESCRIPTION

STYLE: Spanish Colonial
PLAN: EXTERIOR: Rectangular
INTERIOR:
NO.: STORIES: 2.5 OUTBLDS: PORCHES: DORMERS:
STRUCTURAL SYSTEM(S): masonry (coquina); wood frame
EXTERIOR FABRIC(S): stucco, wood shingles
FOUNDATION: TYPE masonry, stone (coquina)
PORCHES: east
ROOF: TYPE hip on hip SURFACE metal (copper) standing s
SECONDARY STRUCS. hip, north room
CHIMNEY: NO. 1 MTLs stuccoed LOCNS offset later
WINDOWS: DHS 1/2, 2/2; movable louvers
EXTERIOR ORNAMENT: round wood columns
CONDITION: SURROUNDINGS: urban, narrow streets; sets near s
NARRATIVE (general, interior, landscape, context; 3 lines only)

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? __ Y __ N (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS

SUPPLEMENT FOR FMSF SITE FORMS

Site 8SJ2516

SITE NAME 71 Marine Street
NATURE OF SITE standing structure archaeological site both

A. NARRATIVE DESCRIPTION OF SITE

The colonial architecture of St. Augustine was influenced by a royal ordinance concerning the laying out of new towns issued by the King of Spain in 1573. It was decreed that in hot climates the streets should be narrow, and that: "All town houses are to be so planned that they can serve as a defense or fortress against those who might attempt to create disturbances or occupy the town. Each house is to be so constructed that horses and household animals can be kept therein, the courtyards and stockyards being as large as possible to insure health and cleanliness."

Thus, in St. Augustine, the streets were narrow, and the houses built right upon them, with walls protecting the courtyards from the street.

The colonial house at 71 Marine Street shows the effects of these early regulations, being built right to the street line with a masonry wall continuing from the facade as if to enclose a compound.

The house is two-and-one-half stories. The first floor is constructed of coquina, the porous native shellstone quarried on nearby Anastasia Island and plastered for protection against the elements. The stucco finish has a rough cast surface.

The first floor is the colonial part of the building. Turn of the century photographs show this as a one-story building with wood shingled gable roof of north-south orientation. Sometime between 1910 and 1914 the upper floors were added and modifications made to the original part of the house.

The upper floors are wood frame with wood shingle siding that flares to the base. There is a hip roof with a hip cupola on the main block, with a lower hip over a room on the north side. Roof covering is copper, standing seam.

The newer part of the building is oriented towards the bayfront rather than Marine Street, and has a two-story hip-roofed porch with clipped corners and paired round wood columns. There is a treed lot towards the bay with a low masonry wall.

Windows are double-hung 2/2 and 1/1 sash and have blinds with moveable louvers. There is one stuccoed chimney with terra cotta chimney pots.

This house, as remodeled, is similar in lines to the Bronson Cottage at 252 St. George Street (designed by Alexander Jackson Davis) which may have served as an inspiration for the enlargements made in the early 20th century.

three doors and two windows along Marine Street and a black family in residence. The 1885 City Directory lists a black boatman, Henry Glover, living on Marine Street. No address is specified, but this is a likely location as the boat basin was only a few feet southeast of the house, and birth records show he had several children the approximate ages of those shown in the picture. He later moved to Lincolnville and became a building contractor.(7)

In 1888 Judge Long sold the house to Celia Whipple Wallace, who later acquired the house to the south as well. The 1899 Sanborn map shows 71 Marine Street as "old" and "vacant." In 1901 the Harvey and Mose Plumbing Company sued Celia Wallace in Chicago for nonpayment of a bill. She failed to appear and made no payments, so her property in St. Augustine was ordered sold to pay the judgment. In 1902 the two houses were sold at public auction for \$925 to W. W. Dewhurst.(8)

Dewhurst (1850-1927) studied at Harvard and moved to St. Augustine where he became a lawyer and served as postmaster, mayor and president of the Board of Trade. He was also a pioneer historian. His book The History of St. Augustine was published by G. P. Putnam's in 1881, reprinted in 1885 and brought back to print in 1968 by Academy Books of Rutland, Vt. which noted that "It is one of the valuable source books of local history recommended in The Harvard Guide to American History." His brother George was an aide to Col. Thomas Wentworth Higginson, author, abolitionist and commander of a famous black regiment during the Civil War. After the war, George Dewhurst tried to establish a colony for freed slaves at Port Orange, Florida. W. W. Dewhurst served as treasurer of the Buckingham Smith Benevolent Association, established by a bequest of the scholar and diplomat Thomas Buckingham Smith (1810-1871) to aid the black people of St. Augustine.(9)

The Marine Street house remained "old" and "vacant" for some years, but between 1910 and 1913 Dewhurst had it remodeled and enlarged with a shingled wood frame story-and-a-half above the original coquina section and transformed it into a stylish bayfront "cottage." Ownership remained in the Dewhurst family, through his wife and daughter, until 1948, always as rental property. For many years, beginning about 1914, it was leased to the Dickman family.(10)

Robert Neil Dickman (1866-1919) was the son of the Chief Justice of Ohio. Born in Cleveland, he graduated from the University of Michigan in 1886, where he made pioneer discoveries in milk bacteria with Dr. Victor Vaughn. He became head chemist of the Otis Steel Plant in Cleveland, then went into business with his own laboratory doing analyses of iron ore from the Great Lakes ranges. In 1892 he opened an office in Chicago. From 1913 until his death he was consulting engineer with Robert W. Hunt and Co.

In a tribute that appeared in the January 1920 issue of Mining and Metallurgy, published by the American Institute of Mining and Metallurgical Engineers, it was noted:

"Mr. Dickman was identified with many of the big enterprises and developments of this country: he was connected with all the trans-continental railroads and large steel corporations. He had the confidence of James J. Hill, E. P. Ripley and E. H. Harriman, the last regarding him as one of the foremost men of his profession, and was guided by his advice in many of his enterprises. He was the first engineer.

In the 1930s Mrs. Dickman was one of two women members to serve on the St. Augustine Historical Preservation and Restoration Association. She gave her views of it in a 1937 newspaper interview:

"In a new country, where there are so few old shrines, and the policy has been, every few years, to tear down buildings, and put up bigger ones, it is a wonderful thing to have such a movement as the Carnegie Restoration plan for St. Augustine.

"We, who love beauty and association of the past, have deplored the passing of the ancient Spanish houses, and the great changes we have seen in the narrow streets.

"We have often wished that the old part of the city had been zoned as many European cities are, and that we could have kept intact the quaint houses with the overhanging balconies, and the charm of the past that pervades all old places.

"Now comes our opportunity that will enable us to make St. Augustine one of the outstanding cities in America, for no other place in the country has such historic background and such natural beauties to enhance it.

"What different elements have made their impress upon St. Augustine—Indian, Spanish, French and English; it would be criminal not to preserve and re-create these epochs for the coming generations, so that they may see history in its unfolding in a country where everything seems new."
(17)

During World War II there was another resident with military connections. In 1944 it was reported:

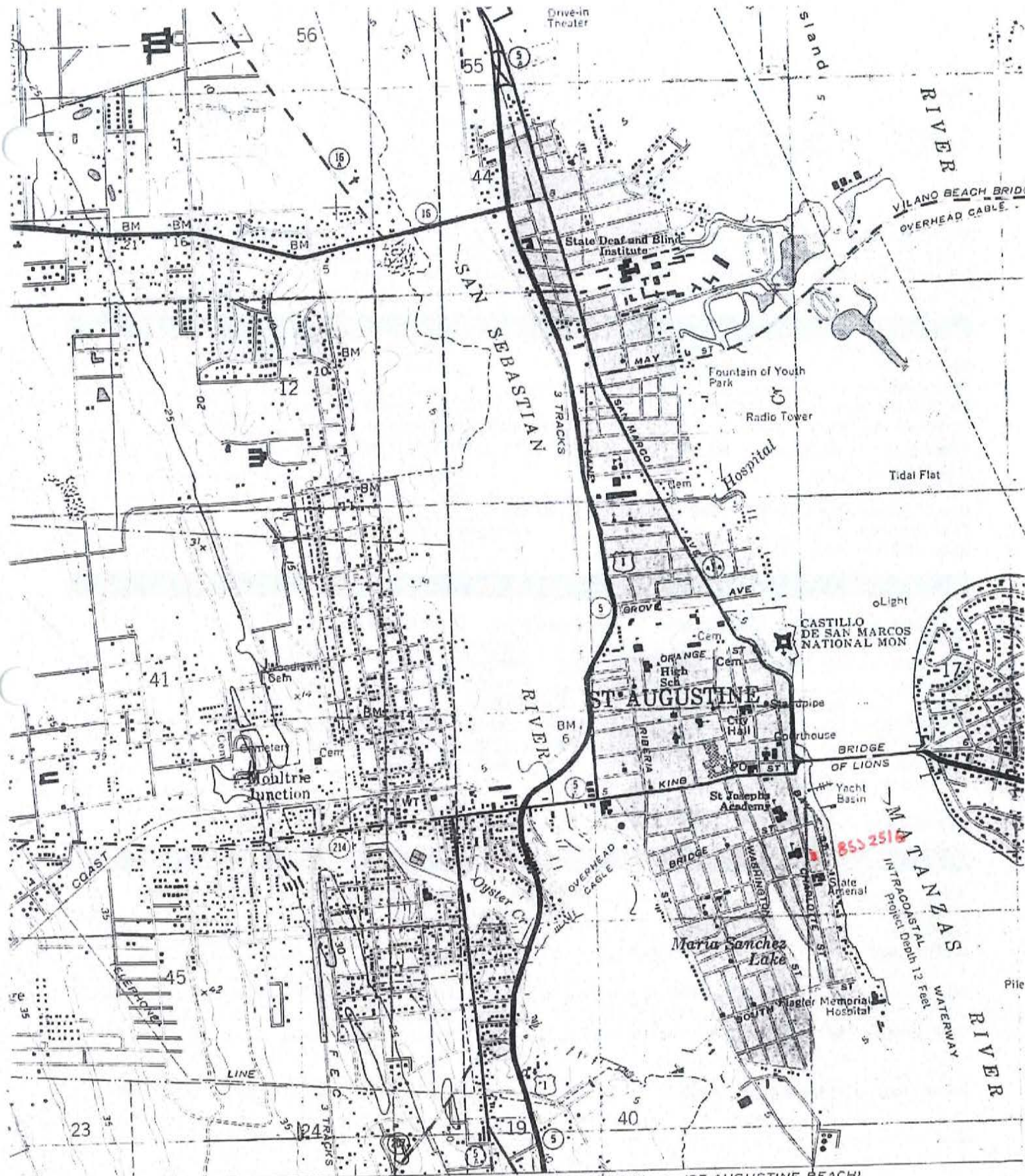
"Mrs. Edmund W. Searby, of No. 170 Bay Street, received a telegram from the War Department in September, informing her of the death of her husband, Brigadier General Edmund W. Searby, who was killed in action in France, September 14."(18)

In 1948 W. W. Dewhurst's daughter, Mary D. Blankenhorn of New York, sold the house to her last tenant, Mrs. Hughberta Prime. In 1954 it was bought by James A. Dart, millionaire owner of the Knotty Pine Bar. In 1959 it was sold to Frederick S. Townley, who lived there until 1972 when it was purchased by Charles R. Sanders, Jr. of the Globe and Anchor Book Company.(19)

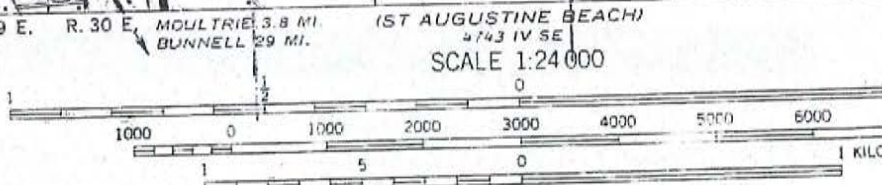
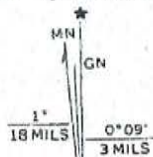
1. Kathleen Deagan, et. al, "A Sub-Surface Survey of the St. Augustine City Environs," (Tallahassee, 1976); Juan Jose Elixio de la Puente, "Plano . . . de la Plaza de San Agustin," January 22, 1764; Mariano de la Rocque, "Plano Particular de la Ciudad de San Agustin," April 25, 1788; East Florida Papers, Escrituras, 1784-1821; Albert Manucy, The Houses of St. Augustine, 1565-1821 (St. Augustine, 1962), pp. 22-25 and 41-47.

2. Anon., "Copy of a Plan of the City of St. Augustine," 1833; 1885 and 1894 Birds-Eye Views; Sanborn Fire Insurance Maps, 1888-1958.

3. East Florida Papers, Escrituras, Bundle 371, folios 322v-324v; Bundle 371, folios 463-5; Bundle 372, folios 109-10.



ST. AUGUSTINE QUADRANGLE



CONTOUR INTERVAL 5 FEET
 DATUM IS MEAN SEA LEVEL
 DEPTH CURVES AND SOUNDINGS IN FEET—DATUM IS MEAN LOW WATER
 SHORELINE SHOWN REPRESENTS THE APPROXIMATE LINE OF MEAN HIGH WATER
 THE MEAN RANGE OF TIDE IS APPROXIMATELY 4.5 FEET

☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site #8 **SJ02516**
 Field Date **5-19-2016**
 Form Date **5-19-2016**
 Recorder # _____

Site Name(s) (address if none) Rovira-Dewhurst House Multiple Listing (DHR only) _____
 Survey Project Name Inv. of Structures within the St. Augustine NRHD Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☒ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 71 Direction _____ Street Name Marine Street Type Street Suffix Direction _____
 Address: _____
 Cross Streets (nearest / between) _____
 USGS 7.5 Map Name ST. AUGUSTINE USGS Date 1956 Plat or Other Map _____
 City / Town (within 3 miles) St. Augustine In City Limits? ☒ yes ☐ no ☐ unknown County St. Johns
 Township 7S Range 30E Section 18 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 1985600000 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting Northing
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year 1798 ☐ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Cabin) From (year): _____ To (year): _____
 Current Use Private Residence (House/Cottage/Cabin) From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: _____ Nature: balcony supports, windows, ext. fabric
 Additions: ☒ yes ☐ no ☐ unknown Date: _____ Nature: single car garage, 2nd story,
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

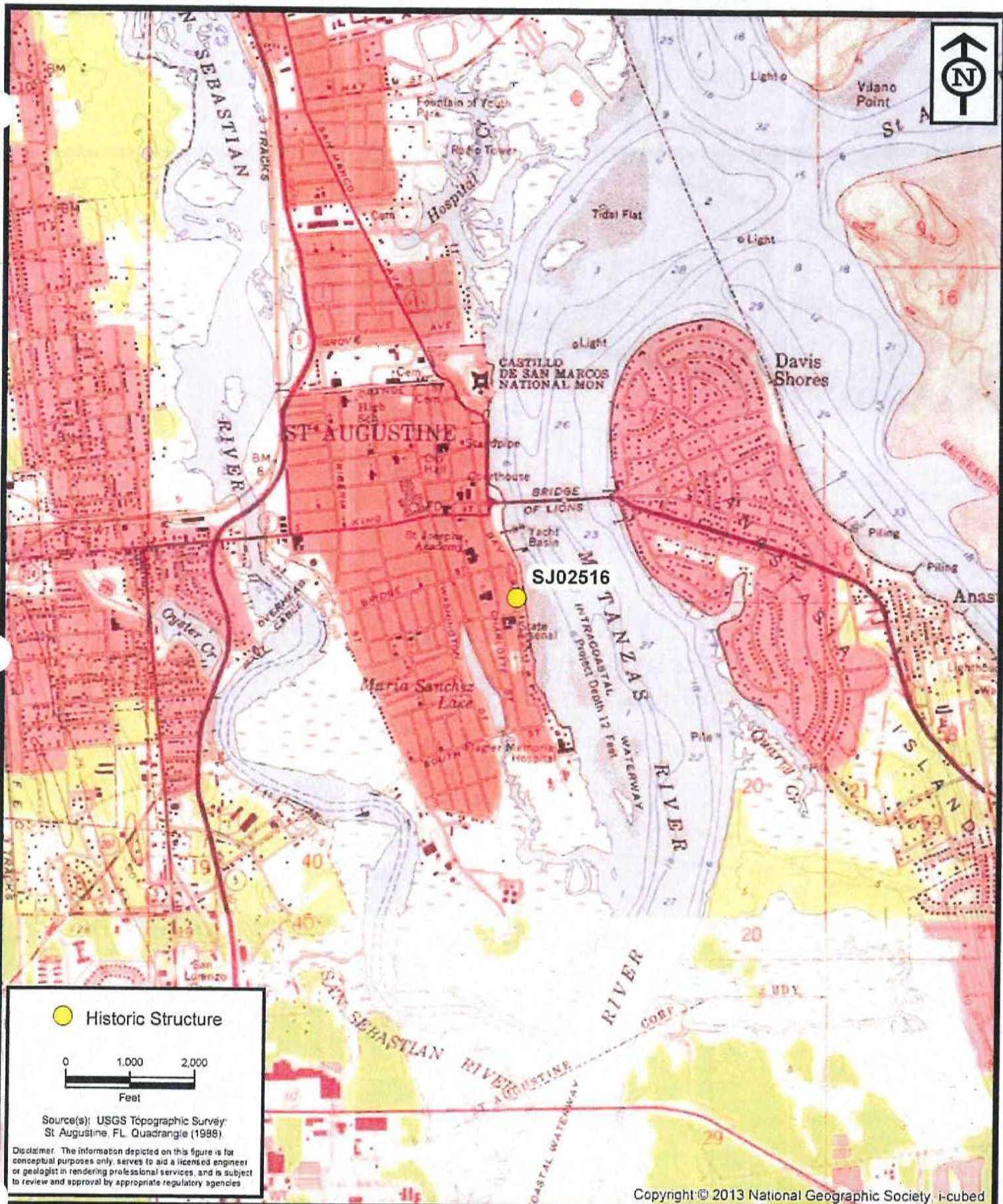
Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown Describe _____

DESCRIPTION

Style: Spanish Colonial Exterior Plan Rectangular Number of Stories 2.5
 Exterior Fabric(s): 1. Stucco 2. Wood shingles 3. _____
 Roof Type(s): 1. Hip on hip 2. _____ 3. _____
 Roof Material(s): 1. Sheet metal: standing seam 2. _____ 3. (copper)
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) 8-light composite casement on second floor; arched 6-light wood casement inset with stucco sill
 Distinguishing Architectural Features (exterior or interior ornaments) jigsaw brackets under eaves

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) flush with Marine Street ROW

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				



**ENVIRONMENTAL
SERVICES, INC.**

7220 Financial Way, Suite 100
Jacksonville, Florida 32256
(904) 470-2200
(904) 470-2112 Fax

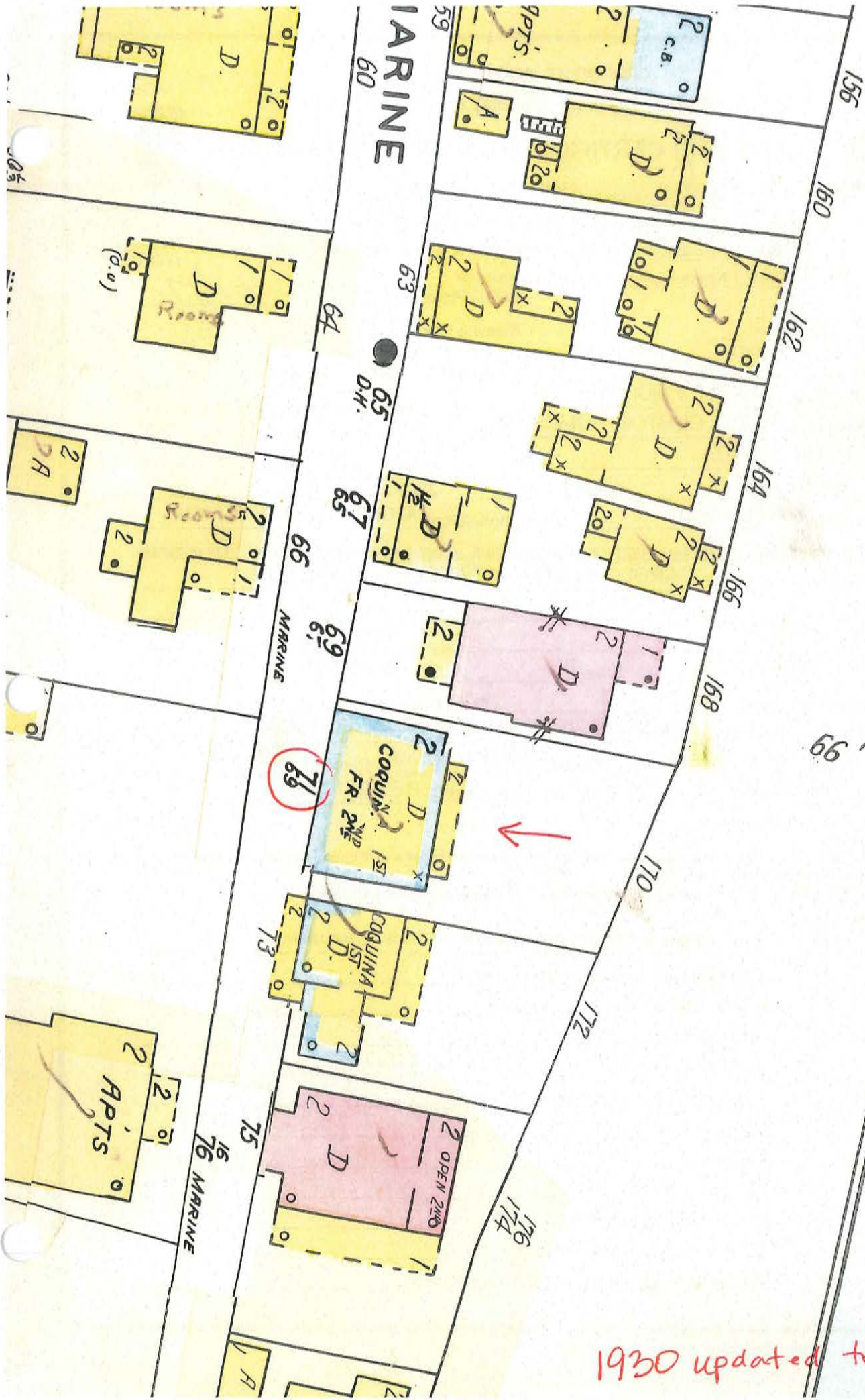
www.environmentalservicesinc.com

Project Location - SJ02516
City of St. Augustine
Historic Structure Survey
St. Johns County, Florida

Project:	AJ15441.00
Date:	May 2016
Drawn By:	AVL
Checked By:	JRN
Approved By:	PD
Figure:	1



Y
12



1930 updated to 1957

RECEIVED

10 24 2018

Planning/Building Dept.

CITY OF ST. AUGUSTINE

HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION



☐ OPINION ☒ CERTIFICATE OF APPROPRIATENESS



851
2516

\$50.00	Alterations to single family home, site work, and site feature
\$150.00	Construction of new single family home, major alterations, ad valorem tax exemption
\$100.00	Alterations to all other buildings, site work, or features except single family home
\$200.00	New construction except single family home

BDAC Project No. 2018-0147

Receipt No. 1473370

Meeting Date: Nov. 15, 2018

Advertising Costs \$ _____ Postage \$ _____ Paid on _____ Receipt No. _____

1. NAME OF APPLICANT CHARLES MCHONE

Business (if applicable) A TO Z CUSTOM HOMES, INC.

Address 4925 PORTER RD.

City SAINT AUGUSTINE State FL Zip Code 32095

Daytime telephone 904-669-8037 Other phone/email ATOZBUILDERS1@AOL.COM

The above contact information will be used for correspondence. Please ensure this information is accurate.

2. NAME OF PROPERTY OWNER HAROLD E FETHE / FRANCES G CHARLSON

Business (if applicable) _____

Address 71 MARINE ST.

City SAINT AUGUSTINE State FL Zip Code 32084

Daytime telephone (required) 650-520-5201 Other phone _____

3. PROJECT STREET ADDRESS 71 MARINE ST. SAINT AUGUSTINE FL. 32084

4. LEGAL DESCRIPTION: Lot 12 Block 22 Subdivision CITY OF ST AUG Parcel 1985600000

5. EXISTING USE RESIDENCE PROPOSED USE RESIDENCE

6. PROPOSED PROJECT WORK

A. DEMOLITION (If historic architectural features will be permanently removed a Certificate of Demolition is required and must be heard simultaneous with this application) ☐ YES ☐ NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

REPAIR REPLACE

- | | | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Roof <u>REMOVE EXISTING ROOF COVERINGS / REPLACE WITH ALUMINUM PANELS</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof structures (dormers, chimneys, etc.) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior finishes (stucco, masonry, siding) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Porch/Deck/Balcony _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Awning/Canopy _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior Doors _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Windows _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Shutters _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Foundation (including infill) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior lighting & other appurtenances _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing fences, walls & gates _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing parking, walkways & other site features _____ |

C. NEW CONSTRUCTION (check and specify all work items that apply)

- ☐ New building_____
- ☐ New addition_____
- ☐ New roof structures (dormers, chimneys, etc.)_____
- ☐ New porch/deck/balcony_____
- ☐ New awning/canopy_____
- ☐ New entrances_____
- ☐ New window opening/sashes_____
- ☐ New exterior lighting_____
- ☐ New fence/wall/gate_____
- ☐ New parking/walkways/other site features_____
- ☐ Exterior utility service/mechanical equipment_____

D. PAINT COLORS (check one)

- ☐ Scheme with pre-approved paint colors (exterior colors available upon request)
- ☐ Custom color scheme (provide color samples & building elevations showing color placement)
- ☒ No painting associated with proposed project

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

REMOVE EXISTING ROOF COVERINGS

INSTALL NEW KYNAR COATED 032 ALUMINUM PANELS - MED. BRONZE

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is for an Opinion of Appropriateness, I must still obtain a Certificate of Appropriateness before project work can begin. If this application is for a Certificate of Appropriateness and it is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work. Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME CHARLES MCHONE

SIGNATURE OF APPLICANT 

DATE 9-27-18

PRINT OWNER'S NAME FRANCES CHARLSON

SIGNATURE OF OWNER 

DATE 9-27-18

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

RECEIVED

OCT 24 2018

St. Augustine Building Dept.



CITY OF ST. AUGUSTINE
PLANNING & BUILDING DEPARTMENT
APPLICATION FOR PERMIT TO CONSTRUCT

APPLICATION No. _____

CONTRACTOR NAME CHARLES MCHONE ADDRESS 239 STATE ROAD 16
 CITY SAINT AUGUSTINE STATE FL ZIP 32084 PH. 904-669-8037 LIC. NO. CCC1330877
 PROPERTY OWNER HAROLD FETHE, FRANCES CHARLSON ADDRESS 71 MARINE ST
 CITY SAINT AUGUSTINE STATE FL ZIP 32084 PH. 650-520-5201

DESCRIPTION OF PROPERTY:

JOB ADDRESS 71 MARINE ST. PARCEL ID NO. 1985600000 LOT 12 BLK 22 SUBDIVISION CITY OF ST AUG
 ZONING _____ FLOOD HAZARD ZONE _____ CURRENT USE OF BLDG RESIDENCE PROPOSED USE OF BLDG RESIDENCE
 SQUARE FEET OF AFFECTED AREA _____ LEVEL OF ALTERATION _____

TYPE OF PERMIT: ☒ BUILDING ☐ ELECTRICAL ☐ PLUMBING ☐ MECHANICAL ☐ DEMOLITION ☐ BUILDING RELOCATION

DETAILED DESCRIPTION OF PROPOSED WORK: Remove existing roof covering / Install
New Aluminum Panels JOB COST: \$ _____

PRODUCT APPROVAL INFORMATION: PLEASE INCLUDE MANUFACTURER AND PRODUCT APPROVAL #'S

<u>Gulf Coast</u>	<u>032 Aluminum</u>	<u>11651.2 R3</u>

BONDING COMPANY NAME & ADDRESS _____

ARCHITECT OR ENGINEERS NAME & ADDRESS _____

MORTGAGE LENDERS NAME & ADDRESS _____

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO CONSTRUCT AS INDICATED. I CERTIFY THAT NO WORK HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND ALL WORK WILL BE PERFORMED IN COMPLIANCE WITH ALL CODES AND ORDINANCES REGULATING CONSTRUCTION. I UNDERSTAND THAT A SEPARATE PERMIT MUST BE OBTAINED FOR ALL APPLICABLE TRADES LISTED BELOW. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. JOHNS COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER LOCAL, STATE OR FEDERAL GOVERNMENTAL AGENCIES. IT IS THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PROVISIONS OF FLORIDA STATUTE 469.003 AND TO NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION IF ASBESTOS IS TO BE REMOVED.

NO EXCAVATIONS SHALL COMMENCE ON ANY STREET, ALLEY, RIGHT-OF-WAY OR UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION REGARDING THE LOCATION OF BURIED GAS OR ELECTRICAL UTILITY LINES. SUCH INFORMATION MAY BE REQUESTED BY PHONE, LETTER, AND FAX OR IN PERSON BY CONTACTING THE UTILITY NOTIFICATION CENTER IN THIS AREA. A 48 HOUR NOTICE IS REQUIRED FOR UNDERGROUND LINE LOCATION SERVICES.

WARNING TO OWNER: FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, YOU SHOULD CONSULT WITH YOUR LENDER OR LEGAL ADVISOR BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. THIS PERMIT IS VOID IF WORK IS NOT COMMENCED WITHIN 180 DAYS AND WILL EXPIRE BY TIME LIMITATION IF THE WORK IS ABANDONED FOR 180 DAYS OR MORE.

ISSUANCE OF A DEVELOPMENT PERMIT BY A MUNICIPALITY DOES NOT IN ANY WAY CREATE ANY RIGHT ON THE PART OF AN APPLICANT TO OBTAIN A PERMIT FROM A STATE OR FEDERAL AGENCY & DOES NOT CREATE ANY LIABILITY ON THE PART OF THE MUNICIPALITY FOR ISSUANCE OF THE PERMIT IF THE APPLICANT FAILS TO OBTAIN REQUISITE APPROVALS OR FULFILL THE OBLIGATIONS IMPOSED BY A STATE OR FEDERAL AGENCY OR UNDERTAKES ACTIONS THAT RESULT IN A VIOLATION OF STATE OR FEDERAL LAW. ALL OTHER APPLICABLE STATE AND FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THE DEVELOPMENT.

CONTRACTOR/OWNER SIGNATURE _____

DATE 9-27-18

STAFF USE ONLY _____

APPROVALS:

ZONING _____ DATE _____
 ARCHITECTURAL _____ DATE _____
 FIRE MARSHAL _____ DATE _____
 ARCHAEOLOGY _____ DATE _____
 UTILITY FEES _____ DATE _____
 PUBLIC WORKS _____ DATE _____
 BUILDING OFFICIAL _____ DATE _____

PERMIT FEES:

BUILDING \$ _____
 PLAN CHECK \$ _____
 ELECTRICAL \$ _____
 PLUMBING \$ _____
 MECHANICAL \$ _____
 STATE SURCHG. \$ _____
 OTHER \$ _____
 TOTAL FEES \$ _____

SUB-CONTRACTOR SIGN OFF:

ELECTRICAL SUB _____
 MECHANICAL SUB _____

PLUMBING SUB _____
 OTHER SUB _____



NOTICE OF COMMENCEMENT

State of Florida County of St. Johns

Permit No. _____

Tax Folio No. 1985600000

Public Records of St. Johns County, FL
Clerk number: 2018070285
BK: 4618 PG: 950
9/28/2018 11:04 AM
Recording \$10.00

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

Expiration Date of Notice of Commencement (the expiration date is 1 year from the Date of recording unless a different date is specified) _____

Owner's name (print) FETHE, HAROLD, CHARLSON, FRANCES

Owner's address 71 MARINE ST. SAINT AUGUSTINE, FL. 32084

Owner's interest in property RESIDENCE

Legal description of property CITY OF ST AUG S54 OF N89FT FRONT OF LOT 12 & PT OF N 35FT OF LOT 12 BLK 22

Property address 71 MARINE ST. SAINT AUGUSTINE, FL. 32084 < OR2168/82

General description of improvement REROOF - Aluminum Panels

Fee simple title holder, if other than owner (print) _____

Address _____

Contractor's name (print) CHARLES MCHONE

Phone (904) 669-8037

Address 4925 PORTER RD. SAINT AUGUSTINE, FL. 32095

Fax (904) 829-6647

Surety's name, if any (print) _____

Amount of bond \$ _____

Address _____

Phone () _____

Fax () _____

Lender's name (print) _____

Phone () _____

Lender's address _____

Fax () _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1) (A) 7, FLORIDA STATUTES:

Name (print) _____

Phone () _____

Address _____

Fax () _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES

OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES. PHONE NUMBER OF PERSON OR ENTITY DESIGNATED BY OWNER: _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT. UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS STATED IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager

Date Signed 9-27-18

Frances Charlson

ST. JOHNS

FL.

Print Name of Person Signing Above

In County Named

Of State

STATE OF FLORIDA COUNTY OF ST. JOHNS

The foregoing instrument was acknowledged before me this 27 day of September, 2018

by Frances Charlson as _____

Type of authority...e.g. officer, trustee, attorney in fact

for Sdf Name of Party on Behalf of Whom Instrument was Executed

Notary Public Signature

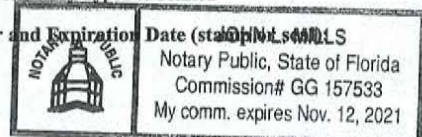
Known Personally _____ Or Identification X

Name of Notary Typed or Printed

Type of Identification FLCC

Commission Number and Expiration

Date (state) 9-27-18





GULFLOK™

0.032" ALUMINUM GULFLOK™ 16" WIDE ROOF PANEL OVER 15/32" PLYWOOD
FLORIDA PRODUCT APPROVAL NO. 11651.2 R3

Product Evaluation Report
GULF COAST SUPPLY & MANUFACTURING, LLC.

0.032" Aluminum GulfLok™ 16" Wide Roof Panel over 15/32" Plywood

Florida Product Approval #11651.2 R3

Florida Building Code 2017

Per Rule 61G20-3

Method: 1 -D

Category: Roofing

Subcategory: Metal Roofing

Compliance Method: 61G20-3.005(1)(d)
NON HVHZ

Product Manufacturer:

Gulf Coast Supply & Manufacturing, LLC.

14429 SW 2nd Place, Suite G30
Newberry, FL 32669

Engineer Evaluator:

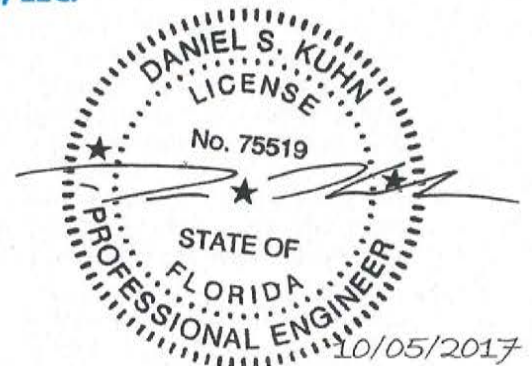
Dan Kuhn, P.E. #75519

Florida Evaluation ANE ID: 10743

Validator:

Locke Bowden, P.E. #49704

9450 Alysbury Place
Montgomery, AL 36117



Contents:

Evaluation Report Pages 1 – 5

FL# 11651.2 R3 • OCTOBER 5, 2017

PRODUCT EVALUATION REPORT



KUHN ENGINEERING, LLC

1200 CLINT MOORE RD. SUITE 9, BOCA RATON, FL 33487 • FL COA #30464



GULFLOK™

0.032" ALUMINUM GULFLOK™ 16" WIDE ROOF PANEL OVER 15/32" PLYWOOD
 FLORIDA PRODUCT APPROVAL NO. 11651.2 R3

Compliance Statement:

The product as described in this report has demonstrated compliance with the Florida Building Code 2017, Sections 1504.3.2.

Product Description:

GulfLok™, 7/8" Nailstrip Roof Panel, Minimum 0.028" Aluminum, Maximum 16" Coverage, Roof panel restrained with fasteners into minimum 15/32" plywood decking. Non Structural application.

Panel Material/Standards:

Material: Minimum 0.028" Aluminum 3105 H-24 conforming to Florida Building Code 2017 Section 1507.4.3.

Paint Finish Optional

Corrosion Resistance: Panel Material shall comply with Florida Building Code 2017, Section 1507.4.3.

Panel Dimension(s):

Thickness: 0.028" Minimum
 Width: 16" Coverage Maximum
 Female Rib: 7/8" Tall
 Male Rib: 3/4" Tall Rib with Slotted Strip
 Panel Seam: Snap Lock

Panel Seam Sealant:

Titebond Weathermaster Metal Roof Sealant apply 1/4"-5/16" diameter continuous bead on the male rib for Assembly B only.

Panel Fastener:

Through Panel Slot: (1) #10-12x1" Pancake Type A
 1/4" Minimum Penetration through Plywood.

Corrosion Resistance: Per Florida Building Code 2017, Section 1506.6, 1507.4.4

Substrate Description:

Minimum 15/32" thick, APA Rated plywood over supports at maximum 24" O.C.
 Design of plywood and plywood supports are outside the scope of this evaluation. Must be designed in accordance w/ Florida Building Code 2017.

Design Uplift Pressures:

Table "A"		
Panel Assembly	A	B
Maximum Total Uplift Design Pressure	52.5 psf	116.0 psf
Panel Slot Fastener Spacing	5 3/16" O.C.	5 3/16" O.C.
Sealant on Male Rib	NOT USED	USED
*Design Pressure includes a Safety Factor = 2.0.		



**GULFLOK™****0.032" ALUMINUM GULFLOK™ 16" WIDE ROOF PANEL OVER 15/32" PLYWOOD**
FLORIDA PRODUCT APPROVAL NO. 11651.2 R3**Code Compliance:**

The product described herein has demonstrated compliance with the Florida Building Code 2017, Sections 1504.3.2.

Evaluation Report Scope:

The product evaluation is limited to compliance with the structural wind load requirements of the Florida Building Code 2017, as relates to Rule 61G20-3.

Performance Standards:

The product described herein has demonstrated compliance with:

- UL 580-06 - Test for Uplift Resistance of Roof Assemblies
- UL 1897-12 - Uplift Test for Roof Covering Systems.

Reference Data:

1. UL 580-94 / 1897-98 Uplift Test
Force Engineering & Testing, Inc. (FBC Organization # TST-5328)
Report No. 117-0337T-10 Dated 03/07/2011
2. Certificate of Independence
By Dan Kuhn, P.E. (FL# 75519) @ Kuhn Engineering, LLC
(FBC Organization # ANE ID: 10743)

Test Standard Equivalence:

1. The UL 580-94 test standard is equivalent to the UL 580-06 test standard.
2. The UL 1897-98 test standard is equivalent to the UL 1897-12 test standard.

Quality Assurance Entity:

The manufacturer has established compliance of roof panel products in accordance with the Florida Building Code and Rule 61G20-3.005(3) for manufacturing under a quality assurance program audited by an approved quality assurance entity.

Minimum Slope Range:

Minimum Slope shall comply with Florida Building Code 2017, including Section 1507.4.2 and in accordance with Manufacturers recommendations.

Installation:

Install per Manufacturer's recommended details.

Underlayment:

Shall comply with Florida Building Code 2017 section 1507.1.1.

Roof Panel Fire Classification:

Fire classification is not part of this acceptance.

Shear Diaphragm:

Shear Diaphragm values are outside the scope of this report.





GULFLOKTM

0.032" ALUMINUM GULFLOKTM 16" WIDE ROOF PANEL OVER 15/32" PLYWOOD
FLORIDA PRODUCT APPROVAL NO. 11651.2 R3

Design Procedure:

For roofs within the parameters listed on the load table, fastening pattern must at a minimum meet those listed for the applicable wind zone. For all roofs outside the parameters listed on the load table, design wind loads shall be determined for each project in accordance with FBC 2017 Section 1609 or ASCE 7-10 using allowable stress design. The maximum fastener spacing listed herein shall not be exceeded. This evaluation report is not applicable in High Velocity Hurricane Zone. Refer to current NOA or HVHZ evaluation report for use of this product in High Velocity Hurricane Zone.





GULFLOK™

0.032" ALUMINUM GULFLOK™ 16" WIDE ROOF PANEL OVER 15/32" PLYWOOD
 FLORIDA PRODUCT APPROVAL NO. 11651.2 R3

ENGINEER LOAD TABLE: 0.032" Aluminum GulfLok™ 16" Wide Roof Panel over 15/32" Plywood

Buildings having a Roof Mean Height $\leq 20'-0"$; Roof Slope: 2"/12" - 12"/12" Gable or Hip Roof; Wind Speeds 120-180mph, Exposure C, Risk Category II, Enclosed Building, based on Florida Building Code 2017.

WIND SPEED	FASTENER (MIN. 1/4" Penetration)	SUBSTRATE (MIN. 15/32")	120	130	140	150	160	170	180
			ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING
ZONE 1	#10-12x1"	CDX PLYWOOD	Assembly A	Assembly A	Assembly A	Assembly A	Assembly A	Assembly A	Assembly A
ZONE 2	#10-12x1"	CDX PLYWOOD	Assembly A	Assembly A	Assembly A	Assembly A	Assembly B	Assembly B	Assembly B
ZONE 3	#10-12x1"	CDX PLYWOOD	Assembly A	Assembly B	Assembly B	Assembly B	Assembly B	Assembly B	Assembly B

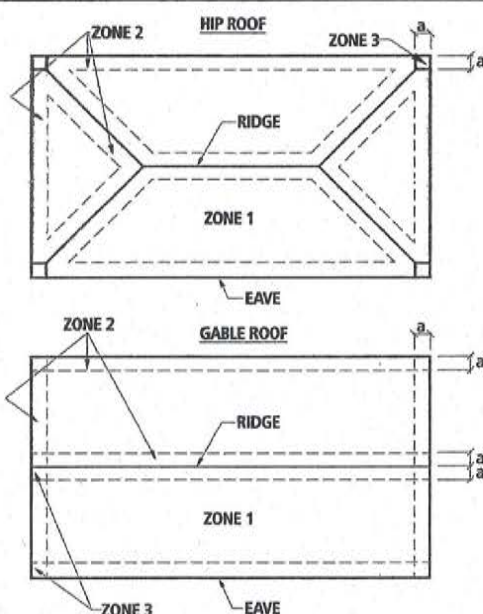
1.) **PANEL DESCRIPTION:** GULFLOK™, MIN. 0.028" ALUMINUM, 7/8" RIB, 16" MAXIMUM COVERAGE, SNAP SEAM.

2.) **PANEL FASTENER:** THROUGH PANEL SLOT: (1) #10-12X1" PANCAKE TYPE A, 1/4" MIN. PENETRATION THROUGH PLYWOOD.

3.) **MAXIMUM ALLOWABLE PANEL UPLIFT PRESSURE:** ASSEMBLY A: 52.5 PSF PANEL FASTENERS AT 5 1/8" O.C.; ASSEMBLY B: 116.0 PSF PANEL FASTENERS AT 5 1/8" O.C. WITH 1/4" - 5/16" DIAMETER CONTINUOUS BEAD OF TITEBOND WEATHERMASTER METAL ROOF SEALANT ON THE MALE RIB. PRESSURE BASED ON UL 580/UL 1897 TESTING BY FORCE ENGINEERING & TESTING.

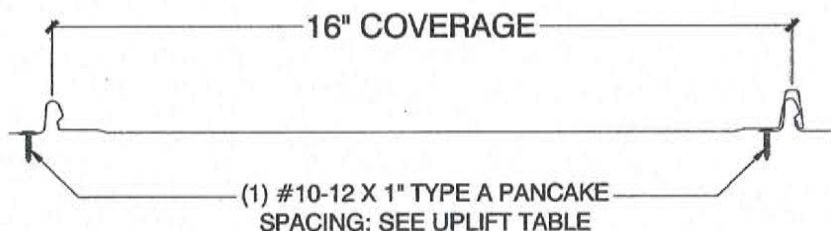
4.) **PLYWOOD DECKING:** MIN. 15/32" THICK, APA RATED PLYWOOD, GRADE C-D. MUST BE DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 2017.

5.) **LOAD TABLE** BASED ON WIND PRESSURES CALCULATED PER ASCE 7-10 ($K_D = 0.85$) MULTIPLIED BY 0.6 PER FLORIDA BUILDING CODE 2017.

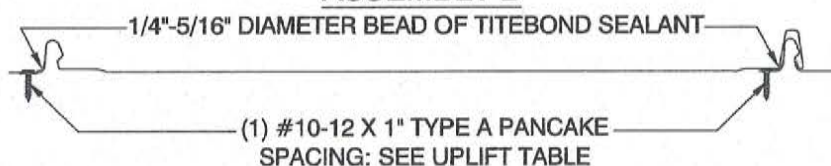


Note: Dimension (a) is defined as 10% of the minimum width of the building or 40% of the mean height of the roof, whichever is smaller, however, (a) cannot be less than either 4% of the minimum width of the building or 3 feet.

ASSEMBLY A



ASSEMBLY B



FL# 11651.2 R3 • OCTOBER 5, 2017

PRODUCT EVALUATION REPORT



KUHN ENGINEERING, LLC

1200 CLINT MOORE RD. SUITE 9, BOCA RATON, FL 33487 • FL COA #30464







St. Johns County, FL

Quick Links

[My Tax Bill](#)
[Tax Estimator](#)
[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 1985600000
Location Address 71 MARINE ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CITY/BAYFRONT/RES (612)
Tax Description* CITY OF ST AUG S54 OF N89FT FRONT OF LOT 12 & PT OF N 35FT OF LOT 12 BLK 22 OR2168/82
 *The Description above is not to be used on legal documents.
Property Use Code Single Family (0100)
Subdivision City of St Augustine
Sec/Twp/Rng 17-7-30
District City of St Augustine (District 452)
Millage Rate 20.2171
Acreage 0.120
Homestead Y

View Map

Owner

Owner Name Fethe Charlson Family Trust 100%
 Fethe Harold E 100%
 Charlson Frances G 100%
Mailing Address 71 MARINE ST
 SAINT AUGUSTINE, FL 32084-5038

Valuation

	2018
Building Value	\$280,969
Extra Features Value	\$2,617
Total Land Value	\$436,050
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$719,636
Total Deferred	\$0
Assessed Value	\$719,636
Total Exemptions	\$50,000
Taxable Value	\$669,636

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$569,051	\$2,854	\$436,050	\$0	\$0	\$1,007,955	\$1,004,254	\$53,701	\$954,254
2016	\$576,164	\$3,092	\$436,050	\$0	\$0	\$1,015,306	\$983,598	\$81,708	\$933,598
2015	\$664,001	\$3,329	\$365,512	\$0	\$0	\$1,032,842	\$976,761	\$106,081	\$926,761
2014	\$633,274	\$3,567	\$332,168	\$0	\$0	\$969,009	\$969,009	\$50,000	\$919,009
2013	\$641,607	\$3,804	\$332,168	\$0	\$0	\$977,579	\$977,579	\$50,000	\$927,579
2012	\$658,272	\$4,042	\$332,168	\$0	\$0	\$994,482	\$994,482	\$50,000	\$944,482
2011	\$666,605	\$4,279	\$369,360	\$0	\$0	\$1,040,244	\$1,040,244	\$50,000	\$990,244
2010	\$674,938	\$4,517	\$410,400	\$0	\$0	\$1,089,855	\$1,089,855	\$50,000	\$1,039,855

Exemptions

Exemption Type	Amount
Homestead	\$25,000
Homestead Band	\$25,000

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	4521	Roof Cover	Copper
Conditioned Area	3155	Interior Flooring	Hardwood, Ceramic Tile
Actual Year Built	1900	Interior Wall	Drywall
Use	Single Family Residence	Heating Type	Air Duct
Style	01	Heating Fuel	
Class	N	Air Conditioning	Central
Exterior Wall	Concrete Stucco, Wood Shingle	Baths	3.5

Category	Type	Pct
Exterior Wall	Concrete Stucco	50%
Exterior Wall	Wood Shingle	50%
Roofing Structure	Gable Hip	100%
Roofing Cover	Copper	100%
Interior Walls	Drywall	100%
Interior Flooring	Hardwood	60%
Interior Flooring	Ceramic Tile	40%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Masonry	100%
Plumbing	15 Fixtures	100%
Electrical	Very Good	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	1147	1147
F GARAGE	0	351
UNF STORAG	0	81
FRAME ADDI	296	296
F OPN PRCH	0	296
F UP STORY	1474	1474
PATIO	0	72
FINSH DECK	0	24
PATIO	0	81
F OPN PRCH	0	341
FRAME ADDI	222	222
FIN ATTIC	16	64
FINSH DECK	0	72
Total SqFt	3155	4521

Extra Features

Code Description	BLD	Length	Width	Height	Units
MS/CB WALL	0	0	0	0	420
MS/CB WALL	0	0	0	0	696

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	54	95	5130	SF	\$436,050

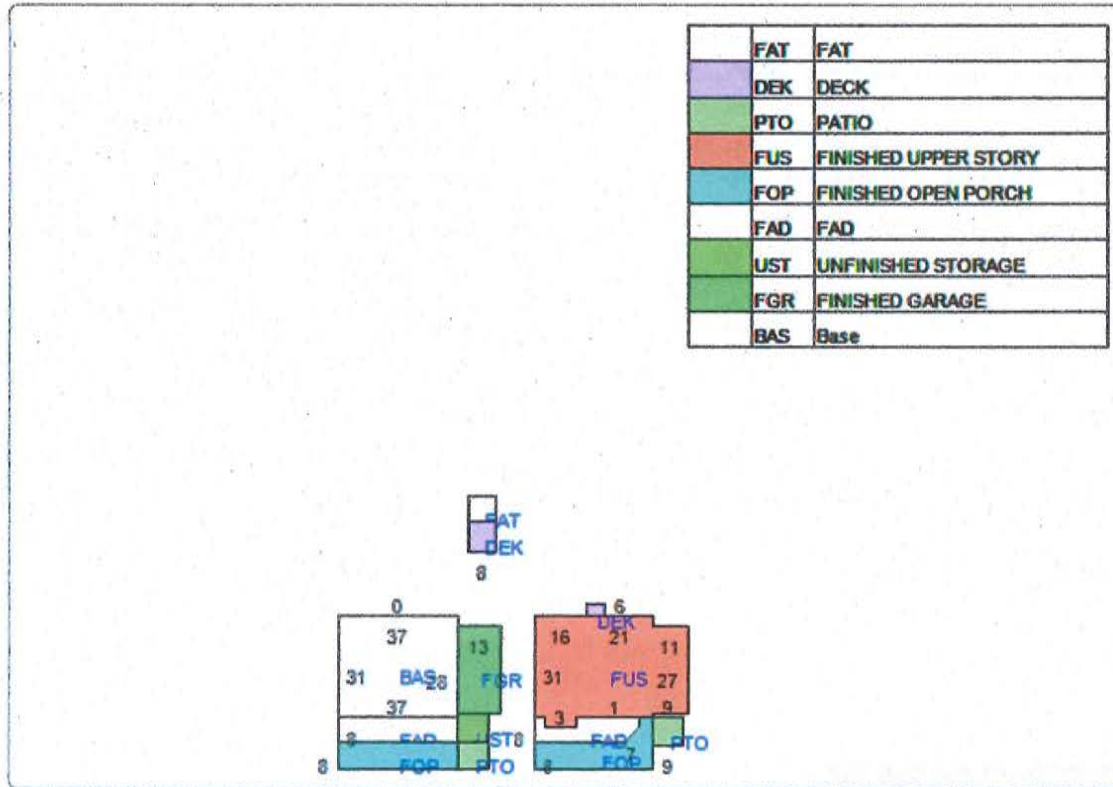
Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	3/26/2004	\$1,594,900.00	WD	2168	82	Q	I	MACKIN JEANETTE G & MICHAEL L	FETHE HAROLD E & CHARLSON FRANCES G TRUSTEES
	5/30/2001	\$100.00	WD	1629	908	U	I	GRAY JOHN R	MACKIN JEANETTE G & MICHAEL L
	3/1/1999	\$395,000.00	WD	1390	1569	Q	I	GREGORY ROBERT BRYAN	MACKIN JEANETTE G & MICHAEL L
	2/24/1997	\$285,000.00	WD	1225	1499	Q	I	CAMPBELL ROY E ETAL	GREGORY ROBERT BRYAN
	4/7/1995	\$240,000.00	WD	1105	372	Q	I	WILSON GREG A, HARRIET	CAMPBELL ROY E ETAL
	1/21/1993	\$165,000.00	WD	988	487	Q	I	GLOBE & ANCHOR BOOK CO	WILSON GREG A, HARRIET

Area Sales Report

Recent Sales in Area

Clerk of Court[Clerk of Court](#)**Tax Collector**[My Tax Bill](#)**Tax Estimator**[Tax Estimator](#)**Map****Sketches**



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Kelli Mitchell

From: Reuben Franklin
Sent: Wednesday, November 07, 2018 12:33 PM
To: Jennifer Wolfe; Kelli Mitchell
Subject: HARB Meeting Date Request

Good Afternoon Jenny and Kelli,

Respectfully, I'd like to request to be moved to the December 20th HARB meeting to continue the Tolomato Lot discussion. My understanding is that materials for the meeting are due no later than December 10th. Thank you.

Best Regards,

Reuben C. Franklin Jr., P.E.
Mobility Program Manager
City of St. Augustine
Office No.: 904.209.4279
Email: rfranklin@citystaug.com

Please Note: Florida has a very broad Public Records Law. Unless specifically exempt by state law, written communications to city officials or staff regarding official city business are public records available to the public and media upon request. If your email communication is related to official government business, it may therefore be subject to public disclosure.

RECEIVED

NOV 07 2018

Planning / Building Dept.



CITY OF
ST AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0121

Address: 320 Charlotte Street

Don Crichlow & Associates, Applicant
Steven and Linda Lohrke, Owner

Project description: To construct a second-story onto an existing one-story Frame Vernacular home and to build a two-story garage apartment.

Architectural Style: Frame Vernacular	Florida Master Site File: 8SJ555
National Register: N/A	Construction date: 1885
Archaeology Zone: IC	Zoning District: HP-1
Parcel number: 200520 0000	
Agenda Item: 6(b)	Previous Action(s): COA 2005

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Appropriateness to construct a second-story onto an existing one-story Frame Vernacular home and to build a two-story garage apartment. The application was continued from the September 20th HARB meeting to allow the applicant an opportunity to consider the board's comments.

- According to the site file this is one of the oldest residential buildings in this neighborhood and was a Black residential area near the Barracks property
- The main building's rear setback and the front and side setback of the garage have not been addressed and do not conform to code. They will require variances if this application is approved.
- As per the board's comments at the previous HARB meeting, the second story addition was reoriented with the gable end running parallel with the historic gable and the roof line was lowered. Windows were also placed on the northern elevation and front gable. Staff maintains that the addition does not meet SOIS #2, 3, and 9 and Local Standards #7 and #8 because of the size, scale, and height relative to the historic building
- The garage was kept at two stories though it appears to have been lowered from the previous design, which was suggested by the board. Staff maintains that the Garage Apartment/Addition does not meet SOIS #2, 3, and 9 because of the size, scale, height, and placement relative to the historic building
- The proposed connector is shown on elevation drawings but does not show up on floorplans. This needs to be included in all associated renderings if this application is approved.
- The current knee wall was installed in 2005 and is not historic. Additional information about the new section of the wall will be required to verify that it is compatible with the current walls if this application is approved.
- The rear porch is compatible with the existing building and style.
- The two existing storage areas are not original to the building, and their removal will not impact the historic integrity of the building.
- This project will likely require an A14 Archaeological Review Application. Coordination with the City Archaeologist should begin as soon as possible to avoid any interruptions in the construction schedule.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Continue** a **Certificate of Appropriateness** for **320 Charlotte Street** to allow the applicant to consider altering the design to be compatible with the height, scale, size, and placement of the historic building.

Kelli Mitchell, Historic Preservation Planner

F2018-0121
320 Charlotte Street
November 15, 2018

SUMMARY SCOPE OF WORK:

- Construct a partial second story with intersecting gables, wood shingle siding, 5v crimp metal roof, and new windows
- Build a two-story side addition for the stairwell and a partial width and height porch on the rear of the home
- Install a wood railing in the front gable and extend the roofline to cover the balcony type area
- Construct a two-story garage/garage apartment with butted wood shingles, a balcony facing Charlotte Street, two doors on the first floor, and six-over-six windows

CITY CODES/DESIGN GUIDELINES:

Architectural Guidelines for Historic Preservation

Frame Vernacular

Frame Vernacular architecture is the common wood frame construction of self-taught builders, often passed from one generation to the next. Vernacular building traditions resulted from the builder's experience, available resources, and responses to the local environment. Most frame vernacular buildings are dwellings and associated outbuildings. However, churches, commercial and industrial frame vernacular buildings have also been constructed.

Frame Vernacular buildings were heavily influenced by the Queen Anne style in the late 1800s, and by the Bungalow style in the 1920s. Queen Anne influences included two story construction, complex roof forms and irregular massing. Bungalow influences included a return to single story construction and simpler, more regular roof forms and massing.

Buildings are not constructed directly on the street, although the size of yards varies greatly.

The most common building plans are rectangular and L-shaped, although some buildings have irregular plans. Buildings range from one to two-and-one-half stories.

Prior to the Civil War, foundations are usually brick, coquina, lime rock or tabby piers. From 1865 until about 1920 brick and coquina piers were most common; and beginning in the 1920s, brick, coquina or concrete block piers were used. Piers are usually not finished with stucco. Lattice infill is common after 1845. Continuous foundations are rare, and are never used prior to about 1920. Construction is wood frame. Prior to the Civil War, braced frame construction was used; from 1865 until about 1910, balloon framing was used; and after 1910, platform framing became common. Exterior finish is typically drop siding with corner boards, weatherboards with corner boards, butted wood shingles, or board-and-batten siding.

Locally, roof types are usually gable, although hip and pyramidal roofs are common elsewhere. Porches commonly have hip or shed roofs. Prior to 1845, roof surfaces are covered with wood shakes or wood shingles. From 1845 to about 1920, roof surfaces are covered with metal, corrugated metal or metal novelty shingles. Beginning in the 1920s, roof surfaces are covered with composition shingles, diamond composition shingles or asbestos shingles. Chimneys are brick, and are occasionally finished with stucco.

Windows are usually double hung sash two-over-two or one-over-one. Locally, six-over-six and six-over-one are also common, but are seldom used after about 1920. Prior to the turn of the century, nine-over-six and eight-over-eight windows are also used. After the turn of the century, eight-over-one, four-over-one, three-over-one, and less commonly jalousie windows are also used. Attic louvers in the gable ends, and casement windows with various numbers of panes are common in all time periods.

Detailing is simple, usually consisting of jig-sawn woodwork on porches or around eaves, and corbels on chimneys.

Garage Apartment (1900-1930)

Garage apartments are the first style to attempt to provide indoor parking in residential buildings. Garage apartments may be either primary or accessory buildings. In St. Augustine, garage apartments which are accessory buildings are located on the same lot with Bungalows, Colonial Revival and Mission style buildings, and with Frame Vernacular and Masonry Vernacular buildings.

Identifying features of the style include two story construction, with single or multiple garage bays occupying most of the first floor. Buildings are usually set at the rear of the lot. Construction may be masonry or wood frame, or a masonry first story with a frame second story. Second story porches or roofed balconies are common. Detailing is usually simple.

Buildings are usually constructed on the rear of the lot. The most common building plan is rectangular, although some buildings are L-shaped. Buildings are two-stories.

Foundations are usually continuous concrete or brick, or less commonly brick piers. Piers may be finished with stucco. Construction is masonry or frame, or masonry on the lower story and frame on the second story.

Exterior finishes are drop siding or weatherboards with corner boards, asbestos shingles, composition shingles, wood shingles, concrete block, coquina or stucco.

The most common roof types are hip and gable. Flat roofs with a parapet, and jerkinhead roofs are also used. Shed porch roofs are common. Pitched roof surfaces are covered with composition shingles, diamond composition shingles, corrugated metal or metal v-crimp. Flat roofs are built-up. Chimneys are brick, with or without metal caps, and may be finished with stucco.

Windows are usually double hung sash two-over-two or one-over-one. Double hung sash eight-over-one, three-over-one, and three or eight pane casement windows are also used. Fanlights are used occasionally. Attic louvers in the gable ends are common.

Detailing is usually simple and may include battered porch piers, wood balustrades, finials, arched window surrounds and crenelation.

New Construction

New construction should complement historic architecture. Through sound planning and design, it can respect and reinforce the existing patterns of development in the local historic preservation zoning districts. Successful infill design does not have to imitate demolished or existing buildings to be successful. Rather, it picks up significant themes such as height, materials, roof form, massing, setbacks, and the rhythm of openings to ensure that a new building blends with its context.

The setting of existing historic buildings should be preserved when new construction is undertaken. The relationship of the new construction to adjacent buildings, landscape and streetscape features, and open spaces should be considered. New construction adjacent to historic buildings can dramatically alter the historic setting of neighboring buildings or the district. Such construction should not create a false sense of historical development through the use of conjectural features or stylistic elements drawn from other buildings. New construction is appropriate as long as it does not destroy significant historic features, including designed landscapes, and complements the size, color, material, and character of adjacent buildings and their historic setting.

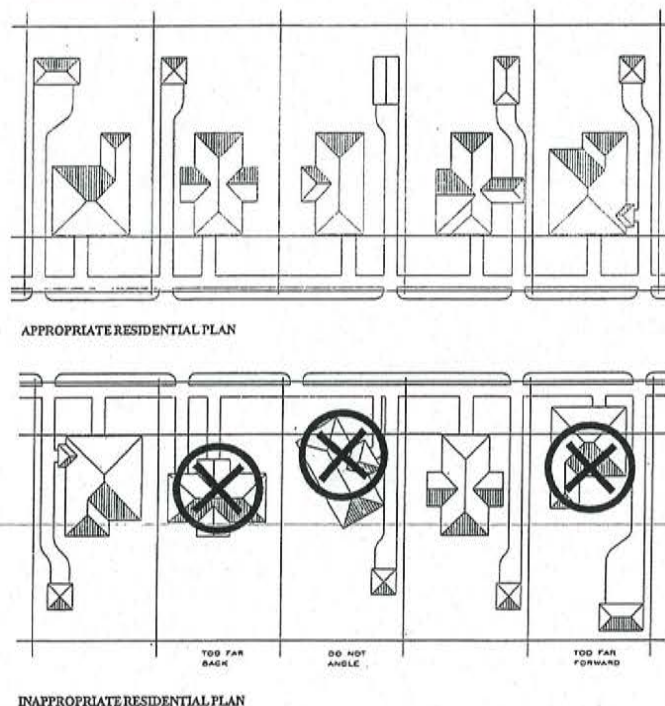
Site Plans and Building Setbacks

Buildings in historic districts often share common front and side setbacks. Commercial buildings are generally set directly on the property lines, creating a wall effect. In locating new buildings, the front and side setbacks should be maintained and aligned with the facades of surrounding historic buildings.

Figure 2 depicts appropriate and inappropriate residential site plans.

Residential Site Plans

Figure 2



Height, Width and Massing

The height of buildings, particularly at the block level, should be similar. The height of new construction should be compatible with surrounding historic buildings.

The width of new construction should be compatible with surrounding historic buildings.

The overall size, shape and massing of new construction should be compatible with surrounding historic buildings.

Figure 4 depicts appropriate and inappropriate residential height and width.

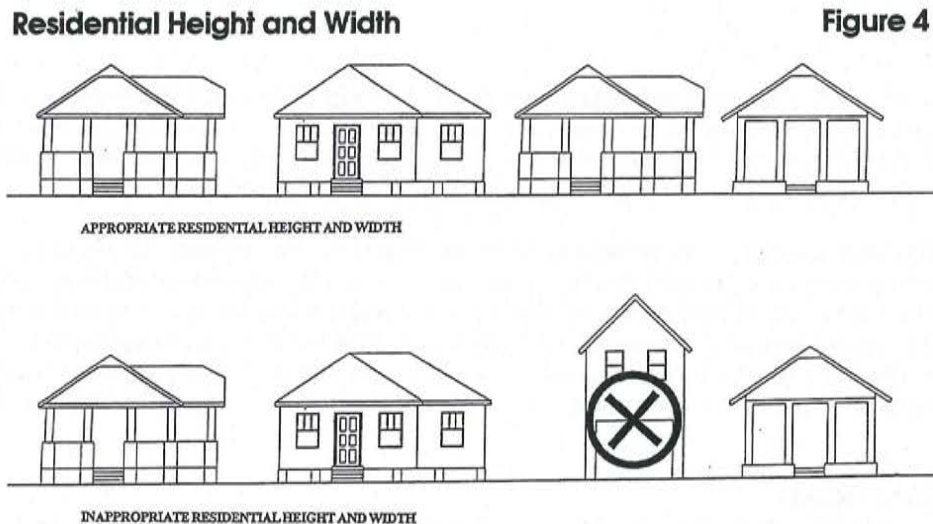
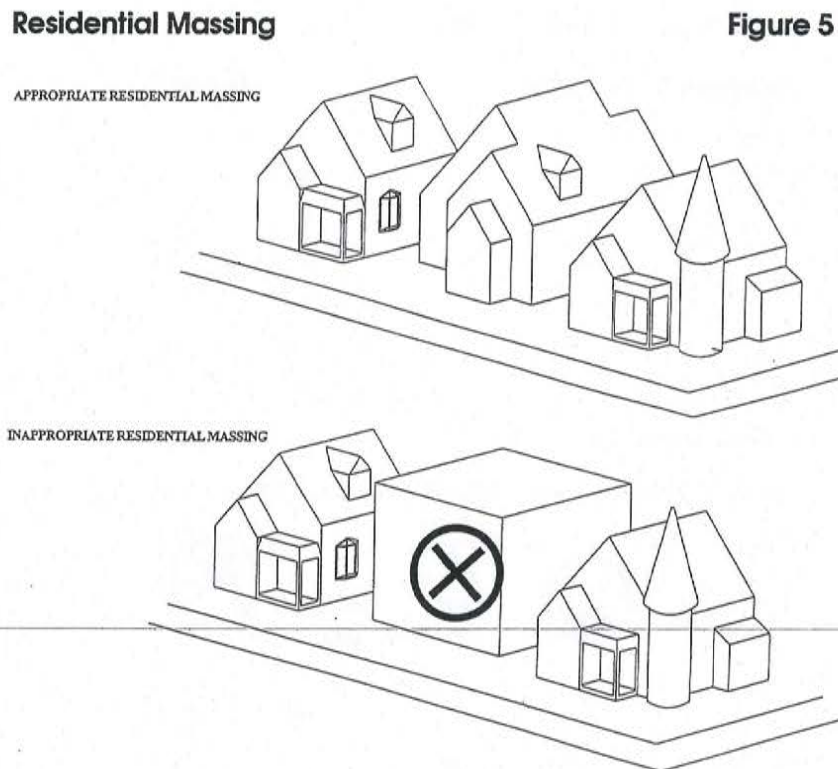


Figure 5 depicts appropriate and inappropriate residential massing.



Horizontal Rhythms

Repeated elements on neighboring buildings is characteristic of buildings in Florida. Divisions between upper and lower floors, uniform porch heights, and alignment of windows and window sills are examples of such rhythms. New construction in historic districts should maintain or extend these strong shared streetscape elements in blocks where they appear.

Figure 7 depicts appropriate and inappropriate residential horizontal rhythms.

Residential Horizontal Rhythms

Figure 7



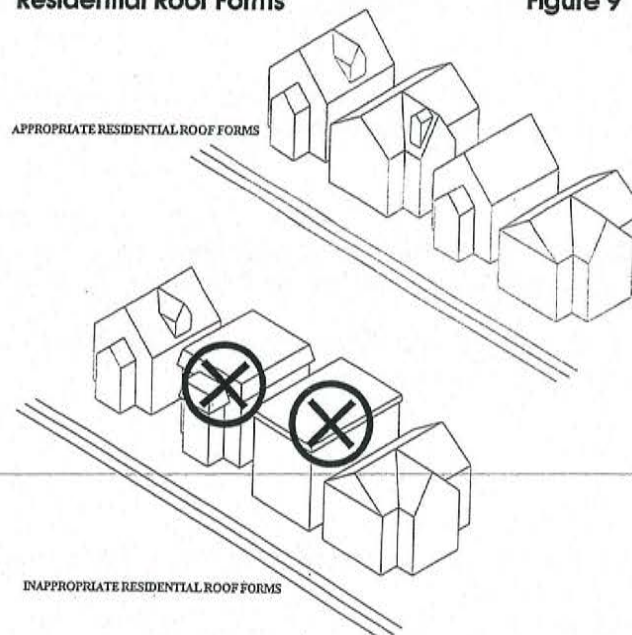
Roof Forms

Similar roof form and pitch are characteristics of buildings in historic districts. Nearly all residential buildings have pitched roofs, with gable or hip the predominant type. Gambrel, pyramidal and clipped gable (jerkinhead) are also found. In contrast, commercial buildings generally have flat roofs with parapets. Roof designs should be compatible with surrounding buildings. Sloped roofs with pitches similar to those of nearby buildings are appropriate for new residential construction. Flat roofs with the roof plane hidden from view on the front facade are appropriate for new commercial buildings.

Figure 9 depicts appropriate and inappropriate residential roof forms.

Residential Roof Forms

Figure 9



Proportion of Openings

Window openings in historic districts often share similar size, spacing and shape. On many buildings, particularly the Colonial Revival and other classically inspired styles, windows are stacked, with a narrow space between them. Other styles, particularly the Queen Anne, exhibit randomly placed openings. Storefronts have wide horizontal windows and little or no spacing between openings, providing a greater transparent area. In designing new construction, the proportion of spacing to openings on adjacent buildings should be maintained.

Materials

Materials that are compatible in quality, color, texture, finish and dimension to those common to the district should be used.

Architectural Styles for New Construction

Buildings may not use distinctive design elements and features from a period different from the one being reproduced. While it may be appropriate for some later period details to be included on an earlier period building to reflect its evolution over time, it is never appropriate to place earlier period features on a later period building.

HP-1

The diversity of styles exhibited in this district reflects historic development patterns which includes colonial settlement, single family residences, vacation homes for seasonal residents, and an institutional and military presence. Permitted styles in HP-1 include: Spanish and British period Colonial, Frame Vernacular, St. Augustine Colonial Revival, Queen Anne, Mediterranean-influenced styles including Moorish Revival, Italian Renaissance, Spanish Colonial Revival, Mission, Mediterranean Baroque and Spanish Renaissance; Garage Apartment as a secondary main building; and Bungalow. New construction shall be in the style of the adjacent properties or as approved by HARB from the list of styles described above and represented in the HP-1 District. For the purpose of this section, immediately adjacent refers only to properties located along the same street, or for corner lots, only properties located along the streets which comprise the intersection.

Secretary of Interior Standards for Rehabilitation

2. The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided. [Retention of Distinguishing Architectural Character]
3. Each property shall be recognized as a physical record of its time, place and use. Changes that create false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. [Recognition of Historic Period]
9. New additions, exterior alterations, or related new constructions shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. [Compatible Contemporary Design for New Alterations and Additions]
10. New additions and related or adjacent new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. [Reversibility of New Alterations and Additions]

Local Standards for Rehabilitation

7. Buildings must maintain as much of the original building as possible. Additions and alterations should be kept to a minimum.
8. All modifications, alterations and additions must reflect the historical era of the building and be compatible with the original architectural design.
13. Miscellaneous historic objects that are located throughout the City must be noted and protected from removal, demolitions, inappropriate modification and from intrusive new construction.

Additions

Do...

- Place functions and services required for a new use in non character defining interior spaces rather than constructing a new addition.
- Keep new additions to historic buildings and adjacent new construction to a minimum.
- Protect architectural details and features that contribute to the character of the building during construction.

- Construct the new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged or destroyed.
- Locate an attached exterior addition at the rear or on an inconspicuous side of an historic building, and limit its size and scale in relationship to the historic building.
- Design additional stories, when required for a new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.
- Design for new work should always be clearly differentiated from the historic building and should be compatible in terms of mass, materials, relationship of solids to voids, and color.

Don't...

- Expand the size of an historic building by constructing a new addition when the requirements of the new use could be met by altering non-character-defining interior spaces.
- Attach a new addition so that the character-defining features of the historic building are obscured, damaged or destroyed.
- Design a new addition so that its size and scale are out of proportion to the historic building, thus diminishing its historic character.
- Duplicate the exact form, material, styling and detailing of the historic building in the new addition so that the new work appears to be part of the historic building.
- Imitate a historic style or period of architecture in new additions, especially those used for contemporary uses.
- Design and construct new additions that result in the diminution or loss of the historic character of the building including its design, materials, workmanship, location or setting.
- Use the same wall plane, roof line, cornice height, materials, siding lap or window type to make the new addition appear to be part of the historic building.
- Add height to a building that changes its scale and character. Changes in height should not be visible when viewing the principal facades.
- Design new additions such as multi-story greenhouse additions that obscure, damage or destroy character-defining features of the historic building.

Post-1821

Additions to post-1821 buildings should reference design motifs from the historic building.

Doors and Entrances

Do...

- Place new entrances on secondary elevations away from the main elevation. Preserve non-functional entrances that are architecturally significant.

Don't...

- Fail to provide adequate protection to materials on a cyclical basis so that deterioration of entrances results.
- Add aluminum or other inappropriate screen doors.

Post-1821

Doors are generally wood. Ornamentation and detailing should be based on historic precedent and be in keeping with the character of the building and entrance design. Modern stock metal doors, metal frame screen doors and sliding glass doors are generally inappropriate.

Roofs and Roofing

Do...

- Provide adequate roof drainage and ensure that the roofing material provides a weathertight covering for the building.
- Protect a leaking roof with plywood and building paper until it can be properly repaired.
- Design and construct a new feature when the historic feature is completely missing, such as a chimney or a cupola. It may be an accurate restoration using historical, pictorial and physical documentation; or may be a new design that is compatible with the size, scale, material and color of the historic building.

Don't...

- Radically change, damage or destroy roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished. Examples of such changes are converting a gable roof to a hip roof, or a flat roof to a pitched roof. Such changes should only be considered as part of a documented restoration to recreate the original appearance of the building.
- Change the essential character of a roof by adding inappropriate features such as dormers, vents, skylights, air conditioners and solar collectors which are visible from public rights-of-way.
- Fail to clean and maintain gutters and downspouts properly so that water and debris collect and cause damage to roof fasteners, sheathing and the underlying structure.
- Permit a leaking roof to remain unprotected so that accelerated deterioration of historic building materials such as masonry, wood, plaster, paint and structural members occurs.

Post-1821

Frame Vernacular roofs locally are usually gable, although hip and pyramidal roofs are common elsewhere. Porches commonly have hip or shed roofs. Prior to 1845, roof surfaces are covered with wood shakes or wood shingles. From 1845 to about 1920, roof surfaces are covered with metal, corrugated metal or metal novelty shingles. Beginning in the 1920s, roof surfaces are covered with composition shingles, diamond composition shingles or asbestos shingles.

Windows and Window Treatments

Do...

- Retain and repair window openings, frames, sash, glass, lintels, sills, pediments, architraves, hardware, shutters and balconies where they contribute to the architectural and historic character of the building.
- Protect and maintain the wood and architectural metal which comprise the windows (including frame, sash, muntins and surrounds), shutters and balconies through appropriate surface treatments such as cleaning, rust removal, limited paint removal and re-application of protective coating systems.
- Design and install new windows, shutters and balconies when the historic windows, shutters and balconies are completely missing. The replacement may be an accurate restoration using historical, pictorial and physical documentation; or may be a new design that is compatible with the window openings and the historic character of the building.
- Design and install additional windows, shutters and balconies on rear or other non-character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.

Don't...

- Introduce or change the location or size of windows and other openings that alter the architectural and historic character of the building.
- Install balconies, shutters, screens, blinds, security grills and awnings on significant facades which are historically inappropriate and which detract from the building's character.

Post-1821

Frame Vernacular windows are usually double hung sash two-over-two or one-over-one. Locally, six-over-six and six-over-one are also common, but are seldom used after about 1920. Prior to the turn of the century, nine-over-six and eight-over-eight windows are also used. After the turn of the century, eight-over-one, four-over-one, three-over-one, and less commonly jalousie windows are also used. Attic louvers in the gable ends, and casement windows with various numbers of panes are common in all time periods.

Generally Post-1821 windows should be wood. Under certain circumstances, metal and aluminum sash windows may be used if they duplicate the design, size and overall appearance of wood and are painted to appear as wood. Windows with an unpainted metal sash and sliding glass doors are generally not appropriate.

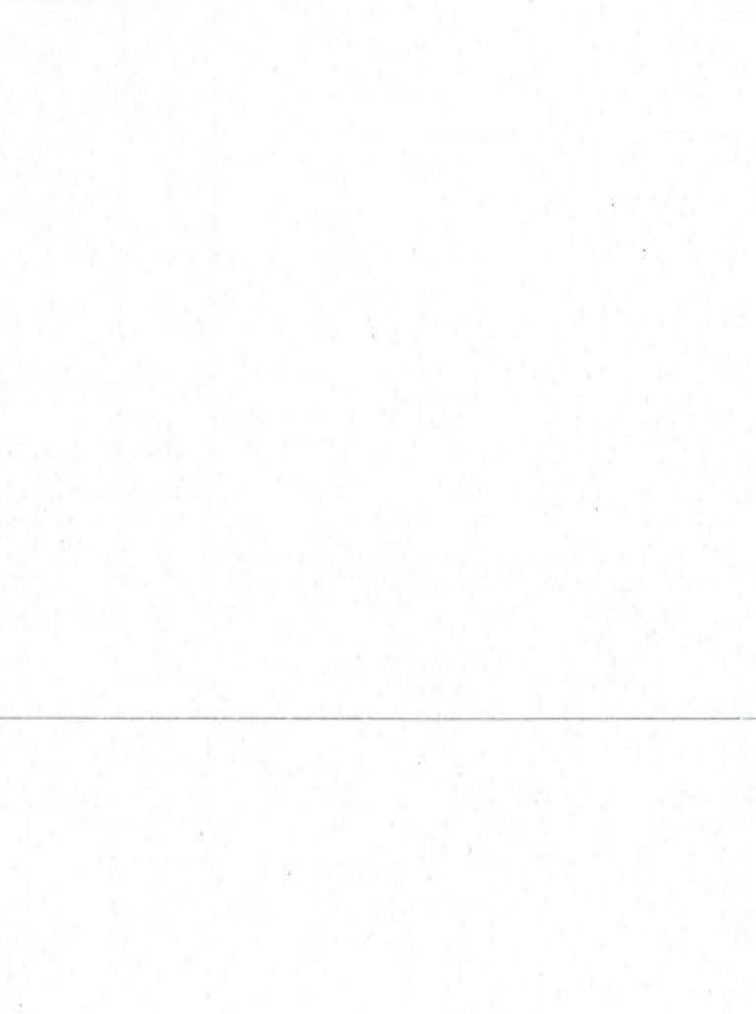
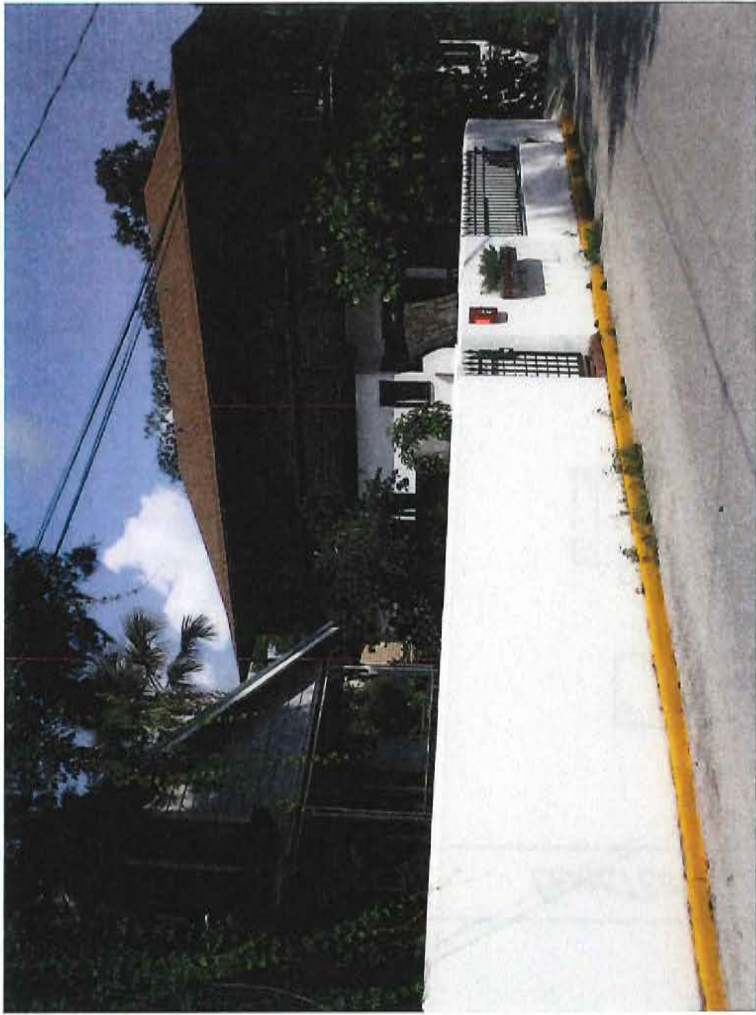
Balcony design and materials should be compatible with the style of the building. The balcony should be in proportion to the building facade. Balusters should reflect a height appropriate to the period of the building, with additional top rails as required. Balconies should not be enclosed with screen or glass.

F2018-0121
320 Charlotte Street
November 15, 2018

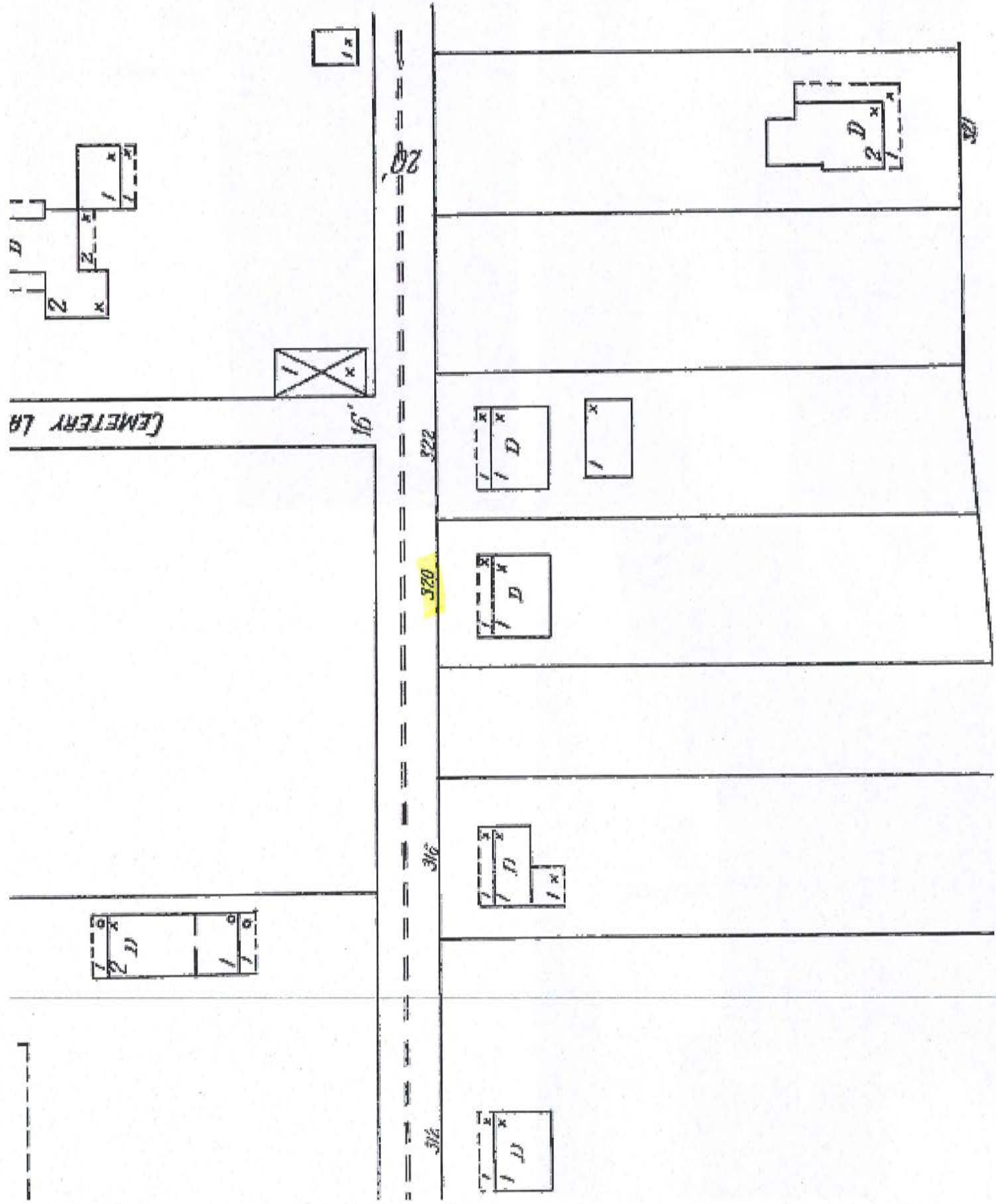
LIST OF ATTACHMENTS:

1. Staff Photos
2. Sanborn Maps
3. Florida Master Site File





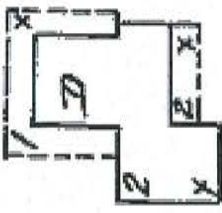
1904





C E M E T E R Y

CEMETERY



15'

6" W. PIPE

320 F.A. 1/2 BOX 322

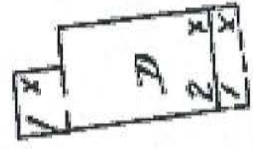
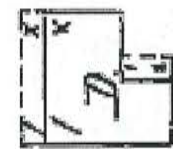
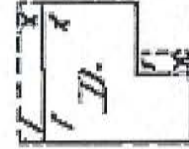
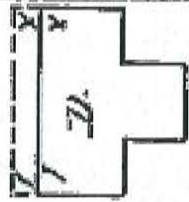
318

310

314

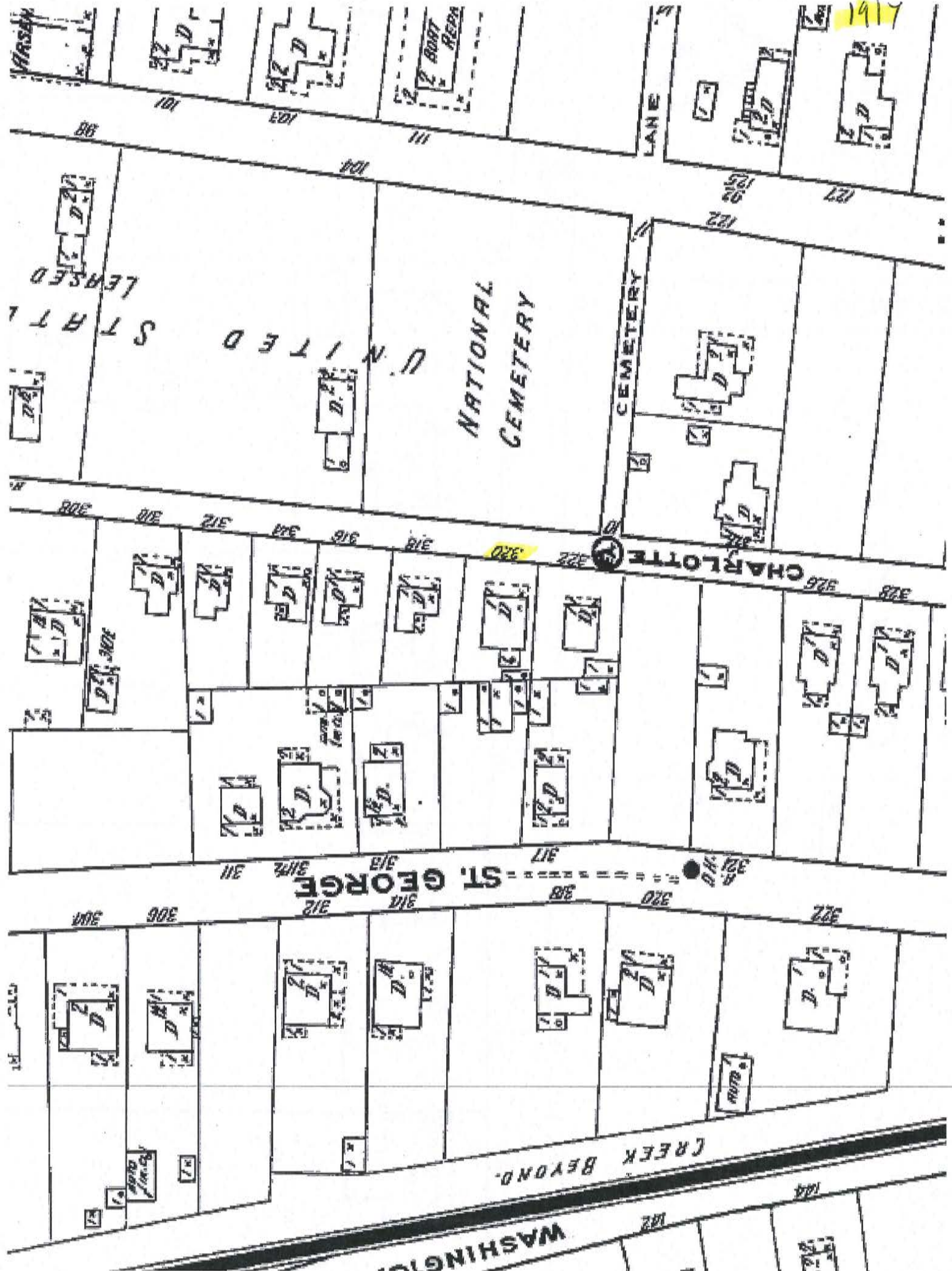
212

310

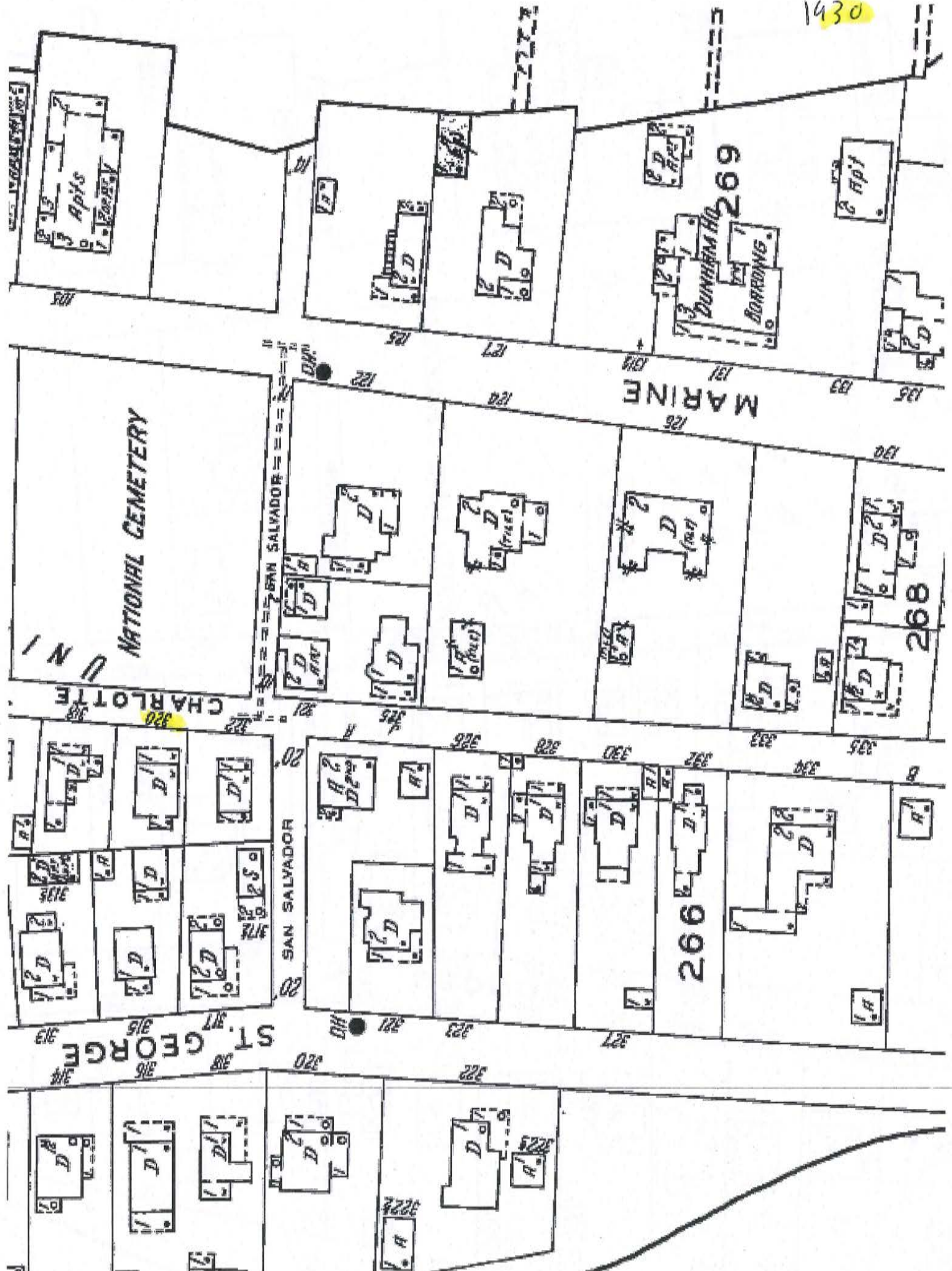


1910

1



1430



1948

7

UNITED

NATIONAL CEMETERY

SAN SALVADOR

CHARLOTTE

322

320

SAN SALVADOR

320

ST. GEORGE

320

318

315

313

311

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FLORIDA MASTER SITE FILE
HISTORIC ST. AUGUSTINE PRESERVATION BOARD
HISTORIC PROPERTIES INVENTORY FORM

I. LOCATION & LEGAL DESCRIPTION

FDAHRM 802== Site No. 88J655 1009==
Site Name: 320 Charlotte Street 830== Survey Date: 7808 820==
Address: 320 Charlotte Street, St. Augustine, Fla. 32084 905==
Instructions for Locating: _____
_____ 813== County: St. Johns 808==
Location: City of St. Augustine 39A 15 (East 868==
(subdivision) (block) (lot)
69.2' of lot 15) 868==
Owner of Site: Name: Old Town Distributors, Inc. ;
Address: P. O. Box 1956
St. Augustine, Fla. 32084 902==
Occupant or Manager: Shepard, Ann M. (occupant) 904==
Type of Ownership: Private 848== Zoning: HP1
NR Classification Category: Building 916== Recording Date: _____ 832==
UTM: 17 470040 3305960 890== Location: T07S R30E N20 812==
(zone) (easting) (northing) (T) (R) (S)
Map Reference: USGS St. Augustine 7.5 MIN 1956 (PR 1970) 809==
Recorder: Name & Title: Nolan, David (Historic Sites Specialist) ;
Address: H.S.A.P.B. 818==

II. SITE DESCRIPTION

Condition of Site:		Threats to Site:	
() <u>Excellent</u>	863==	() <u>Zoning</u>	878==
(x) <u>Good</u>	863==	() <u>Development</u>	878==
() <u>Fair</u>	863==	() <u>Deterioration</u>	878==
() <u>Deteriorated</u>	863==	() <u>Borrowing</u>	878==
		() <u>Transportation</u>	878==
Integrity of Site:		() <u>Fill</u>	878==
(x) <u>Altered</u>	858==	() <u>Dredge</u>	878==
() <u>Unaltered</u>	858==	() <u>Other</u>	878==
(x) <u>Original Site</u>	858==		
() <u>Restored - Date:</u>	858==		
() <u>Moved - Date:</u>	858==		

**SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)**

II. SITE DESCRIPTION, continued.

Original Use: Priv. Residence 838== Present Use: Priv. Residence 850==
Date: +1885 844== Period: 19th Cent 845== Culture: American 840==
Architect: _____ 872==
Builder: _____ 874==
Style: Frame vernacular 964==
Plan Type: Rectangular 966==
Exterior Fabrics: Wood, shingles, butt, dropsiding 854==
Structural Systems: Wood frame 856==
Features of Structure: (942)
Window Type: DHS, 6/6 942==
Foundation: _____ 942==
Roof Type: Gable 942==
Secondary Roof Structures: _____ 942==
Porches & Balconies: 1 story open porch on front 942==
Chimney Location: _____ 942==
Materials: (882)
Chimney: _____ 882==
Roof Surfacing: _____ 882==
Ornament Exterior: Jigsaw brackets, chamfered posts 882==
Quantitative Data: (950-954)
Chimneys: _____ 952== Dormers: _____ 954== Stories: 1½ 950==
Other: _____ 956==
Surroundings: Residential/institutional 864==
Relationship to Surroundings: Faces National Cemetery 859==

III. PHOTOGRAPHY

Photographic Records Numbers: _____ 860==
Contact Prints

IV. SIGNIFICANCE

Areas of Significance: Architecture, Real Estate, Blacks

920==

Statement of Significance: (911==)

ARCHITECTURE

The one and one-half story Frame Vernacular residence at 320 Charlotte Street was constructed between 1865 and 1885 and is one of the oldest houses built in this neighborhood. There are ornated jigsaw brackets and chamfered posts on the one-story open front porch with brick base. The house faces the U. S. National Cemetery. It was originally part of a Black residential neighborhood behind St. Francis Barracks.

The area south of St. Francis Street between the Matanzas River and Maria Sanchez Lake has a large military complex on the north and a large health-care complex on the south, but is otherwise residential in nature. Construction dates in the area run from colonial through modern times. Development in the area proceeded generally from north to south and from east to west. The section along the east side of Maria Sanchez Lake was built on filled, previously marshy land. In addition to the colonial Llambias House and St. Francis Barracks, there are a few Victorian houses, representing early development in this area. But the bulk of the buildings are 20th century and show the influence of Bungalow, Mediterranean Revival and Colonial Revival styles popular in earlier decades. Tree-lined streets, walking distance from downtown, make this one of the city's pleasant and distinctive residential neighborhoods. Of particular note are a series of wood-shingle residences with palmetto porch posts on south St. George Street that were the work of architect Fred A. Henderich, whose family helped to develop the neighborhood. Also noteworthy is the fact that buildings in this area generally back up to Maria Sanchez Lake rather than face it, as the houses on the west side of the Lake do. The same thing is true along the Matanzas River, so maximum advantage is not taken of the waterfront property in this area. The area from St. Francis Street to San Salvador Street forms the southern section within the National Landmark District, listed on the National Register of Historic Places.

HISTORY

The presence of the church and the military dominates the historical development of the walled colonial city between St. Francis and San Salvador Streets. The northern section has been occupied since the Spanish constructed the church and convent of St. Francis in the late 16th century. The religious structures were destroyed by the South Carolinians in the 1702

(over)

V. BIBLIOGRAPHY

1. Juan Jose Elixio de la Puente, "Plano . . . de San Agustín," January 22, 1764; Albert Manucy, The Houses of St. Augustine, 1565-1821 (St. Augustine, 1962), pp. 14-40.
2. Mariano de la Rocque, "Plano particular de la Ciudad de San Agustín de la Florida," April 25, 1788; Charles Loch Mowat, "St. Francis Barracks, St. Augustine," Florida Historical Quarterly, XXI (January, 1943); Rufus King Sewall, Sketches of St. Augustine (Gainesville, 1976), p. 16.
3. 1885 and 1894 Birds-Eye Views; Sanborn Fire Insurance Maps, 1893-1930.

attack on the city, but they were rebuilt out of coquina by mid-century. A number of private residences were erected along St. Francis and Charlotte Streets, but this area was one of the poorer neighborhoods in the colonial community. The Rosario defense line, built in the early 18th century, enclosed this tract on the west and south and terminated at its easternmost stone bastion, Fort St. Francis.(1) The British significantly altered this section by converting the convent into military barracks, erecting a new frame barracks to the south, and demolishing most of the modest Spanish residences. With the exception of the extant colonial buildings along both sides of St. Francis Street (including the Llambias House) and the colonial barracks complex which became a permanent U. S. Military Reservation in 1832, this section remained undeveloped until the late 19th and early 20th centuries. The British and Spanish used the vacant land west of Charlotte Street as garden plots for the garrison, and the property south of the barracks was used as a military cemetery in the Territorial period, with the victims of the Dade Massacre being interred there. This burial ground became a National Cemetery in the 1880's.(2) After the Civil War, houses were built on Federal property for military personnel, and a Black residential neighborhood, one of several outside Lincolnville, developed along Charlotte Street. Several large private residences were constructed on St. Francis Street, notably the Stickney House at 282 St. George Street which for a brief time around World War I served as Flagler Hospital. St. George Street south of St. Francis Street was not cut through until the early 1890's, but the neighborhood did not fully develop until the first three decades of the 20th century. A few private residences were also built on Marine Street early in the century. Since 1907, the State of Florida has operated the old St. Francis Barracks complex as the State's Military Headquarters.(3)

In 1905 the property at 320 Charlotte Street was owned by Robert Stickney. The Stickney family purchased property in St. Augustine after the Civil War. The most significant member of the family was Judge John B. Stickney, prominent judge here during the Reconstruction years.(4)

4. C. D. Manucy, R. Ranson, Supplement to Official City Map (St. Augustine, 1905), p. 32; Historic Properties Inventory Research File.

☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site # **SJ00555**
Field Date **5-18-2016**
Form Date **5-18-2016**
Recorder # _____

Site Name(s) (address if none) **320 Charlotte Street** Multiple Listing (DHR only) _____
Survey Project Name **Inv. of Structures within the St. Augustine NRHD** Survey # (DHR only) _____
National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☒ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number **320** Direction _____ Street Name **Charlotte** Street Type **Street** Suffix Direction _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name **ST. AUGUSTINE** USGS Date **1956** Plat or Other Map _____
City / Town (within 3 miles) **St. Augustine** In City Limits? ☒ yes ☐ no ☐ unknown County **St. Johns**
Township **7S** Range **30E** Section **18** 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
Tax Parcel # **2005200000** Landgrant _____
Subdivision Name **City of St. Augustine** Block **39A** Lot **15**
UTM Coordinates: Zone ☐ 16 ☒ 17 Easting ☐ ☐ ☐ ☐ ☐ ☐ Northing ☐ ☐ ☐ ☐ ☐ ☐
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year **1896** ☐ approximately ☒ year listed or earlier ☐ year listed or later
Original Use **Private Residence (House/Cottage/Cabin)** From (year): _____ To (year): _____
Current Use **Private Residence (House/Cottage/Cabin)** From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
Alterations: ☒ yes ☐ no ☐ unknown Date: _____ Nature **ext. Fabric**
Additions: ☐ yes ☐ no ☒ unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown Describe _____

DESCRIPTION

Style **Frame Vernacular** Exterior Plan **Rectangular** Number of Stories **1.5**
Exterior Fabric(s) **1. Wood shingles** 2. _____ 3. _____
Roof Type(s) **1. Gable** 2. _____ 3. _____
Roof Material(s) **1. Sheet metal: 5V crimp** 2. _____ 3. _____
Roof secondary strucs. (domers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) **single and paired wood DHS 6/6; fixed or casement wood with leaded glass in front**
gable
Distinguishing Architectural Features (exterior or interior ornaments) **Jigsaw brackets, chamfered posts**

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) **fenced yard with partial masonry wall; mature tree canopy and open side lot**

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date

SHPO - Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info

Date

Init.

KEEPER - Determined eligible:

☐ yes ☐ no

Date

☐ Owner ObjectionNR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

HISTORICAL STRUCTURE FORM

Site #8 SJ00555

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Wood frame 2. _____ 3. _____
 Foundation Type(s): 1. Piers 2. _____
 Foundation Material(s): 1. Brick 2. masonry general
 Main Entrance (stylistic details) single 2-panel wood door with square light; centrally located under front porch
 Porch Descriptions (types, locations, roof types, etc.) 1-story open porch on front with wood supports under main roof

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
 Narrative Description of Resource Faces US National Cemetery. See original form for additional historical information

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☒ library research ☐ building permits ☒ Sanborn maps
☐ FL State Archives/photo collection ☒ city directory ☒ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☒ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☐ other methods (describe) _____
 Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
 Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) retains integrity and would contribute to a district

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
 1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

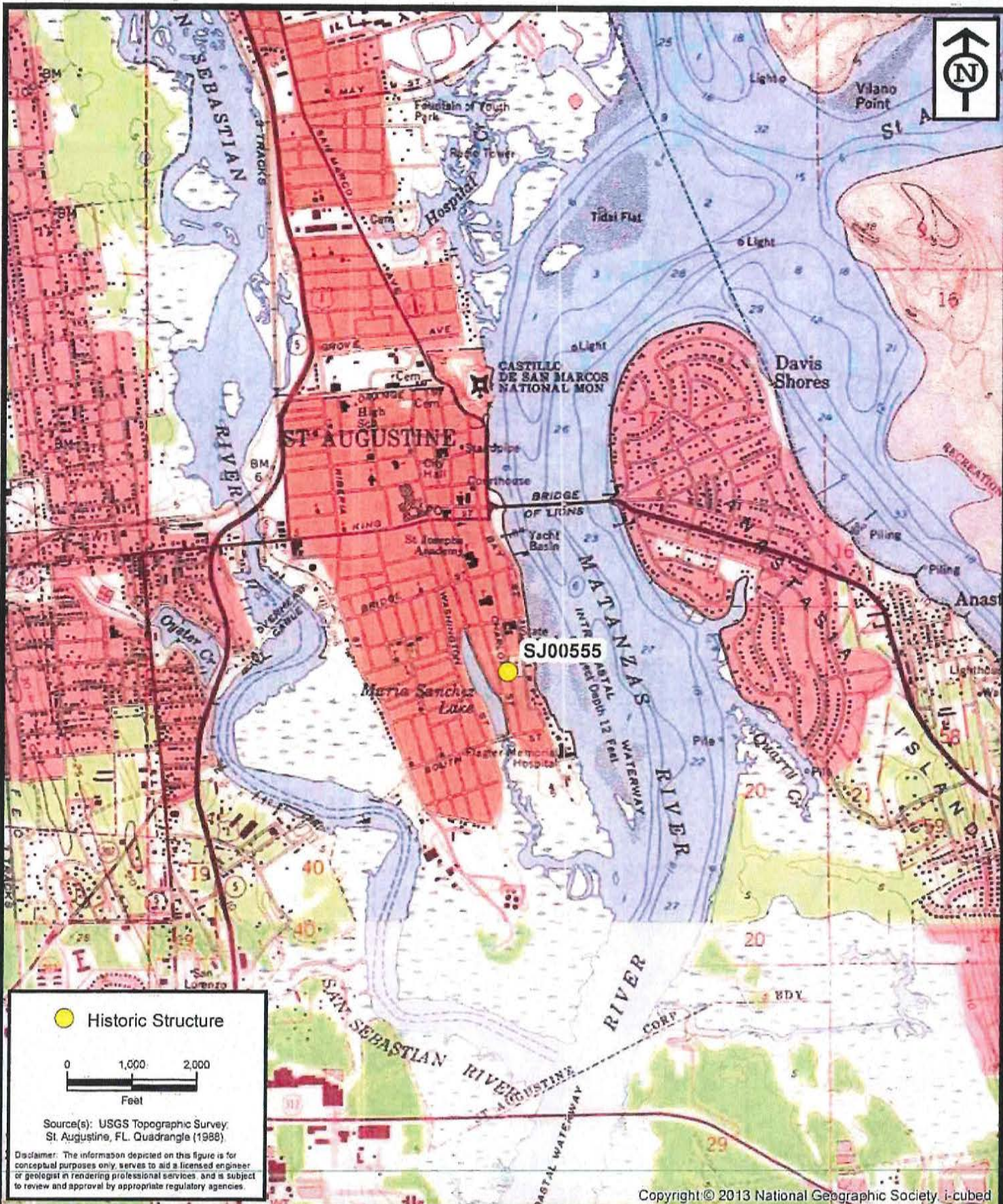
1) Document type _____ Maintaining organization _____
 Document description _____ File or accession #s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #s _____

RECORDER INFORMATION

Recorder Name Patricia Davenport Affiliation Environmental Services, Inc.
 Recorder Contact Information 7220 Financial Way Ste. 100 Jacksonville, FL 32256 904-470-2200, pdavenport@esinc.cc
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**ENVIRONMENTAL
SERVICES, INC.**

7220 Financial Way, Suite 100
Jacksonville, Florida 32256
(904) 470-2200
(904) 470-2112 Fax

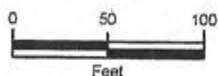
www.environmentalservicesinc.com

Project Location - SJ00555
City of St. Augustine
Historic Structure Survey
St. Johns County, Florida

Project:	AJ15441.00
Date:	May 2016
Drawn By:	AVL
Checked By:	JRN
Approved By:	PD
Figure:	1



- Historic Structure
- ▭ Parcel Location



Source(s): ESRI Topographic Basemap

Disclaimer: The information depicted on this figure is, for conceptual purposes only, serves to aid a licensed engineer or geologist in rendering professional services, and is subject to review and approval by appropriate regulatory agencies.

Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



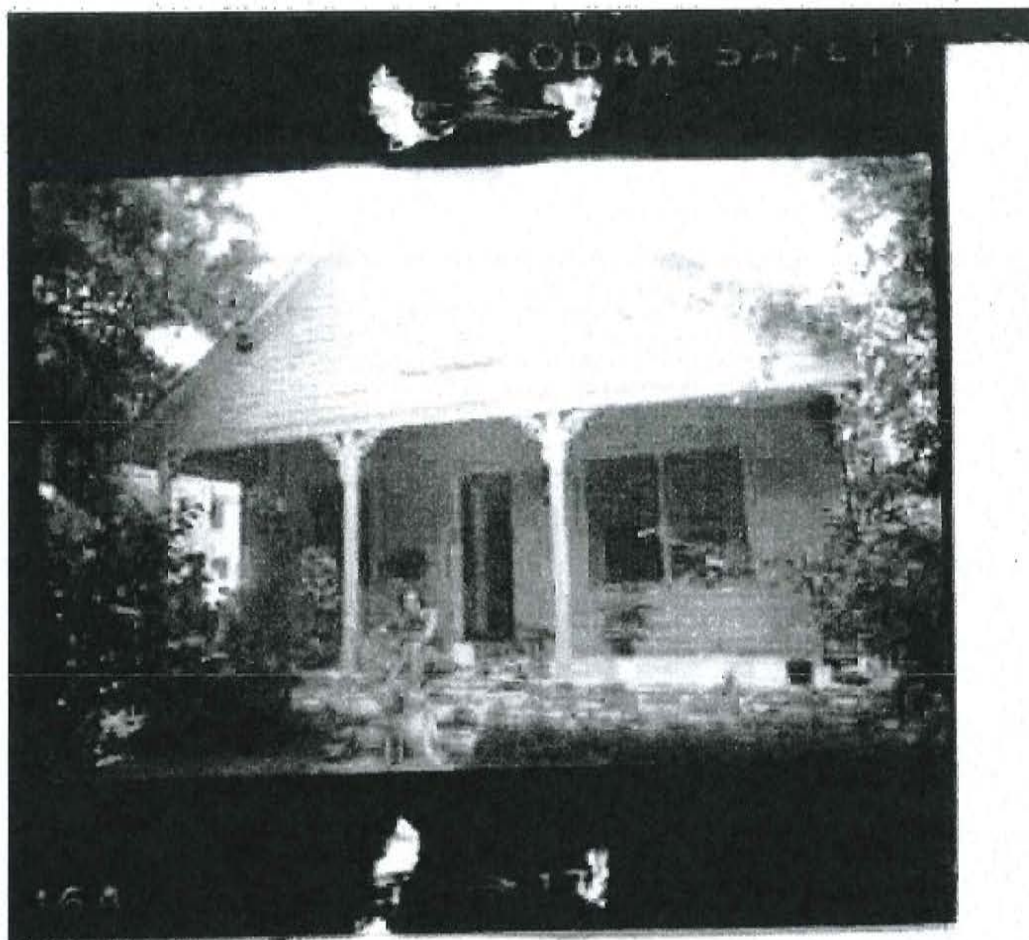
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St. Johns County, Florida

Project:	AJ15441.00
Date:	May 2016
Drawn By:	AVL
Checked By:	JRN
Approved By:	PD
Figure:	2



CONTINUED

The below is a list of requirements based upon the scope of work. (To be completed by planning staff)

WINDOWS (windows, shutters, and other associated features)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Photographs of affected window(s) or location(s) of proposed new window opening(s) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> For new openings, a scaled wall section with proposed window |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

FOUNDATION (replacement, infill, alteration including elevation)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Photographs of affected foundation in detail and in context of whole building and adjacent buildings |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

EXTERIOR ELECTRICAL/MECHANICAL (light fixtures, vents, utilities, pool systems, vending)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Photographs of existing details and context of affected site area within view of the proposed project |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> For new equipment, scaled drawing showing proposed project with context site and/or building |

FENCES/WALLS/GATES

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Photographs of existing site area within view of proposed fence/wall/gate and detail photo of any existing fence/wall/gate |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section |

PARKING, LANDSCAPE OR OTHER SITE FEATURE (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Photographs of existing site area within view of proposed feature and detail photo of any existing affected features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Plant material list with identification, quantity, size at planting and maturity, spacing |

NEW CONSTRUCTION (accessory structure/outbuilding, garage, and other new buildings)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Photographs of existing site area within view of proposed construction with context area |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled site plan showing the property line and proposed construction |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> Scaled landscape plan |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled elevation drawings showing existing building(s) and major site features |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled elevation drawings showing proposed building(s) and major site features |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Wall sections |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Refer to required details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> Written summary describing existing and proposed conditions and project's consistency with zoning code |

❖ Other details necessary for review:

Just need brochure of photos of proposed roof & exterior finisher, info. about lighting intensity, site plan showing current site & proposed changes

Project number: _____ Project Address: 320 6th Char.

Reviewed by: Kelli Mitchell Date: 8/24/16

COMPLETENESS REVIEW CHECKLIST

A Certificate or Opinion of Appropriateness application and related plans shall be submitted for review and approval by the Historic Architectural Review Board for exterior alterations and new construction associated with any building in designated historic preservation zoning districts (HP-1 through HP-5). In addition, a Certificate of Appropriateness shall be required for any proposed work on buildings immediately adjacent and in view of historic preservation zoning districts HP-1, HP-2, and HP-3. All proposed work items shall be reviewed for consistency and compliance with the 2011 edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. Copies of this document are available for a fee upon request and on the website at: http://www.staugustinegovernment.com/your_government/documents/AGHP2.pdf

Relevant information necessary for Certificate or Opinion of Appropriateness review shall include but not be limited to the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Architectural Guidelines for Historic Preservation*. The minimum application requirements for each scope of work are indicated below. Discuss the project with Planning Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal or will be advertised as incomplete and may be delayed. Minor details may be submitted up to 10 days before the meeting to the Planning and Building Department and HARB will determine if additional materials may be presented at the meeting.

INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

The below is a list of requirements based upon the scope of work. To be completed by planning staff

ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing roof and affected features |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only) |

EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing surface or feature including close-up and full building perspective |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Documentation of justification for changing the siding, finish, or feature and the extent of the affected area |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture |

PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. |
| | | | Permanent removal of major historic architectural features requires partial demolition application. |

AWNING/CANOPY

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing awning/canopy or location of proposed awning/canopy |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the façade |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing awning/canopy and the extent of the affected area |

EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)

- | OK | Need | N/A | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing door(s) or location of proposed new door opening(s) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new openings, a scaled wall section |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Documentation of justification for changing the existing door(s) and the extent of the affected area. |

Addition of
main structure

CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION



☐ OPINION ☒ CERTIFICATE OF APPROPRIATENESS



\$50.00	Alterations to single family home, site work, and site feature
<u>\$150.00</u>	Construction of new single family home, major alterations, ad valorem tax exemption
\$100.00	Alterations to all other buildings, site work, or features except single family home
\$200.00	New construction except single family home

BDAC Project No. 1431043

Receipt No. _____

Meeting Date: SEPT. 20, 2018

Advertising Costs \$ _____

Paid on _____

Receipt No. _____

- NAME OF APPLICANT DONALD CRICHTON
Business (if applicable) DON CRICHTON & ASSOC.
Address 302 ST. GEORGE ST.
City ST. AUGUSTINE State FL Zip Code 32084
Daytime telephone 904 311-0913 Other phone/email CRICHTON@COMCAST.NET
The above contact information will be used for correspondence. Please ensure this information is accurate.
- NAME OF PROPERTY OWNER STEVEN & LINDA WURKE
Business (if applicable) _____
Address 320 CHARLOTTE ST.
City ST. AUGUSTINE State FL Zip Code 32084
Daytime telephone (required) 904 510-4228 Other phone _____
- PROJECT STREET ADDRESS 320 CHARLOTTE ST.
- LEGAL DESCRIPTION: Lot _____ Block _____ Subdivision _____ Parcel _____
- EXISTING USE RESIDENTIAL PROPOSED USE RESIDENTIAL
- PROPOSED PROJECT WORK

- A. DEMOLITION (if historic architectural features will be permanently removed a Certificate of Demolition is required and must be heard simultaneous with this application) ☐ YES ☒ NO
- B. REHABILITATION (check repair or replace and provide a description on the line provided)

REPAIR REPLACE

- | | | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Roof _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof structures (dormers, chimneys, etc.) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior finishes (stucco, masonry, siding) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Porch/Deck/Balcony _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Awning/Canopy _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior Doors _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Windows _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Shutters _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Foundation (including infill) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior lighting & other appurtenances _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing fences, walls & gates _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing parking, walkways & other site features _____ |

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C. NEW CONSTRUCTION (check and specify all work items that apply)

- ☐ New building _____
- ☒ New addition _____
- ☒ New roof structures (dormers, chimneys, etc.) _____
- ☒ New porch/deck/balcony _____
- ☐ New awning/canopy _____
- ☐ New entrances _____
- ☒ New window opening/sashes _____
- ☐ New exterior lighting _____
- ☐ New fence/wall/gate _____
- ☐ New parking/walkways/other site features _____
- ☐ Exterior utility service/mechanical equipment _____

D. PAINT COLORS (check one)

- ☒ Scheme with pre-approved paint colors (exterior colors available upon request)
- ☐ Custom color scheme (provide color samples & building elevations showing color placement)
- ☐ No painting associated with proposed project

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

EXPAND LIVING SPACE BY THE ADDITION TO THE MAIN STRUCTURE OF
A GARAGE ADD. AND A PARTIAL 2ND FLOOR WHILE PRESERVING
THE HISTORIC 1 STORY ELEVATION AND PORCH DETAILS.

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is for an Opinion of Appropriateness, I must still obtain a Certificate of Appropriateness before project work can begin. If this application is for a Certificate of Appropriateness and it is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work. Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

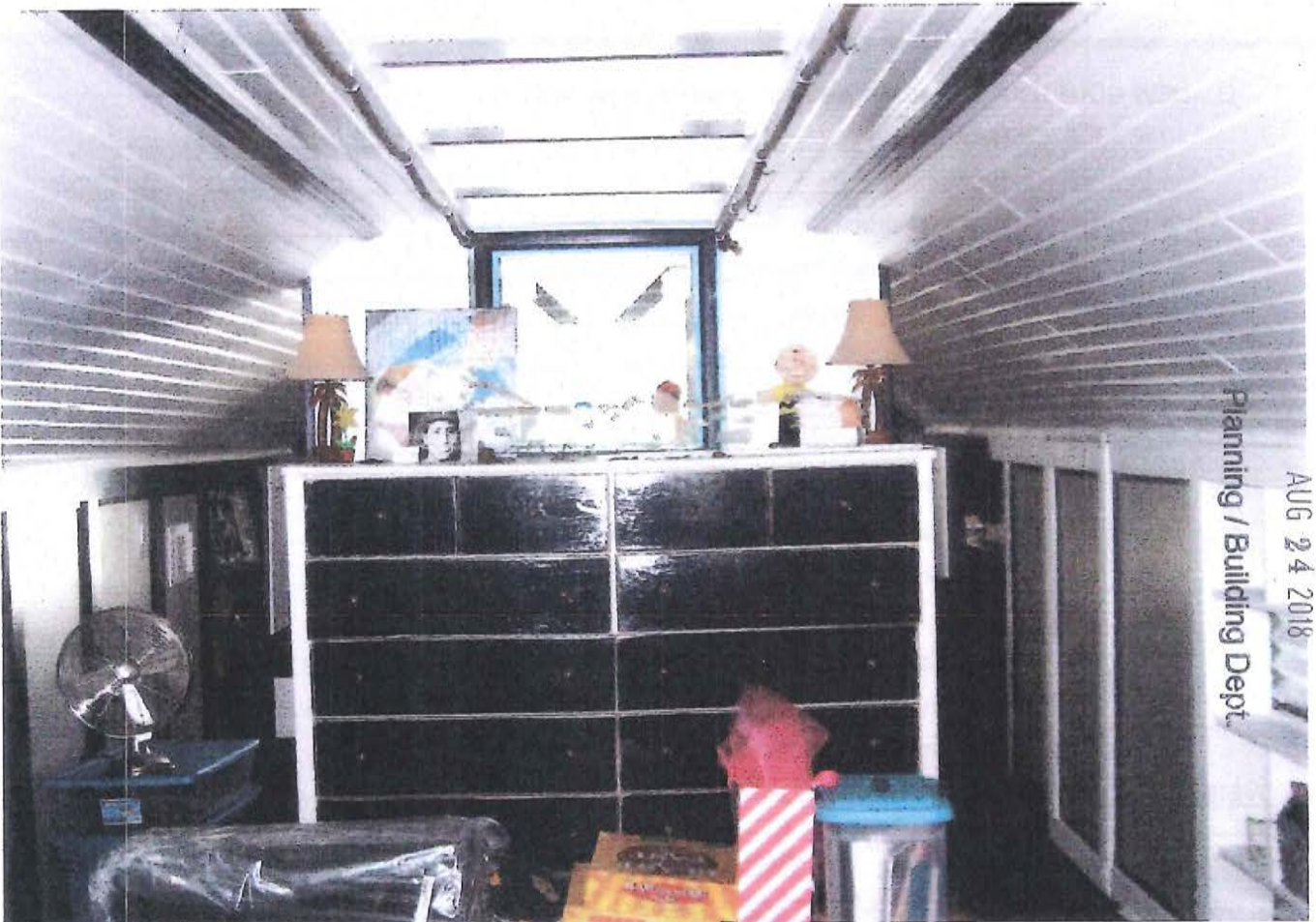
PRINT APPLICANT'S NAME DONALD CRICHTON
SIGNATURE OF APPLICANT Donald A. Crichton DATE 8/23/18
PRINT OWNER'S NAME Linda Lohrke
SIGNATURE OF OWNER Linda Lohrke DATE 8-13-2018

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

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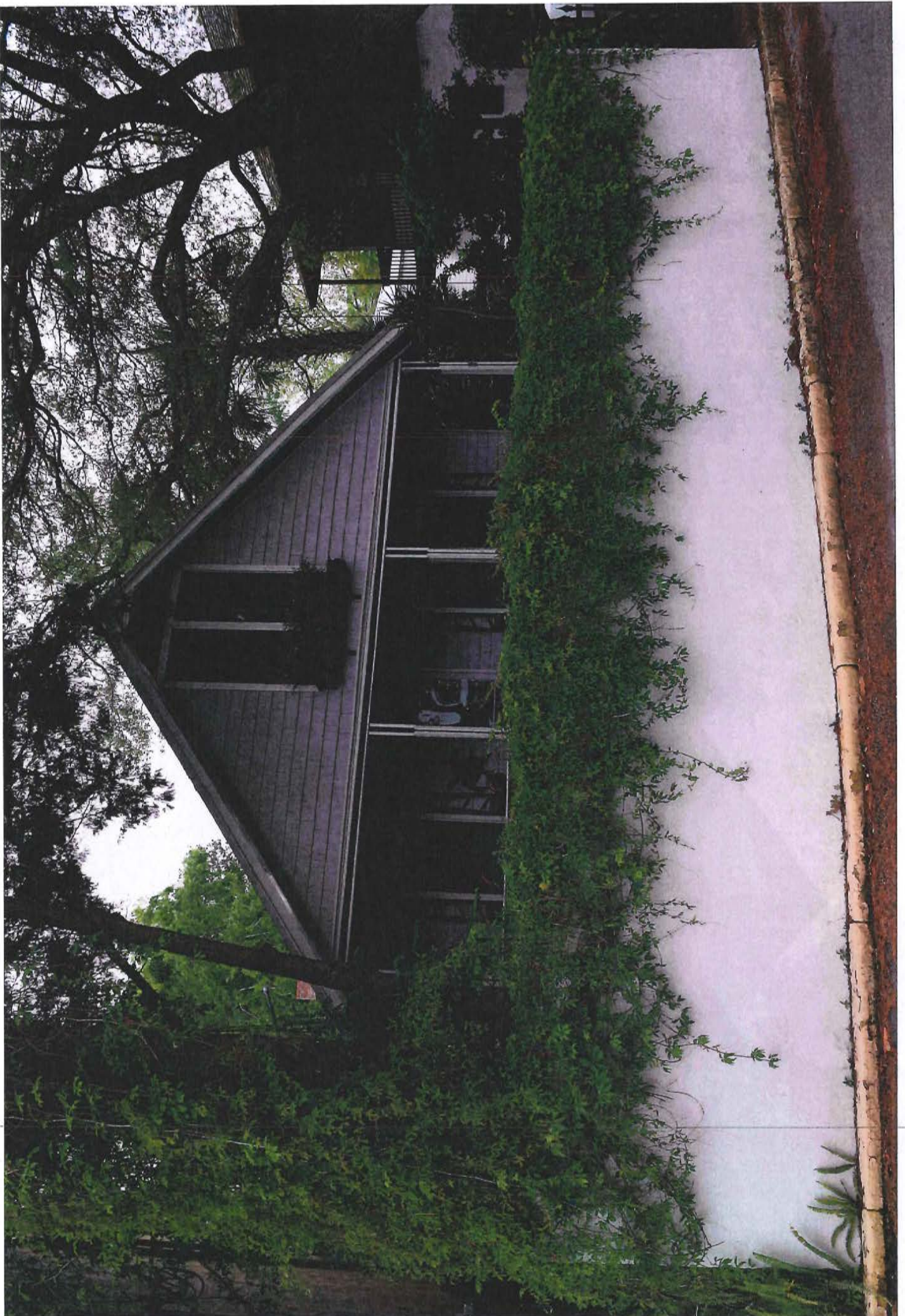


INTERIOR 2ND FLOOR - EXISTING



INTERIOR 1ST FLOOR - EXISTING





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EXISTING EAST FACADE



EXISTING NORTH FACADE

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NEIGHBORING RESIDENCE W/GARAGE



NEIGHBORING BLDG. W/GARAGE



NEIGHBORING RESIDENCE W/GARAGE

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ADJACENT RESIDENCE W/GARAGE DOOR



NEIGHBORING RESIDENCE W/GARAGE



CIRA. 1960'S



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St. Augustine, St. Johns County, Florida, 1904

DESCRIPTION

ALL VOLUMES

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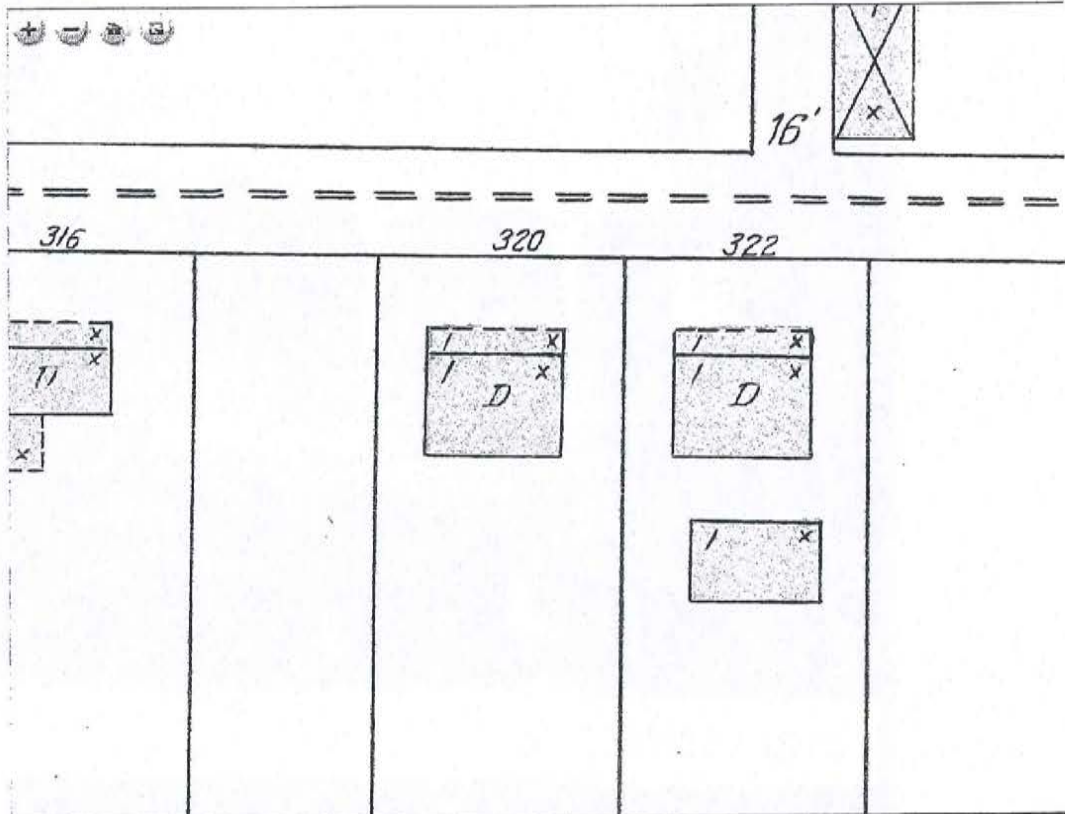
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1904 BLDG. PLAN BEFORE REAR ADDITION

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Door 1510 (SG) in Fir with Ovolo Sticking



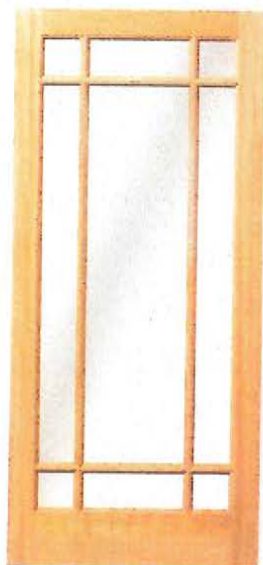
Door 1515 (SG) in Fir with Ovolo Sticking



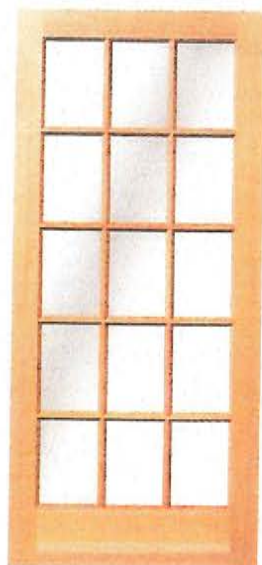
Door 1615 (BEVEL SG) in Fir with Ovolo Sticking



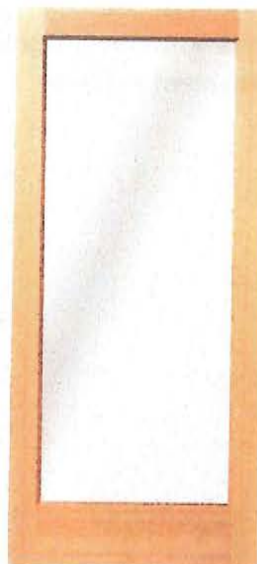
Door 4501 (IG) in Fir with Ovolo Sticking



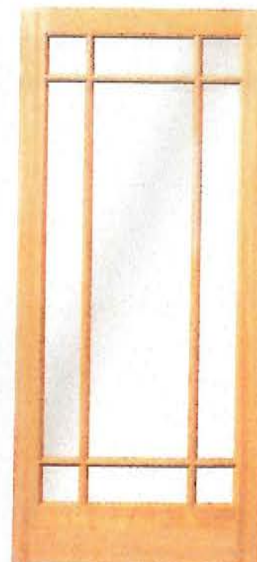
Door 4509 (IG) in Fir with Modified Ovolo Sticking



Door 4515 (IG) in Fir with Modified Ovolo Sticking



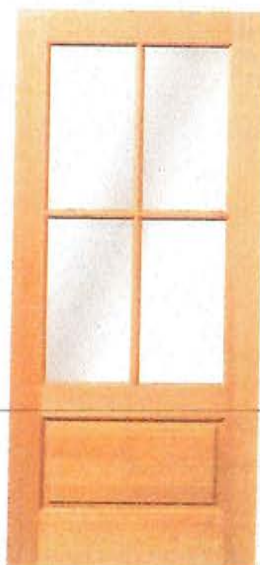
Door 1501 (SG) in Fir with Ovolo Sticking



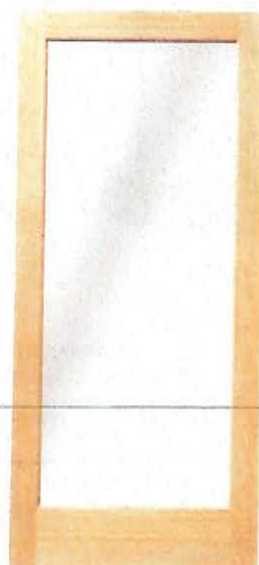
Door 1509 (SG) in Fir with Ovolo Sticking



Door 4621 (IG) in Fir with Modified Ovolo Sticking



Door 4621-4 (IG) in Fir with Modified Ovolo Sticking



Door 4501 (IG) in Pine with Modified Ovolo Sticking



Door 4501 15 GBG (IG) in Pine with Modified Ovolo Sticking



Search All Brands...



ELK Group International > Thomas > Outdoor Lighting > Sconce >
Hawthorne 1-Light Outdoor Wall Lantern in Black



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Thomas

AWAY, email us

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CANYON RIDGE COACHMAN GRAND HARBOR GALLERY CLASSIC MODERN STEEL AVANTE RESERVE CLASSIC WOOD

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WOOD RAISED-PANEL GARAGE DOORS



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Customizing your wood garage door means making multiple decisions. Our different models give you a choice in design, optional windows and wood selection. These decisions also put the power of personalization in your hands, allowing you to try different garage door combinations before achieving the perfect look for your home's exterior.

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DESIGNS



SHORT



LONG

TOP SECTIONS/WINDOWS

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Kelli Mitchell

From: Don Crichlow <crichlow@comcast.net>
Sent: Tuesday, August 28, 2018 3:38 PM
To: Kelli Mitchell
Cc: Steve Lohrke
Subject: 320 St. George St.
Attachments: A5.pdf; A2.pdf; A3.pdf; A4.pdf; A1.pdf; A6.pdf; A7.pdf; A8.pdf; A9.pdf; A10.pdf

Kelli,

In response to the checklist items for the 320 Charlotte St. HARB application please see the following:

Roofs and Roofing – roofing will be 5V Crimp galvalume metal to match the existing roof in color and style. I will provide a cut sheet of proposed material.

Exterior Finishes – exterior finishes will be horizontal wood siding to match existing siding. The stucco on the first floor of the garage/suite structure will be a smooth, sand finish. Colors shall be selected from the list of approved historic colors.

Windows – sheet A8 of the attached drawings give the dimensions, profile and construction of the wood windows.

Foundation – the existing brick foundation under the front porch and the masonry piers and wood lattice on the existing building will not be changed.

Exterior Electrical – cut sheets for the proposed lighting was included with the HARB application.

New Construction – 1) scaled site plan was included in the HARB application. Sheet A10 of the attached drawings provide existing vs. proposed site plans; 2) scaled elevation drawings along with a streetscape was included in the HARB application.

If there is any additional information required please contact me.

Don Crichlow
Project Architect

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Public Records of St. Johns County, FL Clerk # 2012014339, O.R. 3536 PG 750,
03/14/2012 at 04:06 PM REC. \$5.00 SUR. \$5.00 Doc. D \$1176.00

Prepared by and after recording, please send to:

Craig M. Herzog
Action Title Services of St. Johns County, Inc.
3670 US 1 South, Suite 110, St. Augustine, Florida 32086
File Number: 12-7497

Consideration: \$168,000.00 (One Hundred Sixty Eight Thousand dollars & no cents)

This Warranty Deed

Made this March 9, 2012 A.D. By Anne M. Shepard, an unmarried woman hereinafter called the grantor, to Steven Lohrke and Linda Lohrke, husband and wife, whose post office address is: 14 Grove St, St Augustine, FL 32084, hereinafter called the grantee: (Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of \$168,000.00 (One Hundred Sixty Eight Thousand dollars & no cents) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Johns County, Florida, viz:

LOT 15, BLOCK 39-A, CITY OF ST. AUGUSTINE, FLORIDA, EXCEPTING A PARCEL IN THE NORTHWEST CORNER OF SAID LOT 15, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

STARTING AT THE SOUTHEAST CORNER OF LOT 15; THENCE RUN SOUTH 83 DEGREES 26' 30" WEST, A DISTANCE OF 69.00'; THENCE NORTH 8 DEGREES 02' 00" WEST, A DISTANCE OF 37.7'; THENCE NORTH 83 DEGREES 26' 30" EAST A DISTANCE OF 33.9'; THENCE NORTH 8 DEGREES 02' 00" WEST, A DISTANCE OF 14.3'; THENCE NORTH 83 DEGREES 26' 30" EAST A DISTANCE OF 35.4'; THENCE SOUTH 8 DEGREES 02' 00" EAST, A DISTANCE OF 43.00'; THENCE SOUTH 5 DEGREES 25' 22" EAST, A DISTANCE OF 9.00' TO THE POINT OF BEGINNING, ALL DISTANCES BEING MORE OR LESS.

Parcel ID Number: 200520-0000

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

SUBJECT TO covenants, restrictions, easements, limitations and reservations of record, if any. However, this reference does not reimpose same. Subject to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any. Subject to taxes and assessments for the current year.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2011.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

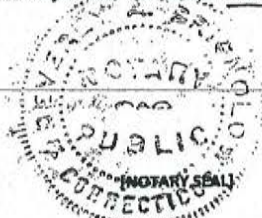
[1] Cory A. Gordon
Witness Printed Name: Cory A. Gordon

[2] Steve Barrett
Witness Printed Name: STEVE BARRETT

Anne M. Shepard by
Ryder Kingsley (Seal) AIF
Anne M. Shepard by Ryder Kingsley her Attorney-in-Fact
Address: 70 Wakelee Ave Ext. Shelton, CT 06484

State of CONNECTICUT
County of Fairfield

The foregoing instrument was acknowledged before me this March 09, 2012, by Anne M. Shepard by Ryder Kingsley her Attorney-in-Fact, who is personally known to me or who has produced A VALID DRIVER'S LICENSE(S) as identification.



Notary Public

Beverly A. Bagnolo

Notary Print Name

My Commission Expires: May 31, 2015



St. Johns County, FL

Quick Links

[My Tax Bill](#)
[Tax Estimator](#)
[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 2005200000
Location Address 320 CHARLOTTE ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CTY ST AUG (610)
Tax Description* CITY OF ST AUGUSTINE E69.2FT OF LOT 15 BLK 39-A (EX N14.3 OF W33.9FT) OR3536/750 & 3682/960(L/E)
 *The Description above is not to be used on legal documents.
Property Use Code Single Family (0100)
Subdivision City of St Augustine
Sec/Twp/Rng 20-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.070
Homestead Y

View Map

Owner

Owner Name Lohrke Steven,Linda *** 100%
 Lohrke Linda *** 100%
 Drach Jack L Et AL 0%
 Drach Virginia C Jtrs 0%
Mailing Address 320 CHARLOTTE ST
 SAINT AUGUSTINE, FL 32084-5002

Valuation

	2018
Building Value	\$61,727
Extra Features Value	\$7,407
Total Land Value	\$137,714
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$206,848
Total Deferred	\$58,965
Assessed Value	\$147,883
Total Exemptions	\$50,000
Taxable Value	\$97,883

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$63,598	\$7,368	\$137,714	\$0	\$0	\$208,680	\$144,841	\$113,839	\$94,841
2016	\$64,533	\$7,383	\$125,195	\$0	\$0	\$197,111	\$141,862	\$105,249	\$91,862
2015	\$59,767	\$7,398	\$96,579	\$0	\$0	\$163,744	\$140,876	\$72,868	\$90,876
2014	\$45,423	\$7,414	\$86,921	\$0	\$0	\$139,758	\$139,758	\$50,000	\$89,758
2013	\$46,685	\$7,429	\$86,921	\$0	\$0	\$141,035	\$141,035	\$50,000	\$91,035
2012	\$43,677	\$7,445	\$86,921	\$0	\$0	\$138,043	\$138,043	\$0	\$138,043
2011	\$36,490	\$6,143	\$96,579	\$0	\$0	\$139,212	\$76,738	\$112,474	\$26,738
2010	\$37,078	\$6,166	\$107,310	\$0	\$0	\$150,554	\$75,604	\$124,950	\$25,604

Exemptions

Exemption Type	Amount
Homestead	\$25,000
Homestead Band	\$25,000

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	1048	Roof Cover	Metal
Conditioned Area	902	Interior Flooring	Hardwood, Sheet Vinyl
Actual Year Built	1896	Interior Wall	Drywall
Use	Single Family Residence	Heating Type	Air Duct
Style	01	Heating Fuel	
Class	N	Air Conditioning	Central
Exterior Wall	Wood Shingle	Baths	1

Category	Type	Pct
Exterior Wall	Wood Shingle	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Metal	100%
Interior Walls	Drywall	100%
Interior Flooring	Hardwood	80%
Interior Flooring	Sheet Vinyl	20%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Average	100%
Foundation	Piers and Posts	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	902	902
FOPN PRCH	0	120
UNFNATTICF	0	26
Total SqFt	902	1048

Extra Features

Code Description	BLD	Length	Width	Height	Units
MS/CB WALL	0	0	0	0	1208
Patio	0	0	0	0	120

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	37	70	37	EF	\$109,686
Single Family	14	35	14	EF	\$28,028

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
2/6/2013	1/28/2013	\$0.00	LE	3682	960	U	I	LOHRKE STEVEN,LINDA	LOHRKE STEVEN,LINDA ***
3/14/2012	3/9/2012	\$168,000.00	WD	3536	750	Q	I	SHEPARD ANNE M	LOHRKE STEVEN,LINDA
8/13/2008	8/12/2008	\$100.00	QC	3114	141	U	I	SHEPARD ANNE M	SHEPARD ANNE M & JOHN KENNETH JR(JTRS)
	8/18/2010	\$0.00	LE	3348	1685	U	I	SHEPARD ANNE M	SHEPARD ANNE M ***
	7/23/2010	\$0.00	DC	3536	743	U	I	SHEPARD JOHN KENNETH JR (DECD)	SHEPARD ANNE M (SURV JTRS)
	1/1/1977	\$32,500.00		325	426	U	I		SHEPARD ANNE M

Area Sales Report

Recent Sales in Area

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

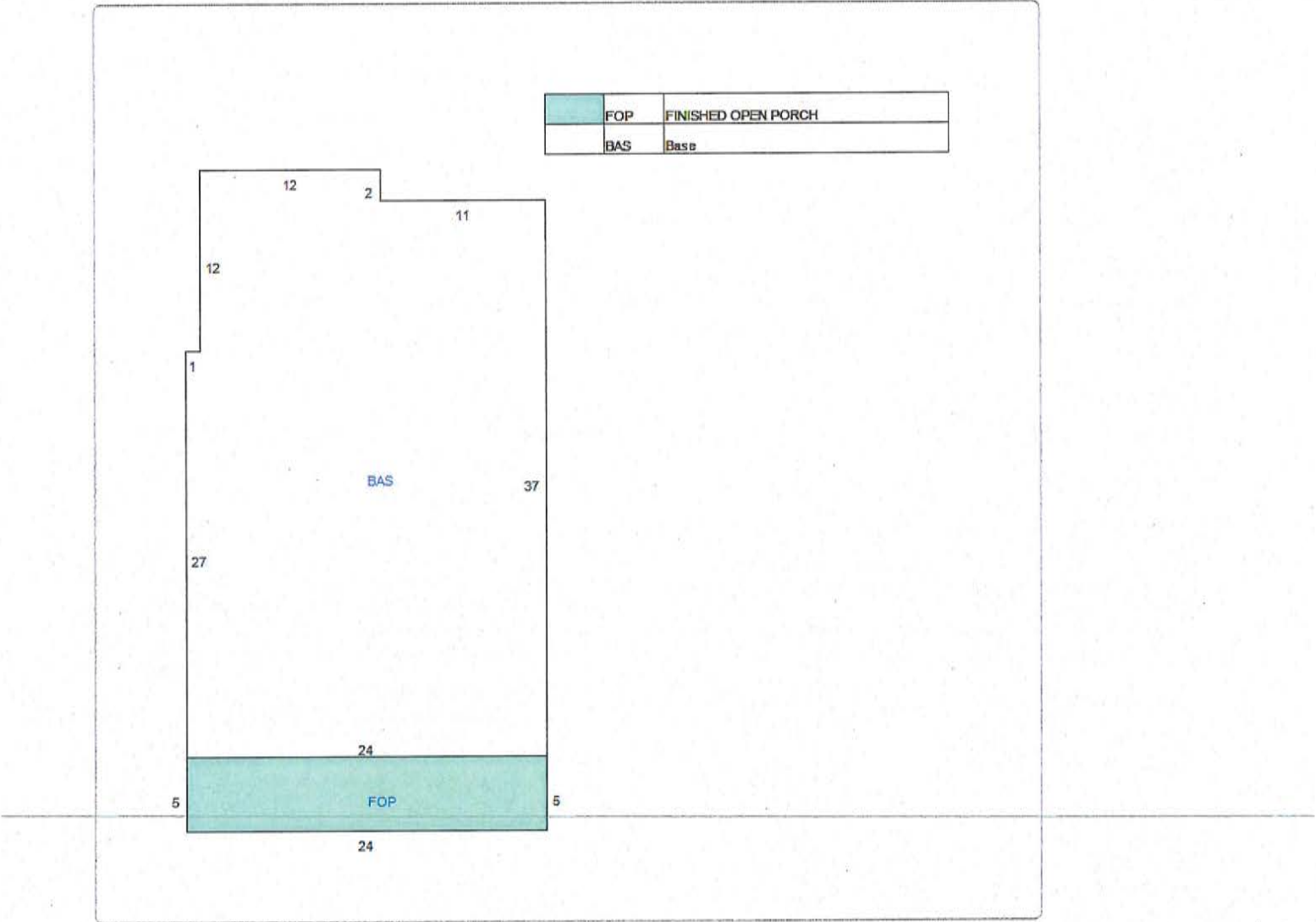
Tax Estimator

Tax Estimator

Map



Sketches



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FLOOD ZONE INFORMATION

ZONE: N/A

WIND ZONE INFORMATION

NOTE:
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENTS OF THE 6th EDITION OF THE 2017 FLORIDA BUILDING CODE AND THE 2014 ELECTRICAL CODE

THIS BUILDING IS NOT LOCATED IN THE WIND BORNE DEBRIS REGION.

BASIC WIND SHEAR (M.P.H. - 3-SECOND GUST)	130
WIND IMPORTANCE FACTOR	1
BUILDING CATEGORY	2
WIND EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT	.18

CORROSION RESISTANT FASTENERS, CONNECTORS AND FLASHING

- ALL FLASHING IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE COPPER. (DO NOT USE ALUMINUM.)
- ALL NAILS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE EITHER STAINLESS STEEL OR G-185 "HOT-DIPPED" GALVANIZED OR BETTER.
- ALL EXPANSION BOLTS SHALL BE ELECTROGALVANIZED CLASS 40 OR ABOVE.
- USE ONLY "SIMPSON ZMAX" LINE OR USP STRUCTURAL CONNECTORS' TRIPLE ZINC CONNECTORS WHEN IN CONTACT WITH PRESSURE TREATED WOOD.

WOOD FRAMING:

- ALL WOOD FRAMING SHALL BE FABRICATED AND INSTALLED PER AITC AND TPI AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.

- ALL WOOD MEMBERS SHALL HAVE THE FOLLOWING MIN DESIGN VALUES:

SAWN LUMBER:
Fb = 1,000 PSI
Fv = 90 PSI
Fcf = 270 PSI
Fc = 1,100 PSI
E = 1,500,000 PSI

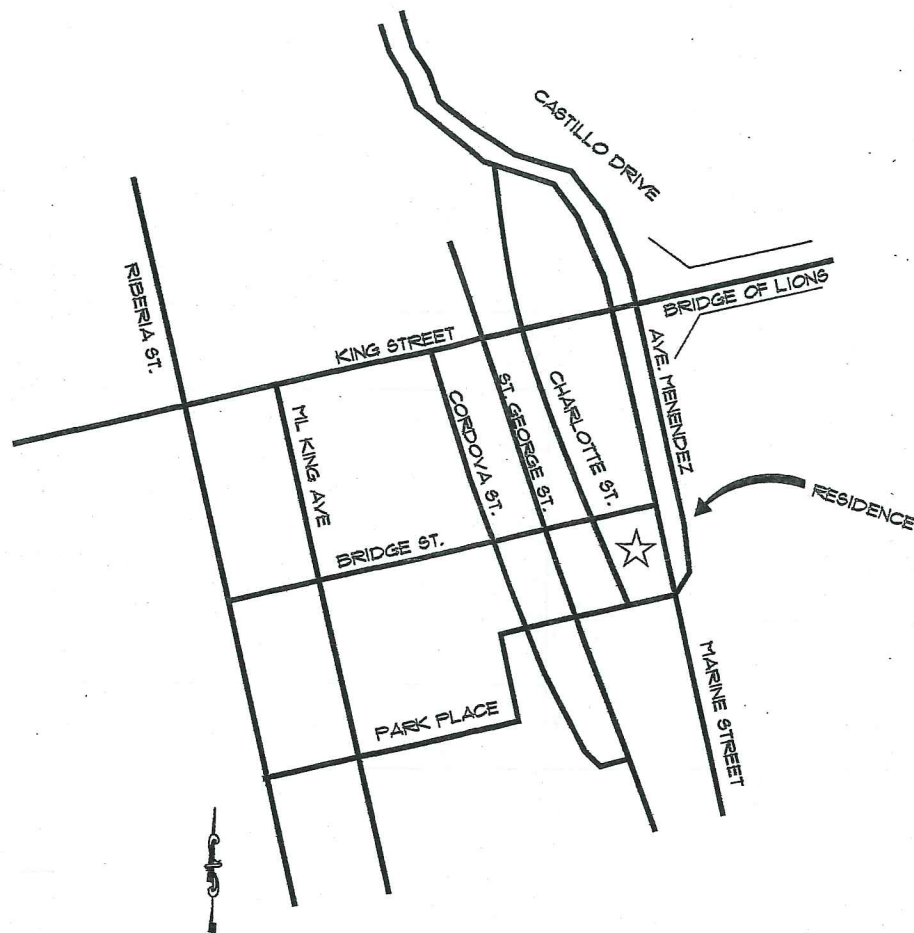
NAILING SCHEDULE:

WALL AND ROOF SHEATHING:
8d NAILS 6" O.C. PERIMETER
8d NAILS 12" O.C. IN FIELD

- ROOF AND WALL SHEATHING SHALL BE 7/16TH ORIENTED STRAND BOARDS (OSB) OR BETTER, SPAN RATED AS SHOWN ON THE DRAWINGS.
- ALL WOOD MEMBERS EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY, CONCRETE, OR SOIL, SHALL BE PRESSURE-TREATED.
- CONTRACTOR SHALL PROVIDE ALL FASTENING DEVICES NECESSARY AND SUITED FOR EACH APPLICATION.
- ALL METAL CONNECTIONS AND FABRICATIONS SHALL COMPLY WITH A.I.S.C. SPECIFICATIONS.
- SOLID BLOCK ALL JOIST AND RAFTERS AT POINT OF SUPPORT.
- GRADE OF LUMBER TO BE USED FOR THE FABRICATION OF STUD WALLS MAY BE SPF #2 INSTEAD OF SYP #2.

MASONRY

- CONCRETE MASONRY UNITS SHALL BE ASTM C90-75 HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS, TYPE 1, GRADE N-1 NORMAL WEIGHT, WITH A MIN. COMPRESSIVE STRENGTH OF 2000 PSI (f'm = 1350 PSI).
- MORTAR SHALL CONFORM TO ASTM C270 AND SHALL BE OF TYPE M OR S.
- HORIZONTAL MASONRY JOINTS REINFORCEMENT SHALL BE GALVANIZED TRUSS - TYPE WITH 6" LAP AT ALL SPLICES AND PLACED AT EVERY OTHER BLOCK COURSE, MAX. 16" O.C.



LOCATION MAP
N.T.S.

LOHRKE RESIDENCE

320 CHARLOTTE STREET ST. AUGUSTINE, FLORIDA 32084

CONCRETE

- ALL CONCRETE SHALL HAVE A MIN. OF 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- FOOTINGS SHALL BEAR UPON UNDISTURBED SOIL OR UPON SOIL COMPACTED TO A DENSITY OF AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) FOR A DEPTH OF AT LEAST THREE FEET (3 FT.) BELOW THE BOTTOM OF THE FOOTING.
- ALL OPENINGS, TRENCHES AROUND OR AFFECTED BY MECHANICAL, ELECTRICAL EQUIPMENT SHALL BE VERIFIED WITH EQUIPMENT PURCHASED BEFORE PROCEEDING WITH CONCRETE WORK AFFECTED.
- REINFORCING STEEL SHALL BE A-615 GRADE 50 STEEL CONFORMING TO ACI 301, ACT 315, ACI 318 AND CRSI MANUAL OF STANDARD PRACTICE, LATEST EDITIONS.
- ALL CONTINUOUS VERTICAL AND HORIZONTAL REINFORCING STEEL IN FOOTINGS SHALL BE LAP SPICED A MIN. OS 36 BAR DIAMETERS OR 24", WHICHEVER IS GREATER UNLESS OTHERWISE NOTED.
- THE MIN. CONCRETE COVER FOR FOOTINGS SHALL BE 3" MIN. FOR REINFORCEMENT. FOOTINGS (TO MAIN REINFORCEMENT) 3 INCHES SLAB ON GRADE CENTERED
- HORIZONTAL BEAM AND FOOTING BARS SHALL BE BENT 1'-0" AROUND CORNERS OR CORNER BARS WITH 2'-0" LAP SHALL BE PROVIDED.
- CONTRACTOR SHALL PROVIDE SPACERS, CHAIRS, BOLSTERS, ETC. NECESSARY TO SUPPORT REINFORCING STEEL. SUPPORT ITEMS WHICH BEAR ON EXPOSED CONCRETE SURFACES SHALL HAVE ENDS THAT ARE PLASTIC TIPPED OR STAINLESS STEEL.
- ALL REINFORCING DETAILS SHALL CONFORM TO MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI 315 LATEST EDITION, UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "THE BUILDING CODES FOR CONCRETE" ACI 318 LATEST EDITION, AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" ACI301.

INDEX OF DRAWINGS

- A1 LOCATION, INDEX, CODE INFORMATION
- A2 SITE PLAN
- A3 FLOOR PLANS - RESIDENCE
- A4 ELEVATIONS - RESIDENCE
- A5 FLOOR PLANS - GARAGE
- A6 ELEVATIONS - GARAGE
- A7 ADDITIONAL ELEVATIONS
- A8 CONSTRUCTION DETAILS
- A9 STREET SCAPES
- A10 STREET SCAPES COMPARISON
- A11 SITE PLAN COMPARISON

LOT COVERAGE PERCENTAGE

LOT SIZE	3,093 SQ. FT.
EXISTING LOT COVERAGE	34.2 %
PROPOSED LOT COVERAGE	48.5 %

SQUARE FOOTAGE INFORMATION

TOTAL CONDITIONED SPACE ADDITION-	XXX SQ. FT.
-----------------------------------	-------------

STRUCTURE HEIGHT AND NUMBER OF STORIES

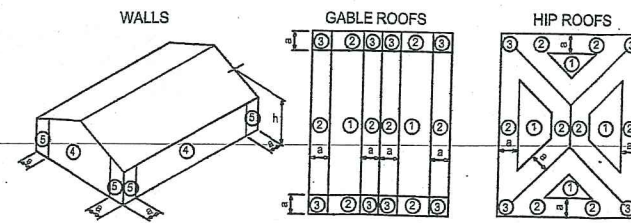
MEAN ROOF HEIGHT IN FEET	24'-8"
NUMBER OF STORIES	2

OCCUPANCY: RESIDENTIAL

TYPE OF CONSTRUCTION

TYPE VB

ALL WIND LOADS ARE IN ACCORDANCE WITH SECTION 1609, FLORIDA BUILDING CODE, 2017											
BASIC WIND SPEED		130 MPH									
IMPORTANCE FACTOR		1.00									
BUILDING CATEGORY		II									
EXPOSURE		C									
INTERNAL PRESSURE COEFFICIENT		+/- 0.18									
TYPE OF STRUCTURE		ENCLOSED									
MWFRS PER ASCE 7-10 DESIGN WIND PRESSURES WORST CASE		Zone 1 - Windward Wall				+34.2 psf					
		Zone 2 and 3 - Windward and Leeward Roof				-37.5 psf					
		Zone 2 - Sloped Windward Roof				-37.5 psf					
		Zone 3 - Leeward Roof				-37.5 psf					
		4 - Leeward Wall				-23.9 psf					
		5 & 6 Sidewalls				-30.6 psf					
		Zone 7 - Overhang				+27.0 psf					
COMPONENTS AND CLADDING PER ASCE 7-10 DESIGN WIND PRESSURES WORST CASE (PSF)		Roof		10 sf		20 sf		50 sf		100 sf	
				pos.	neg.	pos.	neg.	pos.	neg.	pos.	neg.
			Zone 1	23.30	-37.02	21.29	-35.97	18.50	-34.82	16.49	-38.91
			Zone 2	23.30	-64.45	21.29	-68.52	18.50	-60.58	16.49	-57.11
			Zone 3	23.30	-65.33	21.29	-69.19	18.50	-60.93	16.49	-68.26
			Zone 4	40.48	-43.91	38.62	-42.08	36.22	-39.68	38.34	-37.82
		Wall	Zone 5	40.48	-54.18	38.62	-50.57	36.22	-46.67	34.47	-42.08
FLOOD ZONE		ZONE X									
OPENING PROTECTION		REQUIRED									



a: 10% of least horizontal dim. or 0.4h, whichever is smaller, but not less than either 4% of least horizontal dimension or 3 ft.
h: mean roof height, in feet.

COMPONENTS AND CLADDING

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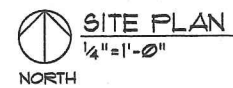
COVER SHEET

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320 CHARLOTTE STREET
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FLORIDA, 32084

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SHEET
A1
1 OF 11

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<u>LOT COVERAGE PERCENTAGE</u>	
LOT SIZE	3,093 SQ. FT.
EXISTING LOT COVERAGE	34.2 %
PROPOSED LOT COVERAGE	48.5 %

A **RCHITECT**

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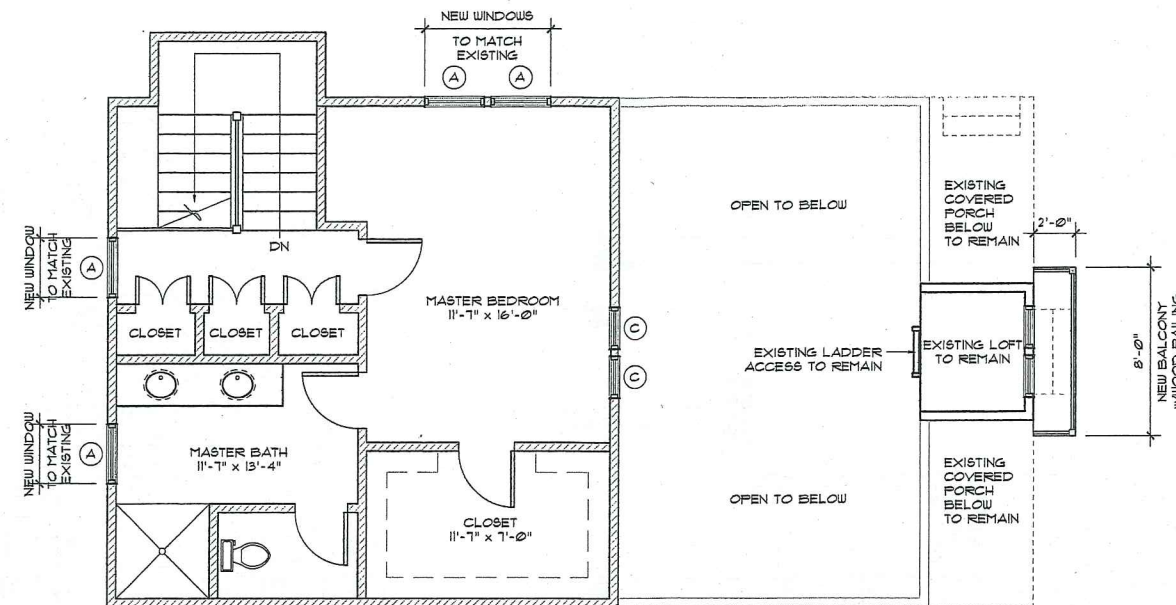
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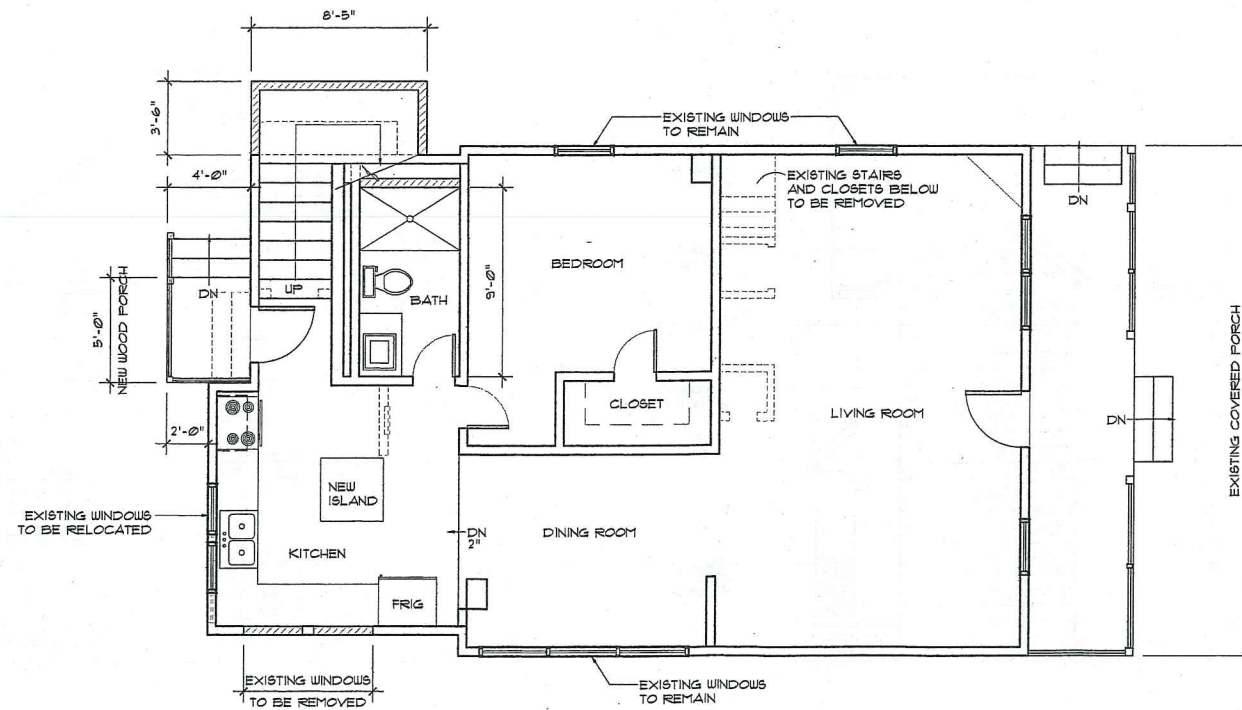
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SECOND FLOOR PLAN - RESIDENCE

Legend

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW WOOD WALL



FIRST FLOOR PLAN - RESIDENCE

Square Footage Information

1st FLOOR - EXISTING	915 Sq. Ft.
1st FLOOR - ADDITION	38 Sq. Ft.
1st FLOOR - TOTAL	953 Sq. Ft.
2nd FLOOR - EXISTING	230 Sq. Ft.
2nd FLOOR - ADDITION	397 Sq. Ft.
2nd FLOOR - TOTAL	627 Sq. Ft.
EXISTING - TOTAL	1,445 Sq. Ft.
PROPOSED - TOTAL	1,580 Sq. Ft.

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FLOOR PLANS
RESIDENCE

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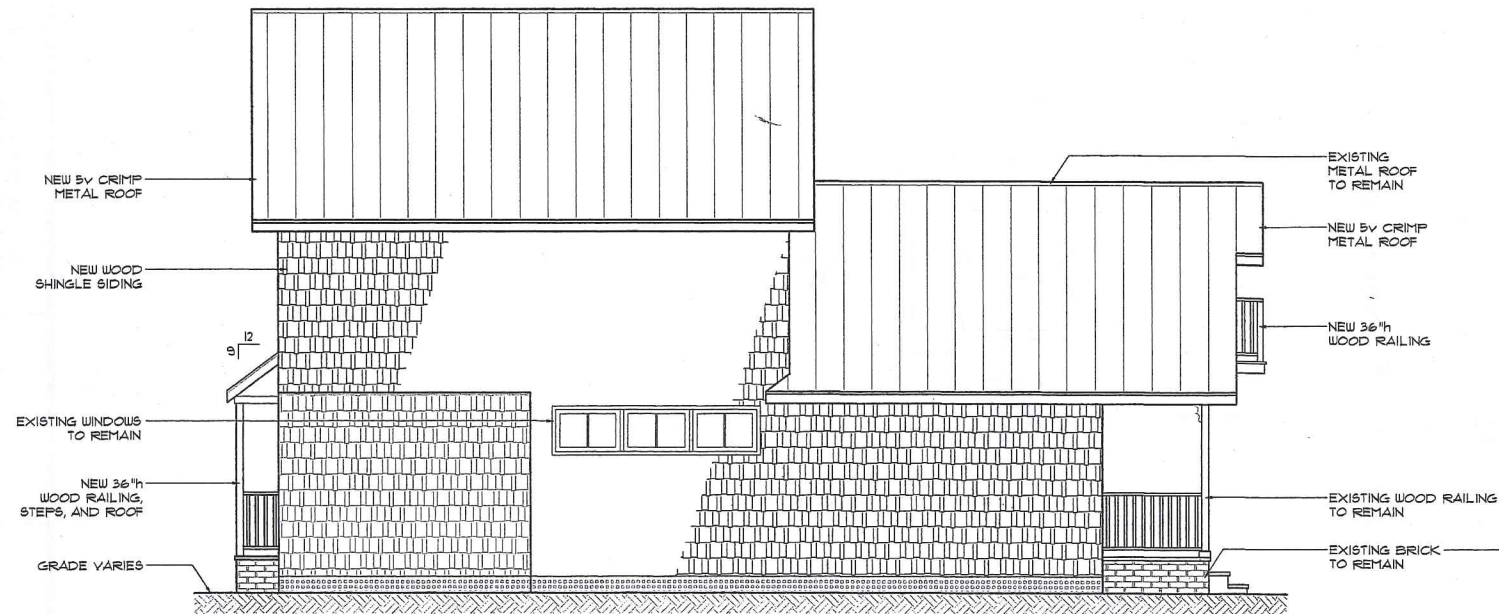
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A3
3 OF 11

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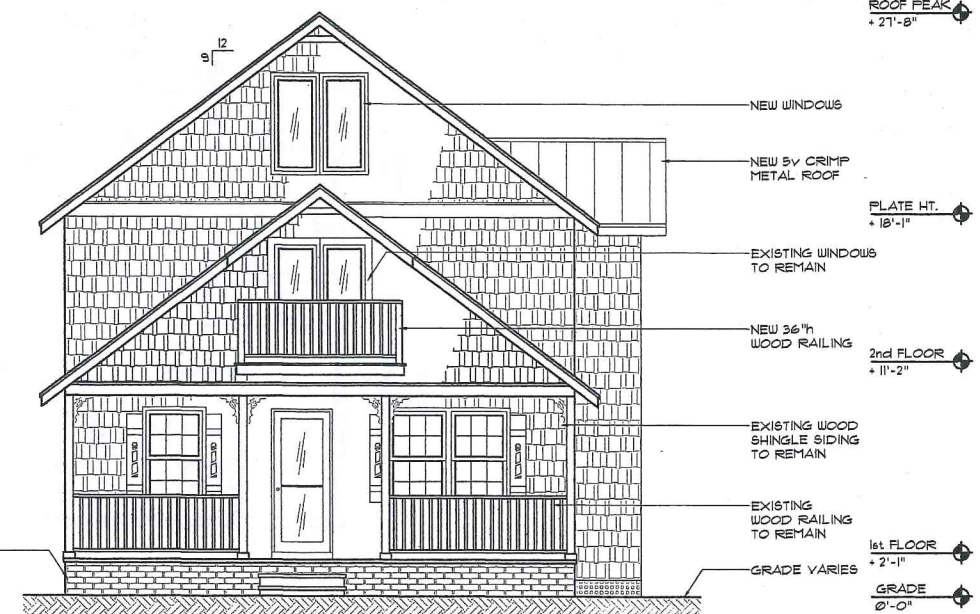
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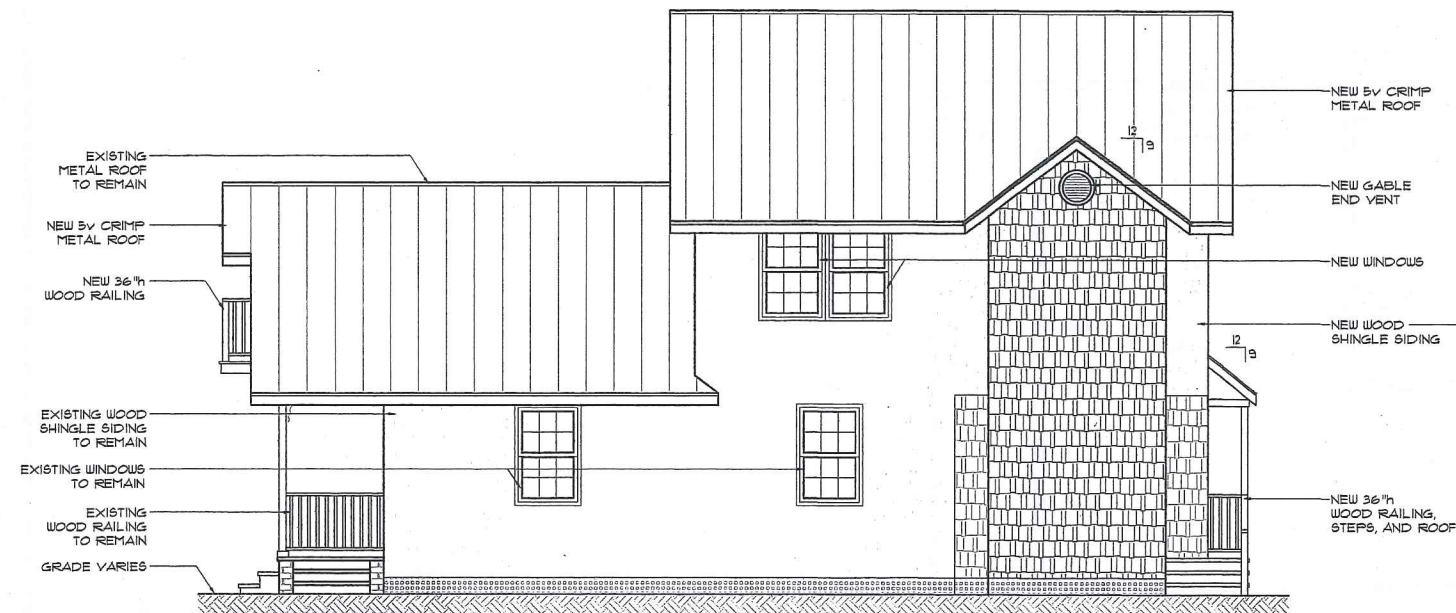
SOUTH ELEVATION

1/4" = 1'-0"



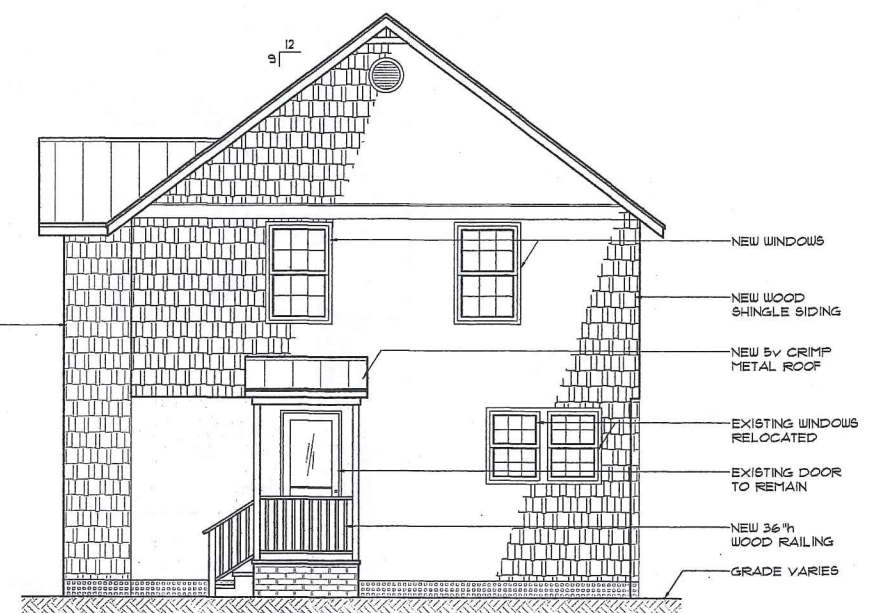
EAST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

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**ELEVATIONS
RESIDENCE**

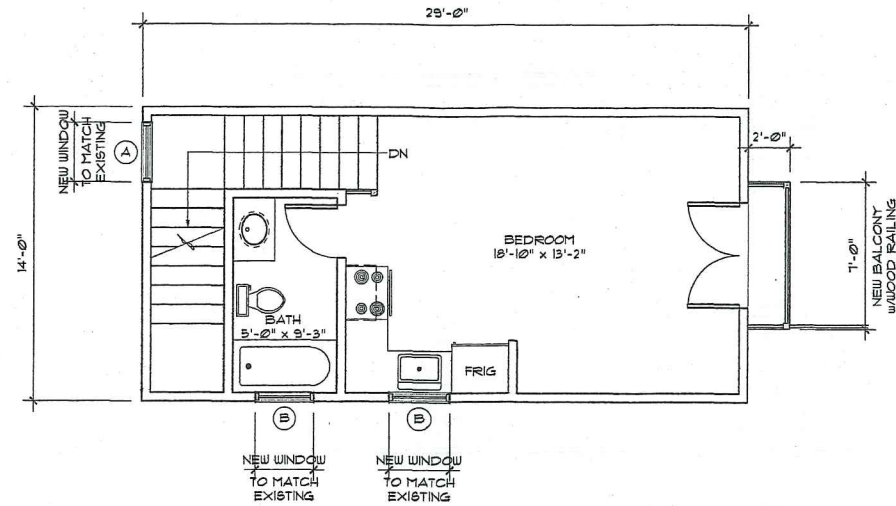
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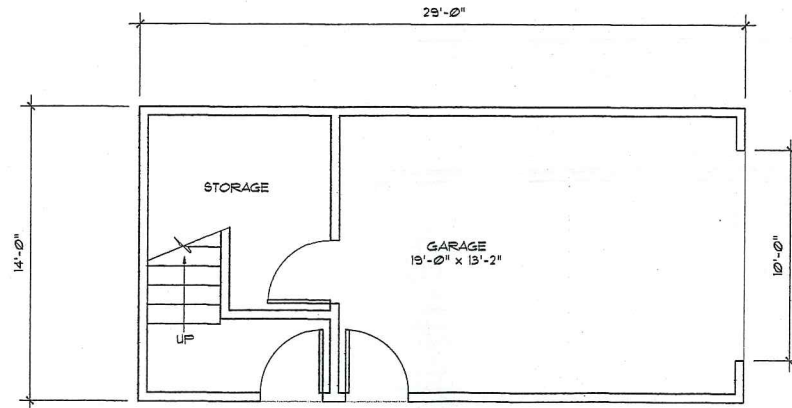
SHEET
A4
4 OF 11

REGISTRATION SEAL



SECOND FLOOR PLAN - GARAGE
1/4" = 1'-0"
NORTH

Legend
— NEW WOOD WALL



FIRST FLOOR PLAN - GARAGE
1/4" = 1'-0"
NORTH

Square Footage Information

1st FLOOR - PROPOSED	406 Sq. Ft.
2ND FLOOR - PROPOSED	406 Sq. Ft.
PROPOSED - TOTAL	812 Sq. Ft.

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FLOOR PLANS
GARAGE

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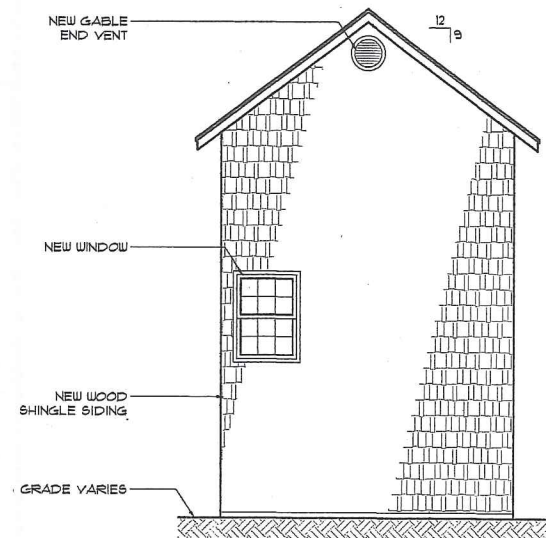
REGISTRATION SEAL

SHEET
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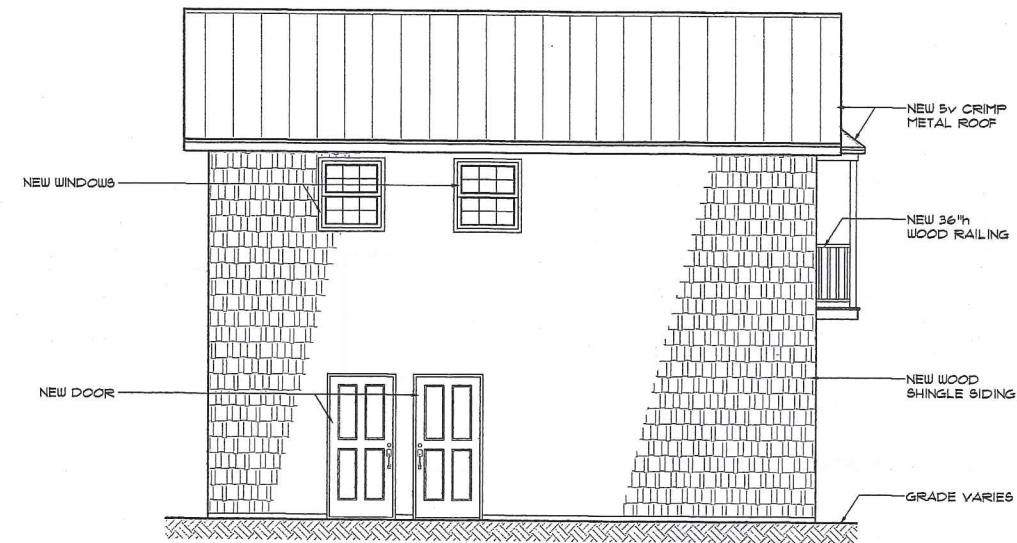
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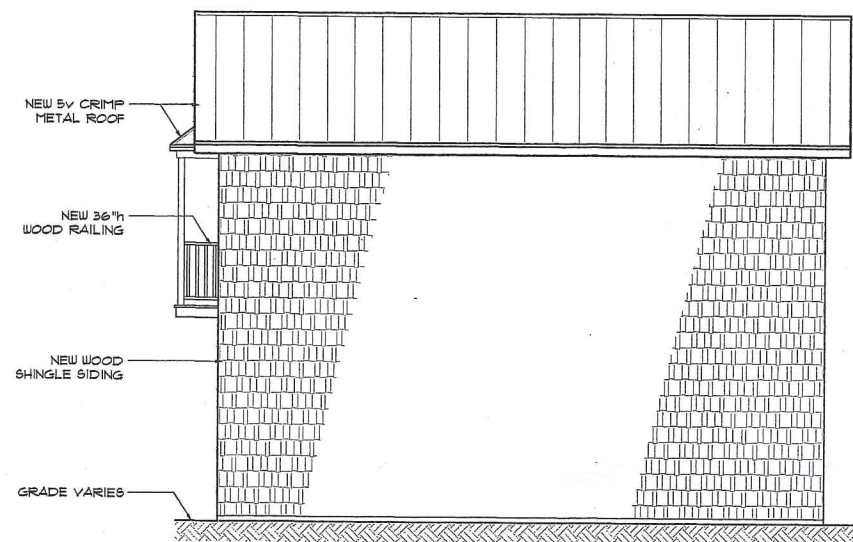
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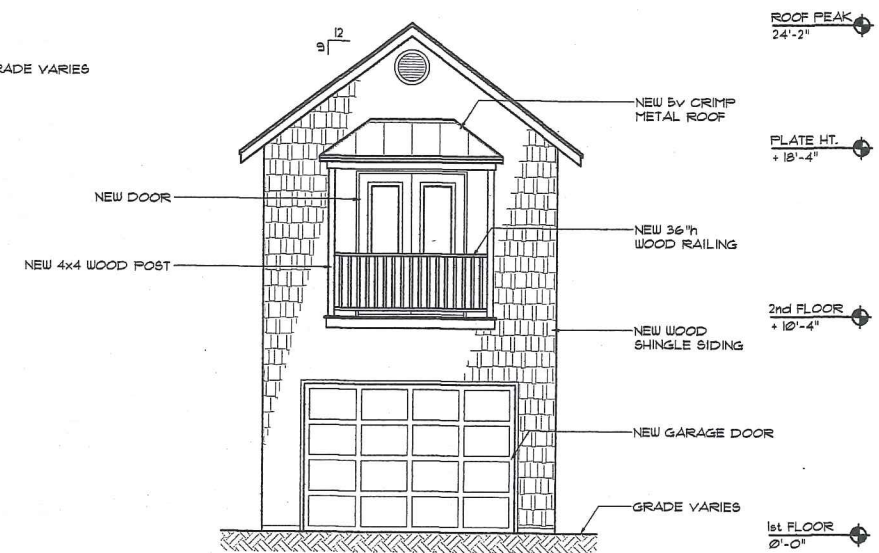
WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

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ELEVATIONS
GARAGE

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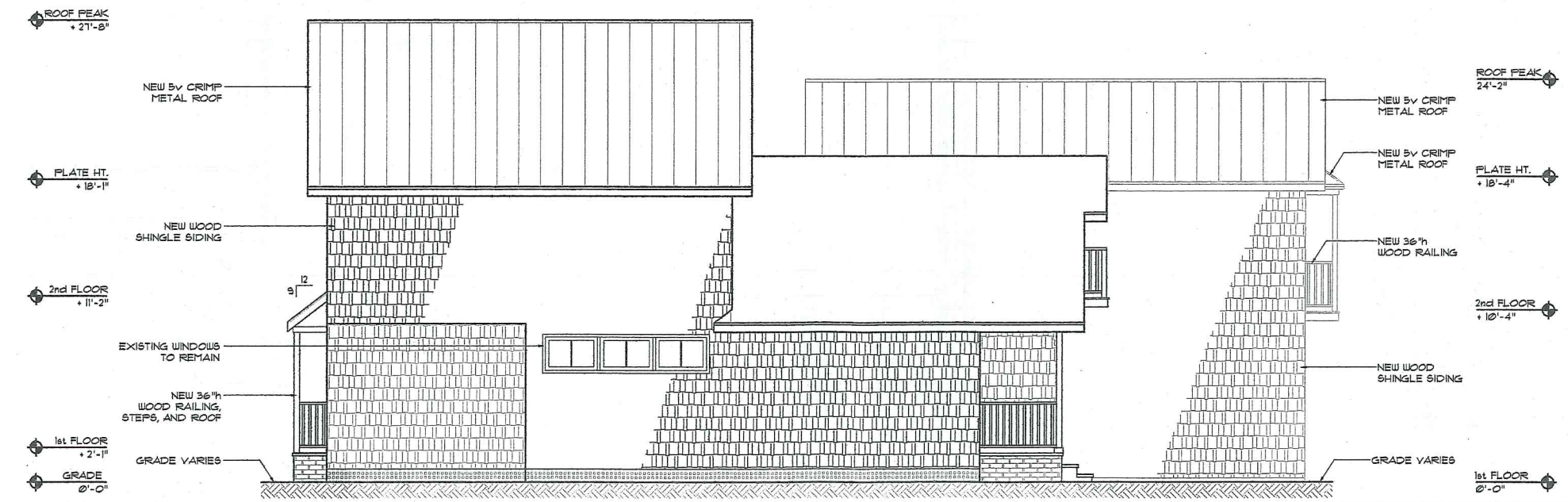
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EAST ELEVATION
1/4"=1'-0"



SOUTH ELEVATION
1/4"=1'-0"

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ADDITIONAL
ELEVATIONS

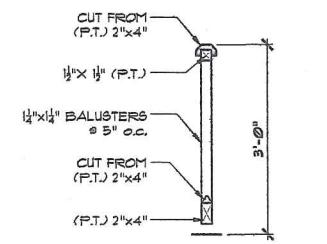
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FLORIDA, 32084

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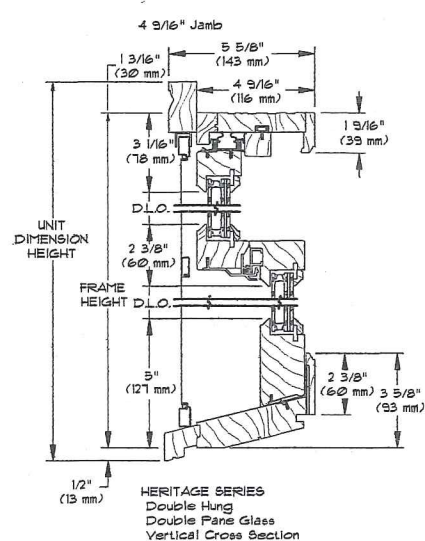
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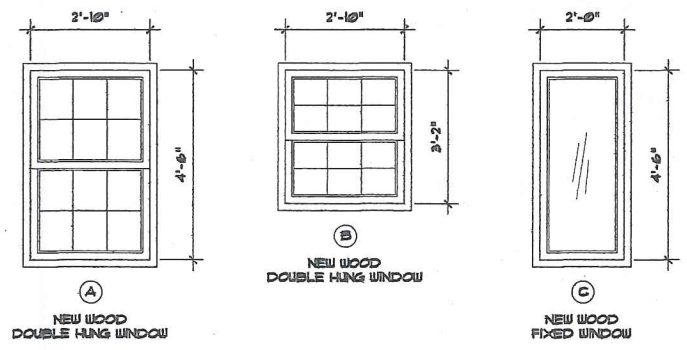
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RAILING DETAIL
3/4"=1'-0"

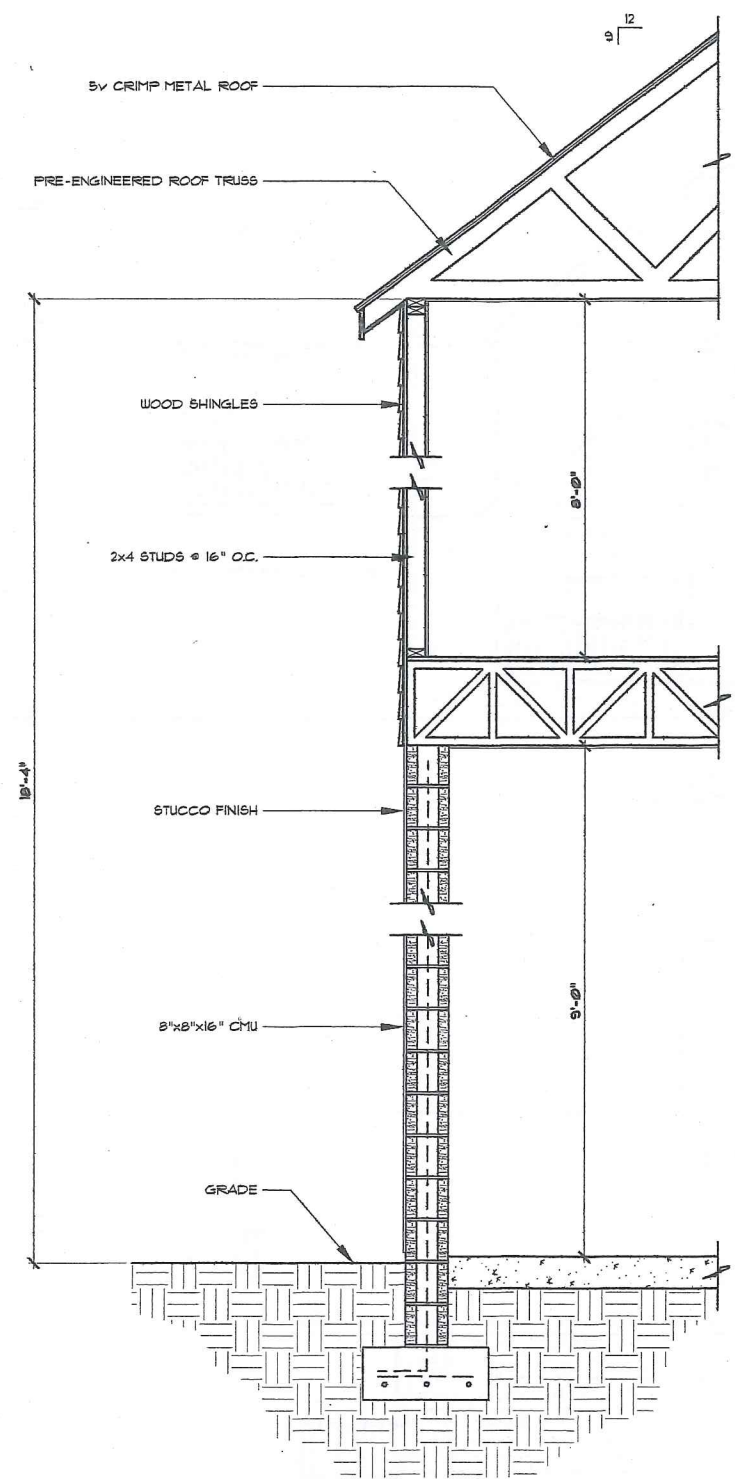


WINDOW DETAIL
N.T.S.

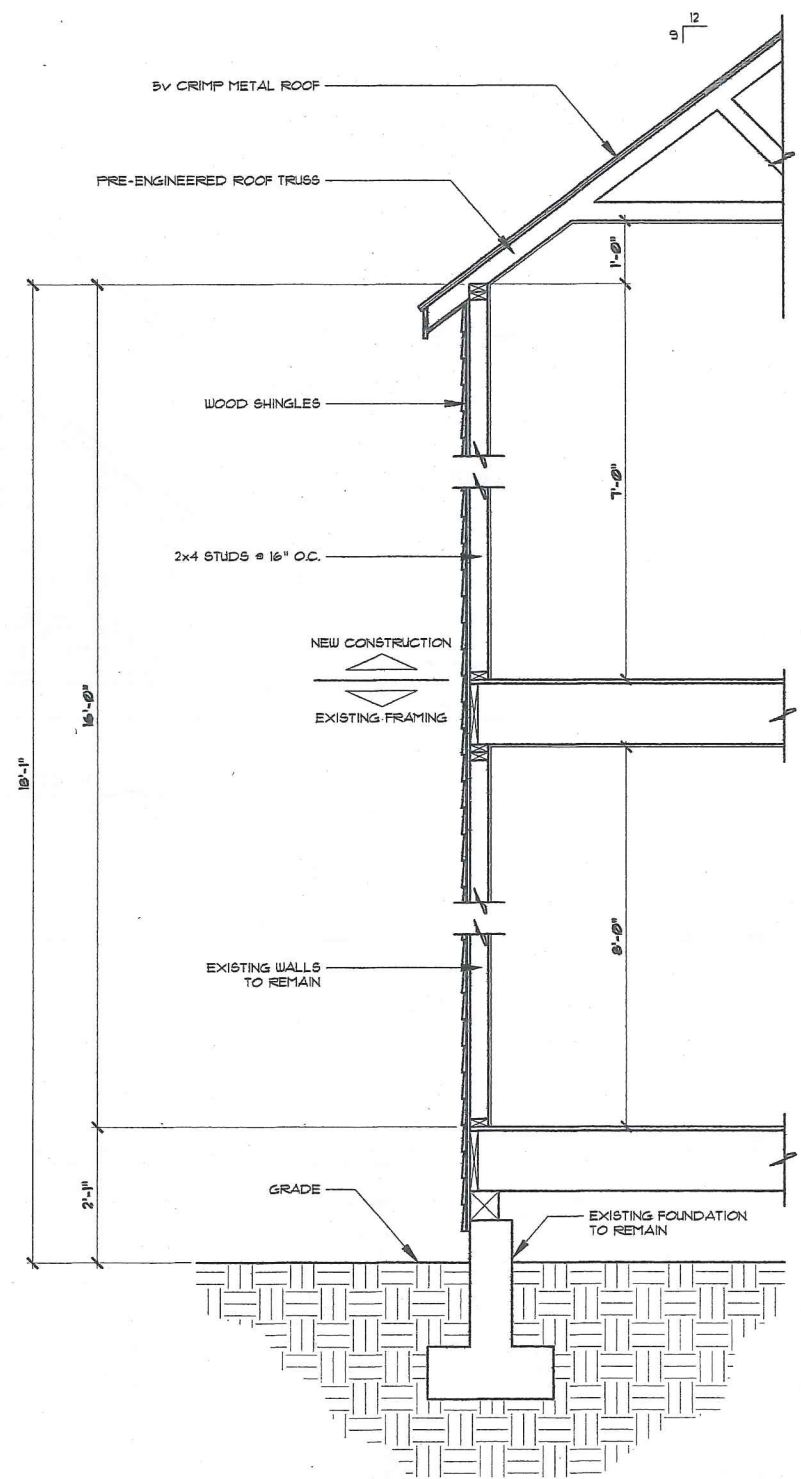


NOTE: SEE FLOOR PLANS FOR LOCATIONS

WINDOW ELEVATIONS
1/2"=1'-0"



SECTION THRU GARAGE
3/4"=1'-0"



SECTION THRU RESIDENCE
3/4"=1'-0"

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CONSTRUCTION
DETAILS

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8 OF 11

REGISTRATION SEAL



EXISTING ELEVATION
3/16" = 1'-0"



PROPOSED ELEVATION
3/16" = 1'-0"

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A9
9 OF 11

LOHRKE RESIDENCE
320 CHARLOTTE STREET
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STREET SCAPE

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REGISTRATION SEAL



HARB SUBMITTAL SEPT. 2018
3/16"=1'-0"



REVISED ELEVATION
3/16"=1'-0"

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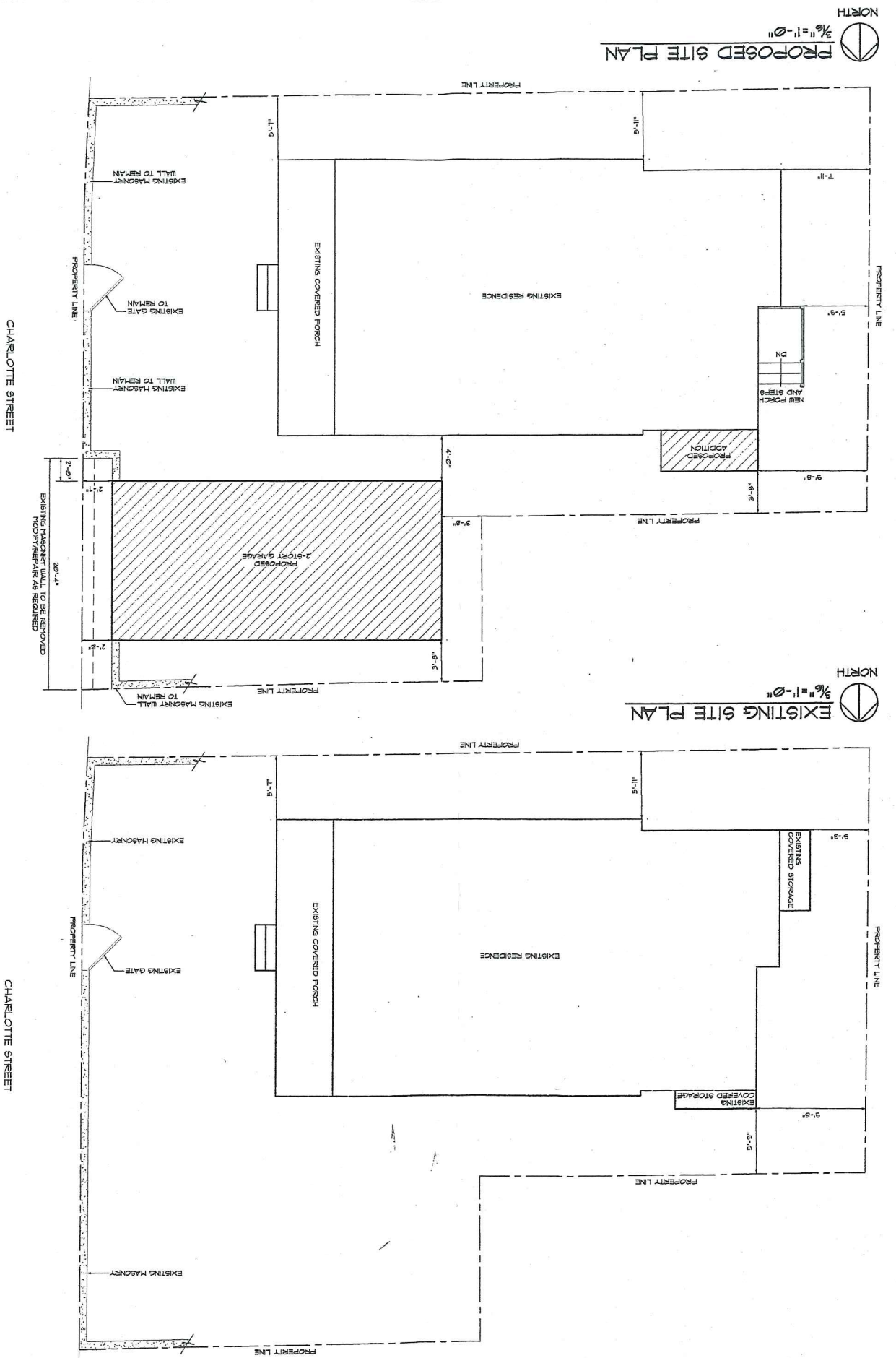
STREET SCAPE
COMPARISON

LOHRKE RESIDENCE
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ST. AUGUSTINE
FLORIDA, 32084

DON CRICLOW & ASSOCIATES
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REGISTRATION SEAL



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SUMMARY SCOPE OF WORK:

- Construct two new structures, one facing St. George Street and one facing Spanish Street
- The building facing St. George Street consists of 2 one and a half story buildings with side gables, dormers, wood shingle roofs, stucco siding, French doors, and 9/6 windows along with a one story structure with a flat roof, 9/6 window, and French doors. These structures are connected by 2 one-story connectors.
- A second building will be constructed facing Spanish Street. The structure appears to have four doors and two windows, a wood shingle roof, and an end gable.
- Construct a ramp at the Spanish Street entrance
- Construct four trellises, three running down the southern side of the structure and one in the rear of the property
- Construct a six foot tall masonry wall on the southern side of the property
- Add landscaping around the site
- Install 9/6 and 6/6 windows and install shutters on the windows on the windows facing St. George Street
- Install eight lite French doors on the structure facing St. George Street.
- Construct a walk-in cooler onto the existing restaurant

CITY CODES/DESIGN GUIDELINES:

Architectural Guidelines for Historic Preservation

Colonial (1565-1821)

St. Augustine has been continuously occupied since 1565. The earliest buildings were crude shelters of wood, thatch and wattle-and-daub. Later, more substantial buildings were constructed of masonry and wood. However, except for the Castillo de San Marcos, none of these buildings survived the burning of the city by the English in 1702. The primary focus of this section is therefore on buildings constructed after 1702.

First Spanish Period (1565-1763)

Spanish St. Augustine was a poor military outpost. Construction was simple, and made use of local materials, such as coquina and wood. The Spaniards lived private lives on courtyards, patios and loggias enclosed by high walls. The St. Augustine Plan is an adaptation to the Florida climate. The loggia or gallery, usually on the south or east side of the building, provided shade, and sheltered doors and unglazed windows from sun and rain. The Spanish believed the devil always came from the north; hence, openings were rare on the north side of buildings.

Buildings are constructed directly on the street. The most common site plan is for the building to be placed on the north property line, providing a sideyard or courtyard to the south. The site is enclosed by a wall or fence. Entry is first through a gate in the wall or fence opening into a loggia, porch or courtyard and then into the building. Loggias and porches, both one and two story, are used for shade and are generally on the south or east facades. These open into courtyards, sideyards and patios. Stairs, if any, are usually located at the end of the loggia.

The most common building plan is a simple rectangle. Proportions vary due to initial design constraints and to additions, but the most common width to length ratio is about 1/1.5 with a range of 1/1.0 to 1/2.5. Dimensions are measured in varas (approximately 33.33 inches) not in feet. Buildings are generally small, and are one, one and one-half or two stories.

Foundations are usually tabby or coquina. Most construction is of masonry. Some buildings are wood frame, or have masonry end walls with wood frame between. To protect the masonry from the weather, all surfaces are covered with plaster or stucco.

Roof types include flat roofs enclosed by a parapet with rain spouts (canales) projecting through the wall plane, gable and hip. Flat and gable roofs are the most common. Roofs are of Medieval design and are distinctively steep, usually pitched greater than 45°. Roof surfaces are covered with split wood shakes, shingles, or boards and thatch. Overhangs are small or non-existent.

Window and door openings are proportionately large. Windows were originally unglazed. Ground floor street windows may have projecting rejas while all other windows have banisters or lattice. All windows have interior shutters. Street doors are usually fifty inches wide, and are either single or double leaf.

Detailing includes roofed balconies, often with corbelled beams, which overhang the street. Balconies extend across most of the face of the building and protect windows from sun and rain.

British Period (1764-1783)

St. Augustine was still a poor military outpost when the English arrived in 1764. The St. Augustine Style of architecture was not pleasing to the eighteenth century English, who felt that Spanish had consulted convenience more than taste. The English therefore set about altering the town to suit their tastes. Although they retained many features of Spanish Colonial architecture, the English also introduced design features based on the architecture in their northern colonies. These included street doors directly entering the building, glazed windows with exterior shutters, and chimneys. Many existing buildings were modified and expanded.

New buildings are constructed directly on the street. Street doors provide direct entry into the building. Loggias and porches, and the adjacent yards, are retained. Stairs are often moved to the inside or incorporated within the expanded building. Buildings are one to two and one-half stories.

British Period buildings are often larger than First Spanish Period buildings. The most common plan remains a simple rectangle. Width to length ratios average 1/1.5 with a range of 1/1.0 to 1/2.6. Dimensions vary from the First Spanish Period style because the British measure in feet instead of varas.

Foundations are usually tabby or coquina. Most buildings are of masonry, but wood frame construction greatly increased during this period. The most common examples are wood frame second stories and wood frame extensions of existing masonry buildings. To protect the masonry from the weather, all surfaces are covered with plaster or stucco.

Roof types are gable and hip. Roofs are usually pitched at about 45°. Dormers are used to provide light and air to the upper half story. Roof surfaces are covered with split wood shakes or shingles. Flat roofs are not used.

Door openings are reduced due to the introduction of the British six-panel door. The average door width is thirty-three inches, although thirty-six, forty-two and forty-four inch doors are used. The average door height is seven feet and is seldom less than six feet ten inches.

Window openings are reduced in size and proportion due to glazing. Single panes of glass are no larger than eight inches by ten inches. The most common width to height ratio for windows is 1/2.0, with a range of 1/1.7 to 1/2.5. Windows are double hung sash and may be twelve-over-twelve, nine-over-nine, nine-over-six or six-over-six. A typical arrangement is nine-over-six on the ground floor with six-over-six on the upper floor.

Detailing consists of roofed balconies, often with corbelled beams, which overhang the street. Balconies extend across most of the face of the building and protect windows from sun and rain. Balconies on First Spanish Period buildings are generally retained.

Second Spanish Period (1784-1821)

Upon their return, the Spanish retained many of the features introduced by the British including chimneys, glazed windows and exterior shutters.

Buildings are constructed directly on the street. Both courtyard doors and direct access doors are common. The site is enclosed by a wall or fence. Loggias and porches, both one and two story, are used for shade and are generally on the south or east facades. These open into courtyards, sideyards and patios. Stairs, if any, are usually located at the end of the loggia.

Buildings are larger than those of the First Spanish Period. The most common plan remained a simple rectangle, although wing additions are sometimes used. Proportions remained about the same. Width to length ratios average 1/1.5 with a range of 1/1.0 to 1/2.6. Dimensions are again measured in varas (approximately 33.33 inches) instead of feet.

Foundations are usually tabby or coquina. Most buildings are of masonry construction, with wood much less common. Buildings are one to two and one-half stories. To protect the masonry from the weather, all surfaces are covered with plaster or stucco.

Roof types are gable and hip. Roof pitches varied from 30° to 45° with the lower pitches reflecting 19th century design. Flat roofs are not used. Roof surfaces are split wood shakes or shingles, although some larger buildings use slate or barrel tile.

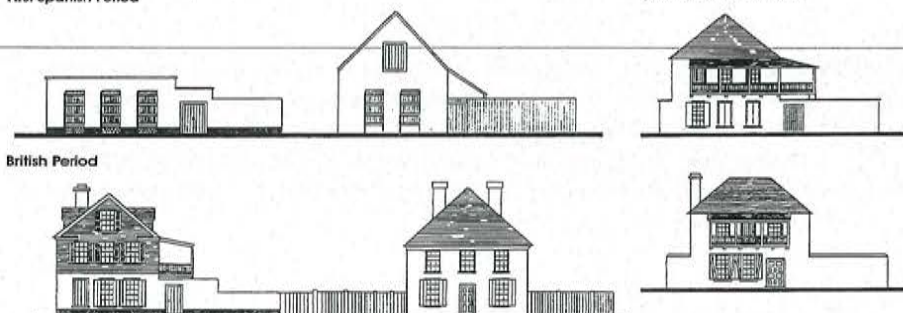
The average door width is thirty-three inches, although thirty-six, forty-two and forty-four inch doors are used. The average door height is seven feet and is seldom less than six feet ten inches.

Window openings are reduced in size and proportion due to glazing. Single panes of glass are no larger than eight inches by ten inches. The most common width to height ratio for windows is 1/2.0, with a range of 1/1.7 to 1/2.5. Windows are double hung sash and may be twelve-over-twelve, nine-over-nine, nine-over-six or six-over-six. A typical arrangement is nine-over-six on the ground floor with six-over-six on upper floors. Exterior shutters are common. Rejas are not used.

Detailing consists of roofed balconies, often with corbelled beams, which overhang the street. Balconies extend across most of the face of the building and protect windows from sun and rain. Balconies on First Spanish Period and British Period buildings

First Spanish Period

Second Spanish Period



Secretary of the Interior's Standards for Rehabilitation that apply:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment. [Compatible New Use]
2. The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided. [Retention of Distinguishing Architectural Character]
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved. [Sensitive Treatment of Distinctive Features and Craftsmanship]
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. [Protection and Preservation of Significant Archaeological Resources]
9. New additions, exterior alterations, or related new constructions shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. [Compatible Contemporary Design for New Alterations and Additions]
10. New additions and related or adjacent new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. [Reversibility of New Alterations and Additions]

Local Standards for Rehabilitation that apply:

3. Exterior features on Colonial Period buildings shall conform with the definition of "St. Augustine Architecture" as described in the book *The Houses of St. Augustine 1565-1821* by Albert Manucy, and by documented evidence of pre-1821 structures in the City or its environs. Manucy's book, including additional evidence documented by the St. Augustine Historical Society or other professional sources, shall be the final source in matters of design, proportion, scale, colors, materials, exterior fabric and texture.
4. All post-1821 modifications that disguise, disrupt or intrude upon the original Colonial style shall be removed rather than replaced or repaired.

New Construction

New construction should complement historic architecture. Through sound planning and design, it can respect and reinforce the existing patterns of development in the local historic preservation zoning districts. Successful infill design does not have to imitate demolished or existing buildings to be successful. Rather, it picks up significant themes such as height, materials, roof form, massing, setbacks, and the rhythm of openings to ensure that a new building blends with its context.

The setting of existing historic buildings should be preserved when new construction is undertaken. The relationship of the new construction to adjacent buildings, landscape and streetscape features, and open spaces should be considered. New construction adjacent to historic buildings can dramatically alter the historic setting of neighboring buildings or the district. Such construction should not create a false sense of historical development through the use of conjectural features or stylistic elements drawn from other buildings. New construction is appropriate as long as it does not destroy significant historic features, including designed landscapes, and complements the size, color, material, and character of adjacent buildings and their historic setting.

Architectural Styles for New Construction

Buildings may not use distinctive design elements and features from a period different from the one being reproduced. While it may be appropriate for some later period details to be included on an earlier period building to reflect its evolution over time, it is never appropriate to place earlier period features on a later period building.

HP-2 and HP-3

Reconstructions in the St. Augustine Style with all the permutations of development from 1565 to 1821, are the only forms of new construction permitted in Historic Preservation-Two and -Three (HP-2 and HP-3). All new structures, regardless of use, shall conform to the design characteristics described in *The Houses of St. Augustine 1565-1821*, by Albert Manucy, or as documented and verified for pre-1821 St. Augustine structures by the St. Augustine Historical Society, Historic American Building Survey or other accredited authority. * New construction within these districts must reproduce designs reflecting one of the three distinctive

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Colonial periods: First Spanish (1702-1763), British (1764-1783) or Second Spanish (1784-1821). Reproductions reflecting First Spanish Period design are recommended. See sections below regarding pre-1821 designs for new construction.

Pre-1821 Designs for New Construction

Site Plans and Building Setbacks

Buildings in historic districts often share common front and side setbacks. Commercial buildings are generally set directly on the property lines, creating a wall effect. In locating new buildings, the front and side setbacks should be maintained and aligned with the facades of surrounding historic buildings.

*** Pre-1821 Site Plans**

For buildings constructed in the St. Augustine Style, the front facade is located directly on the street. If the finished floor elevation requires it, the building may be set back the width of one step. If more steps are required, they must be within the building.

The remainder of the front property line is enclosed by a wall or fence. Most properties should be completely enclosed by a wall or fence.

Buildings are usually oriented to the south or east, with the building constructed on the north or west property line. This arrangement provides both shade and a usable side yard.

On all First Spanish Period and most Second Spanish Period buildings, the entrance to the house is through a gate into the yard, loggia or porch. The door into the building itself is under the loggia or porch or faces the yard. The British introduced doors into the street facade, although in many instances the Spanish style entry was retained.

*** Pre-1821 Building Plans**

There are three basic building plan types in the St. Augustine Style. These are the Common Plan, St. Augustine Plan and the Wing Plan.

The Common Plan is a simple one or two room building used by both the Spanish and the British. Quite often, the longer dimension of the building was perpendicular to the street. This type of building grew and expanded with the fortune and family of the owner, usually in single file.

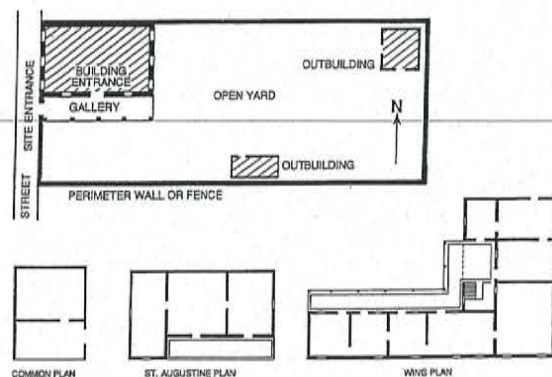
The St. Augustine Plan is an adaptation of the Common Plan to the Florida climate. A loggia or gallery, usually located on the south or east facade, provides shade and shelters doors and windows. A Common Plan building could be converted to the St. Augustine Plan by the addition of a loggia or gallery. The British retained this building plan and adapted it for several new buildings.

The Wing Plan is an expansion of a Common Plan or St. Augustine Plan building through the addition of a wing. This plan may be L-shaped or (less commonly) U-shaped. Usually, a gallery on the inside of the building connects the rooms.

In general, facades should be simple and balanced, often symmetrical, and almost devoid of decoration. There is a rhythm of solids and voids, with a greater proportion of solid wall to doors and windows.

Pre-1821 Site Plan and Building Plans

Figure 10



Pre-1821 Design Considerations

In Colonial St. Augustine, the design tools of the builder were the compass and tradition. The use of T-squares, angles and grids was unknown. Proportions were often determined by circles, arcs and the tradition of the "Golden Rectangle" of classical Greece.

The Spanish building tradition - the large openings, shaded facades and covered loggias serving as outdoor rooms - reflects the need for shade and cooling breezes in the hot climates of both southern Europe and Florida. The British building tradition - chimneys, glazed windows and dormers, and direct entries - reflects the need for warmth and light in the cooler climates of northern Europe and British North America.

Due to the climate in St. Augustine, some Spanish design elements were retained and replicated by the British. Likewise, some features introduced by the British were absorbed into Second Spanish Period design.

Wall heights of Spanish buildings can vary widely from wall heights in British buildings. While the six and one-half vara (eighteen feet, one-half inch) wall is within half an inch of a British eighteen feet high wall, the four vara (eleven feet, one inch) wall is nearly one foot off both the British ten feet and twelve feet walls.

The most common street doors on Spanish buildings are one and one-half varas (50 inches) wide, while the most common street doors on British buildings are forty-two or forty-eight inches wide.

Architectural Features

Accessory Buildings including porches

Accessory buildings, also known as secondary buildings, are located on the same lot as the primary building, are smaller than the primary building and are customarily incidental to the primary building. Accessory buildings may be attached or detached. Accessory buildings include garages, carports, porte cocheres, loggias, porches, galleries, porticoes, colonnades and other outbuildings.

Pre-1821

Accessory buildings must be smaller in mass and scale than the primary building. These buildings should have a foot print no greater than 40% of the foot print of the primary building, and whether attached or detached, may not be more than one story high. Accessory buildings may not intrude into the yard or open space associated with a primary building, and should be located near side and rear property lines to enclose open space.

Detached accessory buildings should be simplified versions of the primary building in design, materials, detail and ornamentation. For non-habitable buildings, windows should be kept to a minimum whenever possible.

Simple outbuildings should be painted white.

Doors and Entrances

Pre-1821

First Spanish Period doors are similar to gates in design but are between thirty-three inches and forty-four inches wide.

British Period and Second Spanish Period doors may be located in the street facade or may reflect the St. Augustine Plan. The thirty-three inch wide English six panel door is the most appropriate. Second Spanish Period doors may also be similar to First Spanish Period design. All doors should be six feet, ten inches to seven feet high whenever possible.

Appropriate materials include pine, oak, cypress and cedar boards, either square edged, shiplap, tongue-and-grooved or beaded, with black iron hardware. Doors may be either single or double leaf. Street doors should not contain any glazing.

Balcony and courtyard doors may be partially or fully glazed, with wood sash and muntins.

Hardware should be black iron in a documented pre-1821 design. In some instances, brass, tin or leather may be appropriate. Door hardware may be simple wood pulls, iron thumb latches, levers or small 18th Century doorknobs. Modern door knobs, handles and latches are not appropriate, and are not permitted on street facades. Modern locks should be black and mounted flush with the door face to be as unobtrusive as possible. Door hinges are black iron and should not appear machine stamped or

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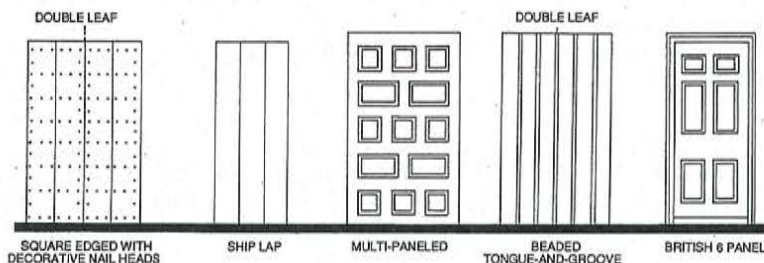
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flimsy. Exposed nail heads must reflect the design of 18th Century hand made nails. Modern nail heads should not be visible. Black iron medallions are appropriate ornamentation for more ornate First Spanish Period and Second Spanish Period doors.

If direct entry street doors swing out, it is appropriate to use double leaf doors inset into the wall. It may be simpler on commercial buildings to use courtyard entries so that doors may swing into the property instead of into the public right-of-way.

Pre-1821 Doors

Figure 12



Exterior Finishes

Pre-1821

Most First and Second Spanish Period buildings are masonry, although some are wood frame and some have masonry end walls with wood frame between. Most British Period buildings are masonry, although the use of wood frame construction increased. The most common examples are wood frame second stories and wood frame extensions of existing masonry buildings.

Most buildings should have masonry walls covered with plaster or stucco. The final coat must be smooth finish stucco, although an ashlar joint finish may be appropriate for larger and more detailed British Period and Second Spanish Period buildings. Pieces of coquina stone should not project out of the stucco to create a false "time worn" appearance.

The exterior fabric and materials should effectively reproduce the texture and appearance of materials on existing or documented pre-1821 buildings. Depending on the period of the building, acceptable materials include: exposed, course-squared coquina stone; smooth finish or ashlar joint stucco; poured coquina concrete; tabby; feathered or square lap siding; vertical wood siding; board-and-batten riven board siding or split wood shakes. Recommended woods are red cedar, native pine, cypress and oak. Weatherboard or clapboard are appropriate on the upper stories.

Fences, Walls and Gates

Pre-1821

The fence or wall is an extension of the building along the front property line. All front property lines must be enclosed by a fence or, more commonly, a masonry wall. All First Spanish Period and most Second Spanish Period buildings are entered first through a gate in the front wall and then through a door in the side of the building facing the yard. This is one of the defining features of St. Augustine Plan architecture. All exposed side and rear yards must be enclosed as well.

First Spanish Period fences may be poles, stakes or random width boards. Masonry walls are covered with smooth finish stucco or plaster with a rounded or steeply angled cap.

Fences must be nailed or pegged, not stapled. Exposed nail heads must appear as hand wrought colonial nails. Boards should be substantial, not flimsy. Board fences are generally flat topped, while poles, pickets and stakes have sharply angled tops. Wood fences may be painted white or left unpainted.

First and Second Spanish Period fences and walls must be a minimum of five and one-half feet high. British Period fences and walls must be at least six feet high.

Hardware should be made of wood, leather or iron. Iron must be painted black. Brass generally is not appropriate for St. Augustine. Modern locks must be installed flush with the gate face and painted black. Hinges are black iron and should not appear machine stamped or flimsy. Exposed nail heads must reflect the design of 18th Century hand made nails. Modern nail heads should not be visible.

Foundations and Infill

Pre-1821

Buildings should have continuous piers of ashlar joint or smooth finish stucco. Exposed cement block may not be used as foundation material. Foundations should not be faced with modern materials such as stone veneer, brick, shell dash or concrete.

Paint Colors and Placement

See also Resolution 2005-05 for reference where HARB recommended that all properties with more than one main building in the Historic Preservation zones obtain approval for master paint schemes.

Pre-1821

The majority of buildings were originally painted with a whitewash or limewash. The most appropriate paint color for masonry is San Augustin White. Larger and more detailed buildings may also be painted De Mesa House Pink, Fatio House Pink, King's Bakery Coral, Light Ochre or Ochre Tan.

It is appropriate to use a dark horizontal band of paint, called a zocalo, two to three feet high to prevent dirt and mud from showing on white or light colored walls. Documented zocalo colors include King's Bakery Black, Fatio House Red, Solana House Brown, Deep Mauve, Clay Red and Maroon Red.

Wood may be left unpainted, whitewashed or painted. Documented trim colors include Canova House White, O'Reilly House White, Gonzalez-Alvarez House Gray, Fatio House Gray, Paredes House Gray, Fatio House Red, Solana House Brown, Peck House Green, Light Ochre, Ochre Tan, Dark Mustard, Terra Cotta, Medium Mauve, Deep Mauve, Clay Red, Maroon Red, Gray Blue and Shutter Blue.

Roofs and Roofing

Pre-1821

First Spanish Period roofs may be either flat or pitched. Simple parapets with tile or wood canales (rain spouts) must be used with flat roofs. Pitched roofs may be either gable or hip, with gables more common. Roofs are steeply pitched between 45° and 53°, giving the building a medieval appearance. Roofs may be covered with either split wood shakes or wood shingles preferably of cedar or cypress, or wood shingles giving the appearance of thatch. Modern composition shingles are appropriate only if they replicate the color, texture and shape of historically documented material.

British Period roofs may be gable, hip, gable-hip or bell hip. Roofs are pitched between 40° and 45°. Flat roofs are not used. Roofs may be covered with either split wood shakes or wood shingles preferably of cedar or cypress. In some instances, slate roofs may be appropriate.

Second Spanish Period roofs may be gable, hip or gable-hip. Roofs are generally pitched between 40° and 45°, but may be as low as 30°. Flat roofs are not used. Roofs may be covered with either split wood shakes or wood shingles preferably of cedar or cypress. In some instances, slate or barrel tile roofs may be appropriate.

Eaves of this period should be narrow or nonexistent. The fascia is a narrow weatherboard, possibly beaded. The British box cornice is appropriate with plain, beaded or molded fascia and eave returns.

Gutters are generally not appropriate on pre-1821 buildings. It is appropriate to raise the last shingle course about an inch to "kick" water away from the walls. If guttering must be used, it should effectively reproduce the appearance of documented pre-1821 gutter types. Modern gutters may be used when placed inside, and if effectively screened by, a V-shaped wood trough, preferably cypress. Gutters may also be disguised behind parapets. On some buildings, a half-round gutter may be used when painted to match the patina of copper. To reduce the need for gutters, gable roofed buildings should be oriented with the gable end adjacent to the street. Gutters are not appropriate on balcony roofs.

First Spanish Period buildings should not have dormers on the street facade. It is more appropriate for windows to be placed in the gable ends. Dormers on the facade opposite the street should be low, with a shed roof. With British Period buildings, dormers are quite common. Dormers on one and one-half story buildings should have shed roofs. Dormers on two or two and one-half story buildings may use either gable or shed roofs. Second Spanish Period buildings may have dormers in the style of First Spanish Period buildings or British Period Buildings.

Windows and Window Treatments

Pre-1821

Windows on First Spanish Period buildings should have banisters, possibly with lattice on the lower half. Rejas projecting twelve to eighteen inches on a masonry base are appropriate only for ground level street windows. Banisters or lattice must be used on all other windows. Windows with rejas and banisters may have single expanse glazing giving the impression of an unglazed window. One-over-one double hung sash windows are also appropriate. On larger buildings, wood twelve-over-twelve double hung sash windows, without rejas or banisters, may be appropriate. Multi-pane windows behind rejas and banisters are not appropriate.

Windows on British Period and Second Spanish Period buildings may be nine-over-nine, nine-over-six or six-over-six wood double hung sash. A common arrangement is nine-over-six on the ground floor and six-over-six on upper floors. Window and pane proportions must follow the historic models. Rejas are not appropriate.

Shutters should be functional, and located inside for rejas and bannistered windows, and outside for glazed windows. They should be louvered, square edged, beaded, tongue-and-grooved or paneled. Appropriate materials are wood for the shutters and iron for the hardware. It is historically appropriate for solid shutters to be used on the ground floor, with louvered shutters on the upper floor. Shutters may be painted or left natural. Shutter hinges are black iron and should not appear machine stamped or flimsy. Shutter tiebacks or "shutter dogs" should be fairly simple and functional. Exposed nail heads must reflect the design of 18th Century hand made nails. Modern nail heads should not be visible. Hardware must be black and in a documented pre-1821 design. Brass is generally not appropriate for St. Augustine.

Balconies are a common feature of all Colonial periods. Balconies should be wood and in proportion to the building facade. Balusters should reflect a height appropriate to the period of the building, with additional top rails as required. Balconies must be deep enough to be functional and should extend across the width of the facade to protect windows and doors.

First Spanish Period balconies often have corbelled beams. "Canary Island" balconies, with a carved board replacing the bottom rail, are also used. These balconies should have turned spindle balusters. Other balusters may be simple two by two inch spindles. Handrails must have rounded tops. Bottom rails should be angled to prevent rot.

Balcony roofs may be extensions of the main roof or may be below the eave. Pitches may be more shallow than the main roof. The most appropriate roof type is a simple shed roof, although hip and gable roofs may be appropriate for some balconies.

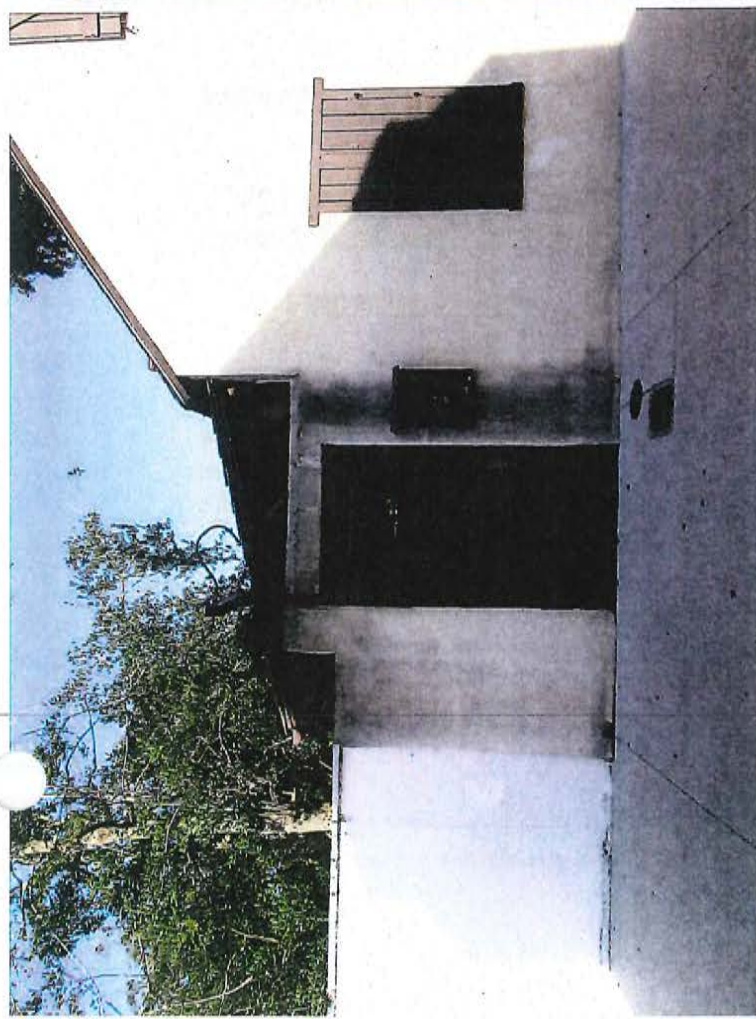
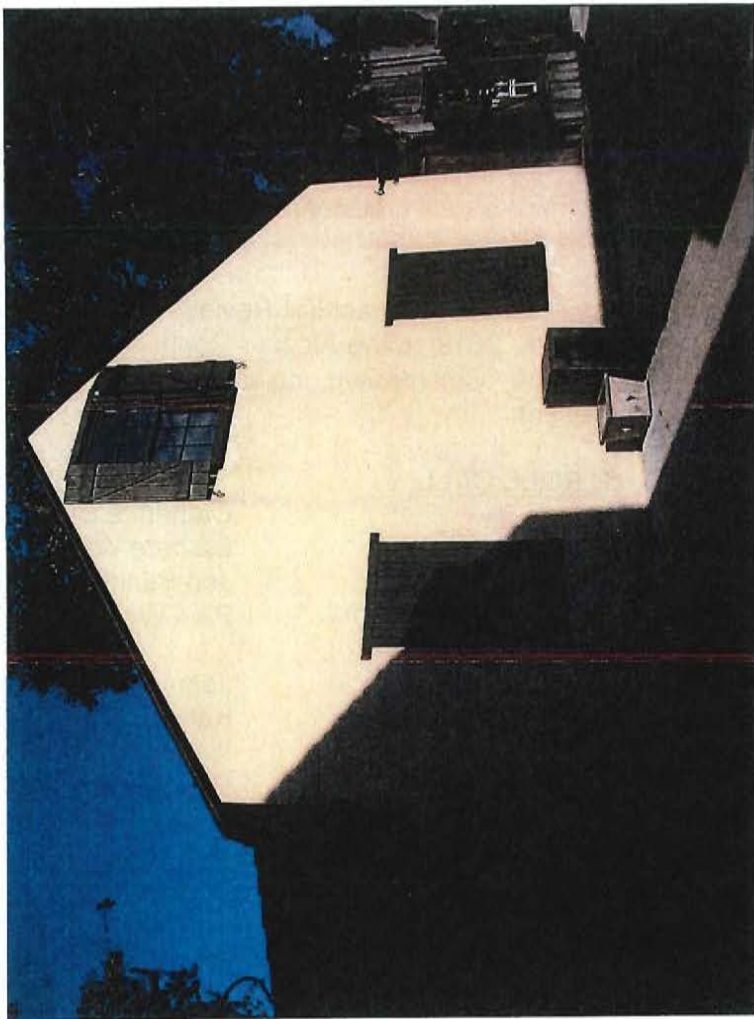
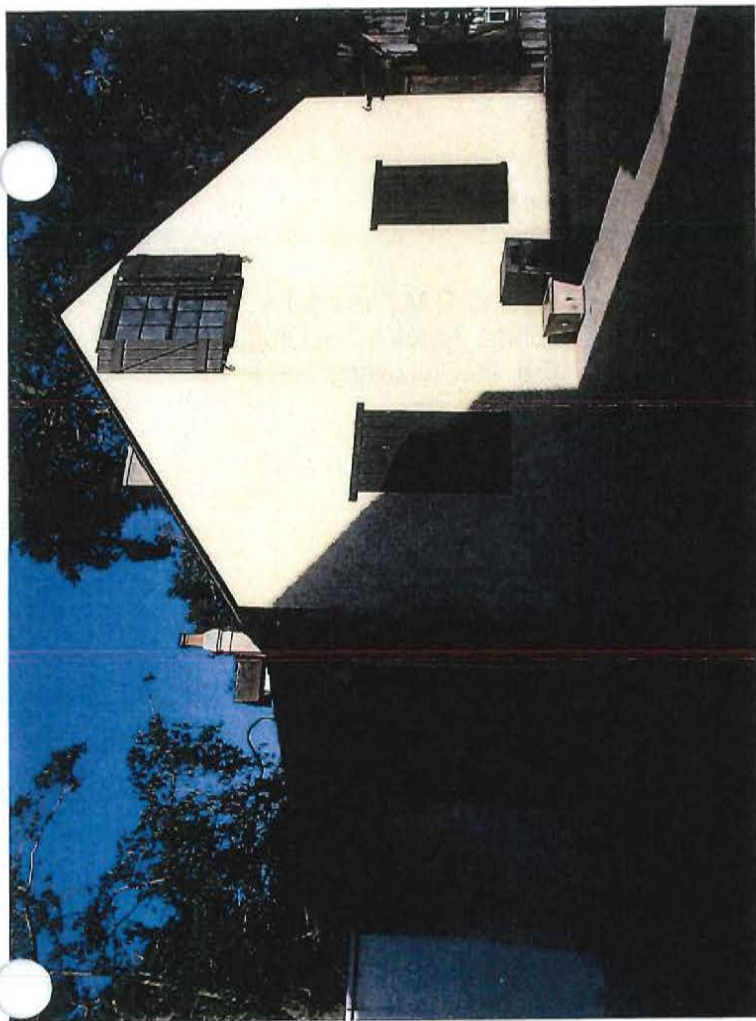
Balconies should not project more than three feet into the public right-of-way. If a deeper balcony is desired, the back wall may be inset. Balconies should not be enclosed with screen or glass.

Sec. 28-188. - Lot, yard and height requirements for historic preservation districts 1, 2 and 3.

- (b) The following lot, yard and height requirements shall be applicable to new construction reflecting the Colonial periods in historic preservation district 1 and to all new construction in historic preservation districts 2 and 3:
- (1) Minimum lot requirements:
 - a. Minimum lot width, thirty-five (35) feet.
 - b. Minimum lot area, one thousand seven hundred fifty (1,750) square feet.
 - (2) Maximum lot coverage by all buildings:
 - a. The lesser of seventy (70) percent or seven thousand (7,000) square feet.
 - b. Main structure, the lesser of two thousand five hundred (2,500) square feet or fifty (50) percent of total lot size.
 - (3) Maximum and minimum yard requirements:
 - a. Front. Main building must be located on the street frontage. The main building shall not exceed the lesser of eighty (80) percent of the lot width or forty (40) feet.
 1. Secondary buildings which connect to a main building shall be set back the lesser of forty (40) percent of total lot depth or forty (40) feet.
 2. Main buildings on the same lot shall be separated by minimum of twenty (20) feet.
 - b. Rear. Three (3) feet minimum.
 - c. Side. Three (3) feet minimum, except that Spanish Colonial reproduction structures may be located on the north property line when no windows or doors are located in the north facade and there is a six-foot minimum setback on the south property line.

LIST OF ATTACHMENTS:

1. Staff Photos
2. Minutes from May 24, 2018, (OOA) and September 20, 2018, (COA) Meetings
3. Previously Approved Opinion of Appropriateness Plans



CITY OF ST. AUGUSTINE

Historic Architectural Review Board Regular Meeting May 24, 2018

The Historic Architectural Review Board met in formal session at 1:00 P.M., Thursday, May 24, 2018, in the Alcazar Room at City Hall, St. Augustine, Florida. Antoinette (Toni) Wallace, Chairperson, called the regular meeting to order, and the following were present:

1. ROLL CALL:

Toni Wallace, Chairperson
Catherine Duncan, Vice-Chairperson
Barbara Wingo
Jon Benoit
Paul Weaver, alternate

City Staff:

Jenny Wolfe, Historic Preservation Officer
Kelli Mitchell, Historic Preservation Planner
Isabelle Lopez, City Attorney
Candice Seymour, Recording Secretary

2. General Public Comments for Items not on the Agenda

The following members of the public gave comments:

- Ed Slavin
- Robert Hall

3. Approval of Minutes

Ms. Wingo corrected a scrivener's error on page nine.

MOTION

Mr. Benoit **MOVED** to **APPROVE** the April 19, 2018 minutes as corrected. The motion was **SECONDED** by Ms. Wingo and **APPROVED BY UNANIMOUS VOICE VOTE**.

4. Modification and approval of Agenda

(None)

MOTION

Mr. Weaver **MOVED** to **APPROVE** the Agenda as presented. The motion was **SECONDED** by Ms. Wingo and

APPROVED BY UNANIMOUS VOICE VOTE.

5. Public Comments related to Expedited Hearing items:

(None)

6. Continued Items from Previous Meetings

**6. (a) Opinion of Appropriateness F2017-0153 – Don Crichlow & Assoc. – Applicant
18 St. George Street LLC.– Owner
18 St. George Street**

To construct new buildings between Spanish and St. George set in the character of the Spanish Colonial Architecture. (Two versions of the proposed building were provided.)

Mr. Weaver recused himself because he was hired by the applicant to assist with an ad valorem tax exemption.¹

The Board provided their ex parte communications.

¹ Form attached to original minutes

Ms. Wolfe read the staff report and said based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the Board can **APPROVE** option "B" with modifications as an Opinion of Appropriateness for the construction of new buildings at **18 St. George Street**.

Don Crichlow and Ellen Avery-Smith reviewed the application with a presentation and additional documents.²

Public hearing was opened.

Robert Hall said that the project should look like a home to match the surrounding street. He said larger front entrances were more common on garden entrances and not front doors and he did not feel the wide doorway was appropriate.

Dan Holiday said that in the past, smaller structures were preferred on St. George Street.

Martha Mickler gave a brief history of the property and surrounding area and noted the architectural style she and her husband adhered to when they built their home in HP-3. She said, while she was concerned with the larger structures being constructed, she was pleased with the landscaping of those projects.

Nancy Pellicer had questions related to the plans. She was concerned about a large arcade in the area and asked that the builder designate a larger courtyard area.

Ron Mickler was concerned with the fact that the proposed structure was one large building which mirrors more closely structures in HP-2 rather than HP-3. He recommended an open-air market rather than an enclosed arcade.

Ed Slavin felt the large mass and scale of the project was inappropriate and the

application needed to be denied. He felt that examples of precedence should not alter the Board's decision on this application.

B.J. Kalaidi felt that the project was too dense and needed to be toned down prior to approval.

Public hearing was closed.

Ms. Avery-Smith responded to public comment noting that there would be an open space in the rear that could be landscaped and that one structure in the rear was removed to increase that space. She said the street-to-street wall was required according to the design guidelines for Second Spanish Period Architecture.

Mr. Crichlow clarified a connector in response to public comment. He felt that Option "A," which utilized the connector was more appropriate in scale and mass because it broke up the mass more than the single large primary structure in Option "B."

The Board discussed:

- Distance requirements for structures on the property
- Doorway and courtyard area
- Large mass of the project
- Existing and proposed covered areas
- Residential precedence of the site
- Mass and Scale of southern exposure
- Possibility of lessening the inset for the connector on the northern exposure to increase the inset on the south side allowing for more landscaping
- Staff recommendation to approve option "B"
- Option "C" presented by the applicant moved the larger primary structure to the front
- Regarding architectural compatibility, more separation

² Attached to original minutes

between buildings may be necessary

- Potential for connecting every building on the property though that was not the applicant's intent
- Concern for tight walkway between wall and the building on the south side
- Door should not be arched

MOTION

Mr. Benoit MOVED to APPROVE Opinion of Appropriateness application F2017-0153 with the suggestion to move forward with option "C" as proposed with the suggestion to improve on the differentiation in the southern loggia or hallway by adding further recess to the connectors as ways to differentiate the main structures. The motion was SECONDED by Ms. Duncan.

VOTE ON MOTION:

AYES: Benoit, Duncan, Wingo, Wallace

NAYES: NONE

MOTION CARRIED UNANIMOUSLY³

6. (b) Variance to the Design Standards for Entry Corridors 2018-0047 – Joanna Stark – Applicant Diocese of St. Augustine – Owner 101 San Marco Avenue

To request a variance to the sign standards for a free standing sign that exceeds the maximum size allowed in the Design Standards.

Ms. Wolfe read the staff report and said based on a review of the Design Standards and applicable city ordinances, Staff finds that the Board can **APPROVE** a Variance that makes the following findings for signage at **101 San Marco Avenue**:

1. That the stand-alone sign at the central entry does not interfere with the property's setting and sightline to

³ Brief recess from 2:57p.m. to 3:07p.m.

the bridge and the Great Cross because it is set back on the property

2. That the northwest sign is an integral component of a proposed fence system and the sign area can be calculated as the smallest geometric shape surrounding the letters
3. That granting the variance will not be contrary to the public interest, will not affect other property or structures and will be in harmony with the spirit intent and purpose of this provision.

Brad Beach reviewed the application.

Ex Parte Communication:

(None)

Public hearing was opened; however, there was no response.

The Board discussed:

- Dimensions for both proposed signs had been reduced from the previous meeting as requested by the Board
- Sign copy area as measured in the plans

MOTION

Mr. Benoit MOVED to APPROVE application 2018-0047. The motion was SECONDED by Ms. Wingo.

VOTE ON MOTION:

AYES: Benoit, Wingo, Weaver, Duncan, Wallace

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

7. Opinions of Appropriateness

7. (a) F2018-0066 – 56 St. George LLC – Applicant The Monk's Vineyard – Owner 56 St. George Street

CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION



☐ **OPINION** ☒ **CERTIFICATE OF APPROPRIATENESS**

\$50.00	Alterations to single family home, site work, and site feature
\$150.00	Construction of new single family home, major alterations, ad valorem tax exemption
\$100.00	Alterations to all other buildings, site work, or features except single family home
\$200.00	New construction except single family home

BDAC Project No. 2018-0134

Receipt No. _____
 Advertising Costs \$ _____

Meeting Date: NOV. 15, 2018
 Paid on OCT. 8, 2018 Receipt No. 1462605

1. NAME OF APPLICANT Don Crichlow
 Business (if applicable) Don Crichlow & Associates
 Address 302 St. George St.
 City St. Augustine State FL Zip Code 32084
 Daytime telephone 904 377-0913 Other phone/email crichlow@comcast.net

The above contact information will be used for correspondence. Please ensure this information is accurate.

2. NAME OF PROPERTY OWNER 18 St. George St. LLC
 Business (if applicable) _____
 Address 4041 Pine Run Circle
 City St. Augustine State FL Zip Code 32086
 Daytime telephone (required) 904 540-2877 Other phone _____

3. PROJECT STREET ADDRESS _____

4. LEGAL DESCRIPTION: Lot _____ Block _____ Subdivision _____ Parcel 1974800000

5. EXISTING USE Bar/Restaurant PROPOSED USE Retail/Restaurant

6. PROPOSED PROJECT WORK

A. DEMOLITION (If historic architectural features will be permanently removed a Certificate of Demolition is required and must be heard simultaneous with this application) ☒ YES ☐ NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

REPAIR	REPLACE	
<input type="checkbox"/>	<input type="checkbox"/>	Roof <u>*Demolition Approved 9/21/17</u>
<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) _____
<input type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding) _____
<input type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony _____
<input type="checkbox"/>	<input type="checkbox"/>	Awning/Canopy _____
<input type="checkbox"/>	<input type="checkbox"/>	Exterior Doors _____
<input type="checkbox"/>	<input type="checkbox"/>	Windows _____
<input type="checkbox"/>	<input type="checkbox"/>	Shutters _____
<input type="checkbox"/>	<input type="checkbox"/>	Foundation (including infill) _____
<input type="checkbox"/>	<input type="checkbox"/>	Exterior lighting & other appurtenances _____
<input type="checkbox"/>	<input type="checkbox"/>	Existing fences, walls & gates _____
<input type="checkbox"/>	<input type="checkbox"/>	Existing parking, walkways & other site features _____

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C. NEW CONSTRUCTION (check and specify all work items that apply)

- ☒ New building _____
- ☐ New addition _____
- ☒ New roof structures (dormers, chimneys, etc.) _____
- ☐ New porch/deck/balcony _____
- ☐ New awning/canopy _____
- ☒ New entrances _____
- ☒ New window opening/sashes _____
- ☒ New exterior lighting _____
- ☒ New fence/wall/gate _____
- ☒ New parking/walkways/other site features _____
- ☐ Exterior utility service/mechanical equipment _____

D. PAINT COLORS (check one)

- ☒ Scheme with pre-approved paint colors (exterior colors available upon request)
- ☐ Custom color scheme (provide color samples & building elevations showing color placement)
- ☐ No painting associated with proposed project

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

Cert. of Demolition approved 9/21/17. Opinion of Appropriateness approved 5/24/18
To construct a 2nd Spanish Period Colonial structure for retail use. All access will be from south side courtyard and courtyard street gate and Spanish St. Project meets all requirements of current zoning and AGHP guidelines. See attached drawings and additional material.

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is for an Opinion of Appropriateness, I must still obtain a Certificate of Appropriateness before project work can begin. If this application is for a Certificate of Appropriateness and it is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work. Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME Donald A. Crichlow

SIGNATURE OF APPLICANT *Donald A. Crichlow*

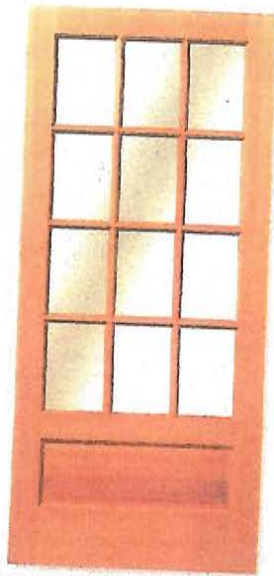
DATE 10/8/18

PRINT OWNER'S NAME Brian Navarro

SIGNATURE OF OWNER *Brian Navarro*

DATE 10/8/18

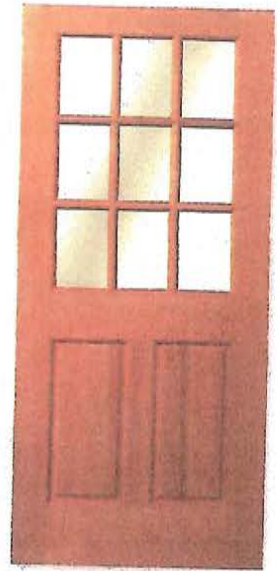
Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.



**Door 412 (IG) in Fir with
Modified Ovolo Sticking**



**Door 1615 (BEVEL SG) in Fir
with Ovolo Sticking**



**Door 4944 (IG) in Fir with
Modified Ovolo Sticking**

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

































































































































HERITAGE SERIES DOUBLE HUNG

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DOUBLE HUNG SINGLE UNITS

WOOD U.D.	1'-11 7/8"	2'-3 7/8"	2'-7 7/8"	2'-9 7/8"	2'-11 7/8"	3'-1 7/8"	3'-3 7/8"	3'-7 7/8"	3'-11 7/8"
CLAD U.D.	1'-9 1/2"	2'-1 1/2"	2'-5 1/2"	2'-7 1/2"	2'-9 1/2"	2'-11 1/2"	3'-1 1/2"	3'-5 1/2"	3'-9 1/2"
R.O.	1'-10"	2'-2"	2'-6"	2'-8"	2'-10"	3'-0"	3'-2"	3'-6"	3'-10"
S.O.	1'-8"	2'-0"	2'-4"	2'-6"	2'-8"	2'-10"	3'-0"	3'-4"	3'-8"
G.S.	16"	20"	24"	26"	28"	30"	32"	36"	40"
3'-2 1/8"									
3'-4 7/16"									
3'-6 1/8"									
3'-8 1/8"									
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5'-8 1/8"									
5'-10 1/8"									
6'-2 1/8"									
6'-4 7/16"									
6'-6 1/8"									

NOTES:

All measurements are nominal. Elements are not to scale.

Single units shown are also available as double hung units and replacement sash kits. Traditional sash only.

Grilles are optional. Follow chart dimensions and across from left column to grille configurations.

Some installation procedures will require rough opening than noted (i.e. installing utilizing our installation clips), therefore may need to increase the rough opening accordingly. Rough opening gaps may be increased up to a maximum of 1/2" in any direction and still be within good practice guidelines.

The side jambs of double hung units are located above the head jamb; additional space for rough opening height may be necessary.

* Units meet most national emergency escape and rescue requirements.

** Only Traditional sash units meet national emergency escape and rescue requirements.

PRODUCT CODES:

To order clad units, add "C" before the number and "1," "2," or "3" after the number to denote a single, twin or triple unit, respectively. (Ex: CDH4036-1). To order wood units, add "W" before the product number and "1," "2," or "3" after the number to denote a single, twin or triple unit, respectively. (Ex: WDH4036-1). For wood specify Traditional or Sterling sash.

U.D. = Unit Dimension

R.O. = Rough Opening

S.O. = Sash Opening

G.S. = Glass Size

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SCONCE W/LHT

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Search All Brands...



ELK Group International > Thomas > Outdoor Lighting > Sconce >
Hawthorne Wall Lantern Black 1X13W 120V



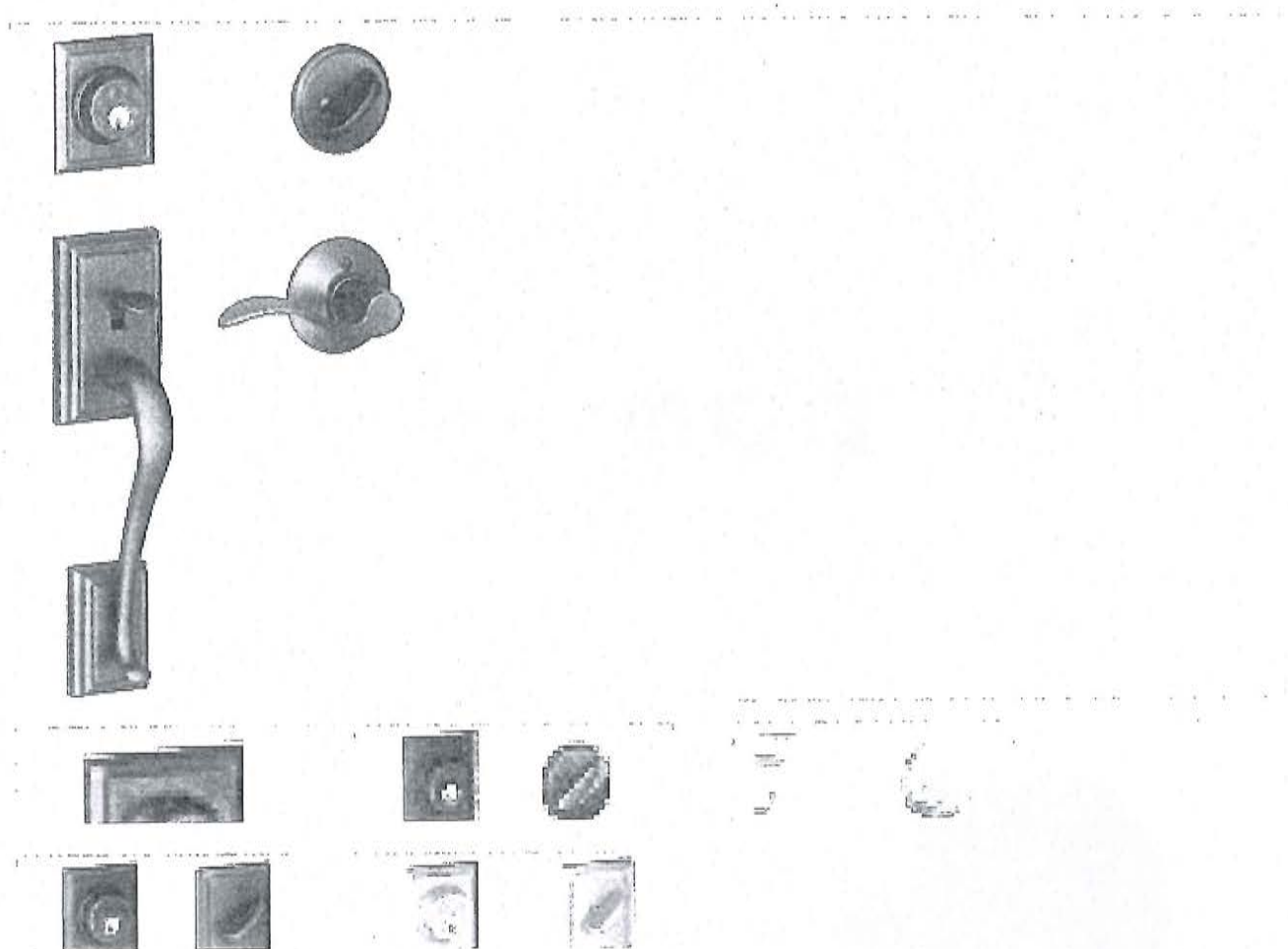
Press and move to zoom.

DOWNLOAD HIGH RESOLUTION IMAGE

AWAY, email us

DOOR ENTRY SET

SCH-ADDISON-HANDLESET



On Sale Now! - Schlage Addison Door Entrance Handleset

FUNCTION ⓘ

SINGLE CYLINDER ENTRY SET

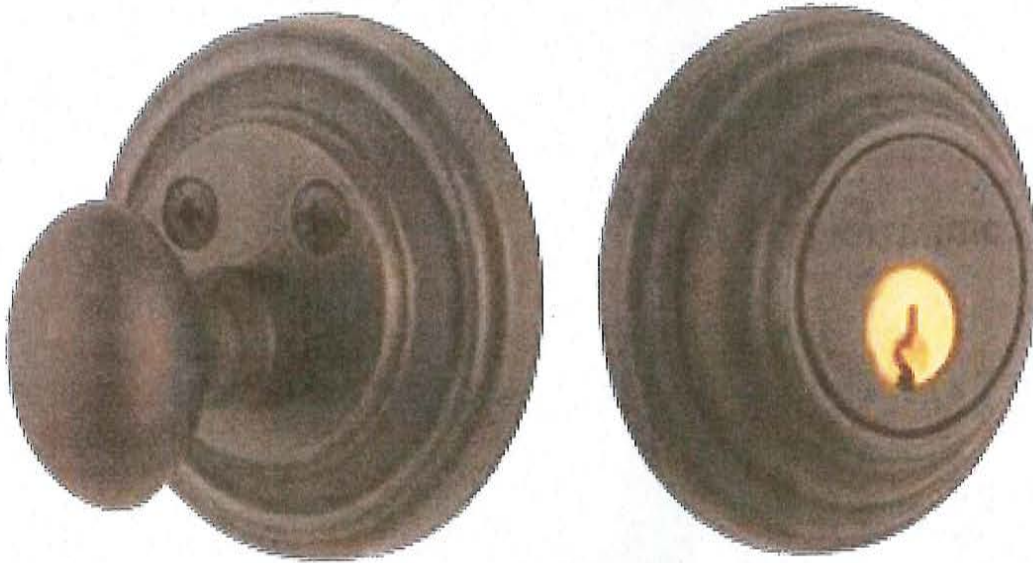
COLOR/FINISH

SELECT A FINISH

KNOB/LEVER ⓘ

SELECT KNOB/LEVER

TRAP BOLT



(<https://www.vandykes.com/images/xl/232062.jpg>)

Store ID: 232062

No reviews ▾

[Read Reviews](#) | [Write a Review](#)

As low as

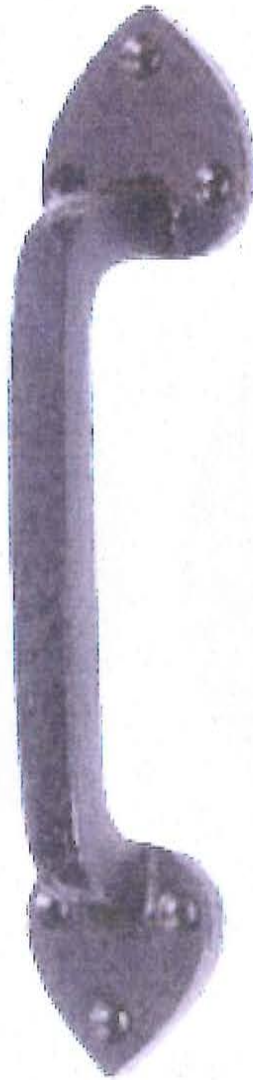
\$ **106.31** Each

Finish

- Select or Reset Selection -

Function

GATE FOLL



(<https://www.vandykes.com/images/xl/201718.jpg>)

Store ID: 201718



2 reviews ▾

[Read Reviews](#) | [Write a Review](#)

Was: ~~\$8.00~~

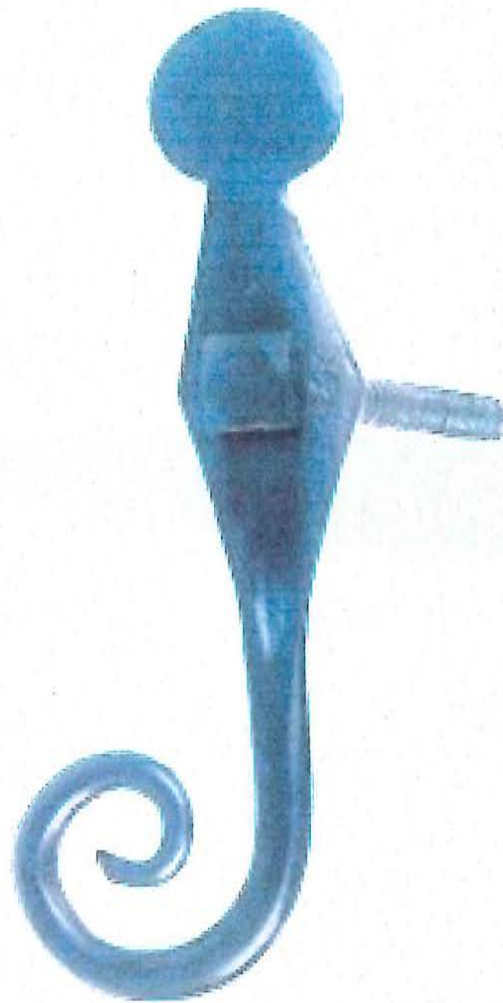
SALE as low as

\$ 6.80 Each

Finish

- Select - ▾

SLUTTER DOG



(<https://www.vandykes.com/images/xl/210784.jpg>)

Store ID: 210784

No reviews ▾

[Read Reviews](#) | [Write a Review](#)

Was: ~~\$12.00~~

SALE as low as

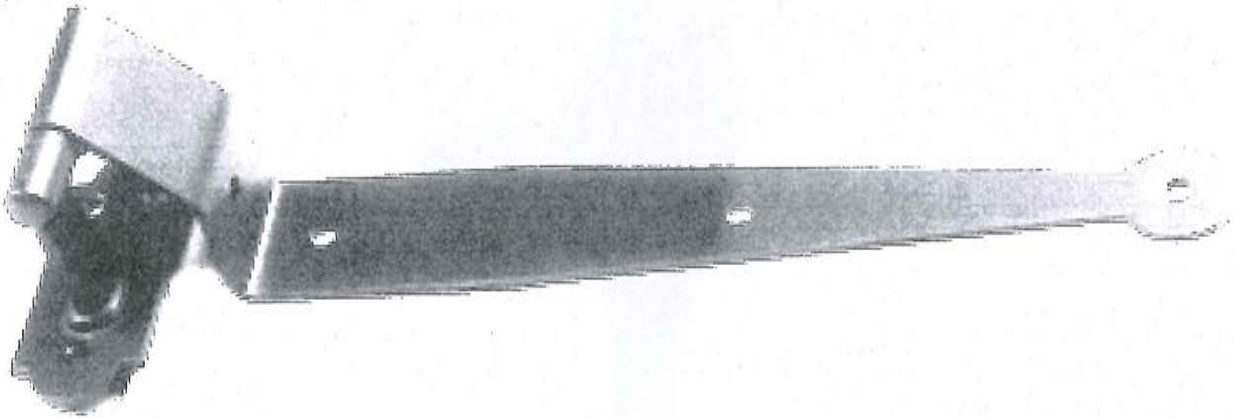
\$ **10.20** Per pair

Finish

- Select -



SHUTTER STRAP



(<https://www.vandykes.com/images/xl/202165.jpg>)

Store ID: 202165

No reviews ▾

[Read Reviews](#) | [Write a Review](#)

Was: ~~\$46.00~~

SALE as low as

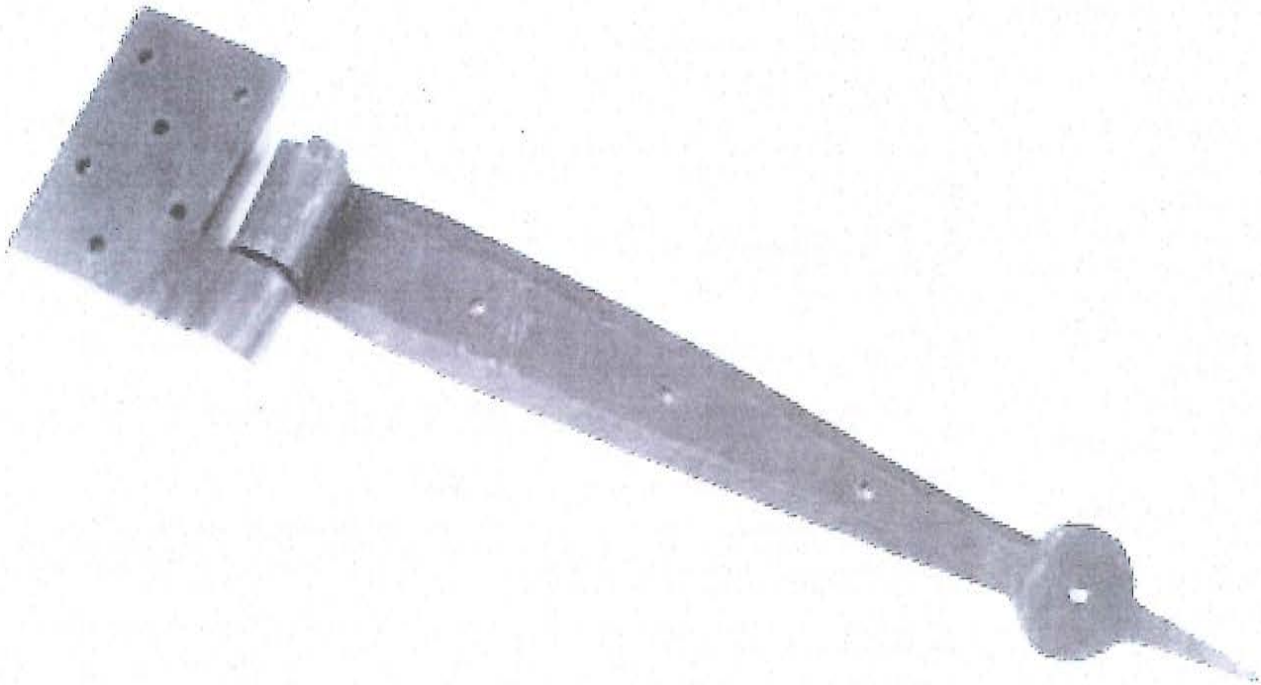
\$ 39.10 Per pair

Finish

- Select -



GATE HINGE



(<https://www.vandykes.com/images/xl/208319.jpg>)

Store ID: 208319



2 reviews ▾

[Read Reviews](#) | [Write a Review](#)

Was: ~~\$40.00~~

SALE as low as

\$ 34.00 Per pair

Finish

- Select or Reset Selection - ▾



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- [About Wesco Cedar](#)
- [Why Buy Wesco Cedar](#)
- [History of Cedar](#)
- [Cedar Benefits](#)
- [Wesco Cedar Products](#)
 - [Fire Retardant Cedar Shakes](#)
 - [Treated Cedar Shakes](#)
 - [Special Order & Treating](#)
 - [FRX® FRT Wood](#)
- [Technical Information](#)
 - [Approval & Specifications](#)
 - [Evaluations](#)
 - [Application Instructions](#)
 - [Safety](#)
 - [Additional Information](#)
- [Contact Wesco Cedar](#)

Approval & Specifications

California State Building Code - Title 24 "FIRE-RETARDANT SHAKES AND SHINGLES are wood shakes and shingles complying with U.B.C. Standard 15-3 or 15-4 impregnated by the full-cell vacuum-pressure process with fire-retardant chemicals, and have been qualified by U.B.C. Standard 15-2 for use on Class A, B, or C roofs, and which comply with ICBO-ES Acceptance Criteria Subject AC09. Each bundle of treated wood shakes and shingles shall bear labels from ICBO accredited quality control agency identifying their roof-covering classification and indicate that the product complies with ICBO-ES Subject AC09."

California Department of Forestry & Fire Protection
California State Fire Marshal Listing Service
Listing No.: 4150-1450:100
State of California, Assembly Bill No. 747 - Valerie Brown

Section (j)

(1) "No wood roofing materials shall be sold in this state unless: On and after January 1, 2001 the materials have passed at least 5 years of the 10-year natural weathering test."

(2) "The 10-year natural weathering test required by this subdivision shall be conducted in accordance with 15-2 of the 1994 edition of the Uniform Building Code at a testing facility recognized by the State Fire Marshal."

The UL-790 10 Year Weathering Test:

The Standard in Determining Fire Resistance of Roof Covering Materials

Test procedures to determine the fire resistance of roof coverings were originally developed by Underwriters Laboratories prior to 1920. The test standard (UL-790) has been amended over the years to reflect changes in roofing materials. The tests have also been adopted by the National Fire Protection Association (NFPA 256) American Society for Testing and Materials (ASTM-E108), and Uniform Building Code (UBC 15-2)

The tests provide comparable fire resistance values among roofing materials. The tests are considered to be representative of fire conditions that originate outside of homes.

All roofing products are subjected to three tests:

Intermittent Flame Test
Spread-of-Flame Test
Burning-Brand Test

With the introduction of fire retardant wood roofing materials, the tests were amended to include additional tests for wood products. These are:

Flying-Brand Test
Rain Test
Weathering Test

Intermittent Flame Test:

This test shows a roofing material's resistance to flames from adjacent burning material. The roofing materials are exposed to intermittent gas flames of 1,300°F to 1,400°F. A 12 miles per hour wind is applied to the test deck until the test is completed.

Spread-of-Flame Test:

A spread-of-flame test is used to determine the fire resistance of most building materials. For roofing materials, the roof deck is exposed to a gas flame of 1,300°F to 1,400°F for 4 to 10 minutes. A 12 miles per hour wind is applied to the test deck until the test is completed.

Burning-Brand Test:

This test exposes roofing materials to burning brands constructed of wood, simulating an exposure to burning materials. A typical burning ember in a large fire is approximately 1/4" in size. The burning brands used in this test are 60 to 1,000 times that size. A 12 miles per hour wind is applied to the test deck until the test is completed.

Flying-Brand Test:

Treated wood roofing material is tested to determine if the product will create flying embers in a fire situation. The treated wood is exposed to a gas flame of 1,300°F to 1,400°F for 4 to 10 minutes. The wind applied to the test deck is increased to 18 miles per hour during this test.

Rain Test:

This test is designed to try to flush fire retardants out of the treated wood. The roofing material is exposed to twelve weekly cycles of 96-hours of water exposure (67.2 inches of water) and 72 hours of drying at 140°F. The wood is subjected to a total of 806.4 inches of rain, equivalent to 24 years of rain in the Dallas/Ft. Worth area. The roofing material removed from the weather chamber is again tested to the Intermittent Flame, Burning-Brand, and Flying-Brand tests.

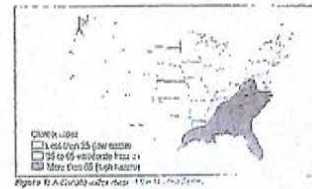
Weathering Test:

Treated wood roofing material is the only product exposed to actual outdoor weather conditions when tested for fire retardancy. After one, two, three, five, and ten years, the roofing material is subjected again to the Intermittent Flame, Burning-Brand, and Flying-Brand tests.

Conditions of Approval

At no time during or after these tests can:

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Planning Building Dept.



Privacy and Co

18 Microsoft



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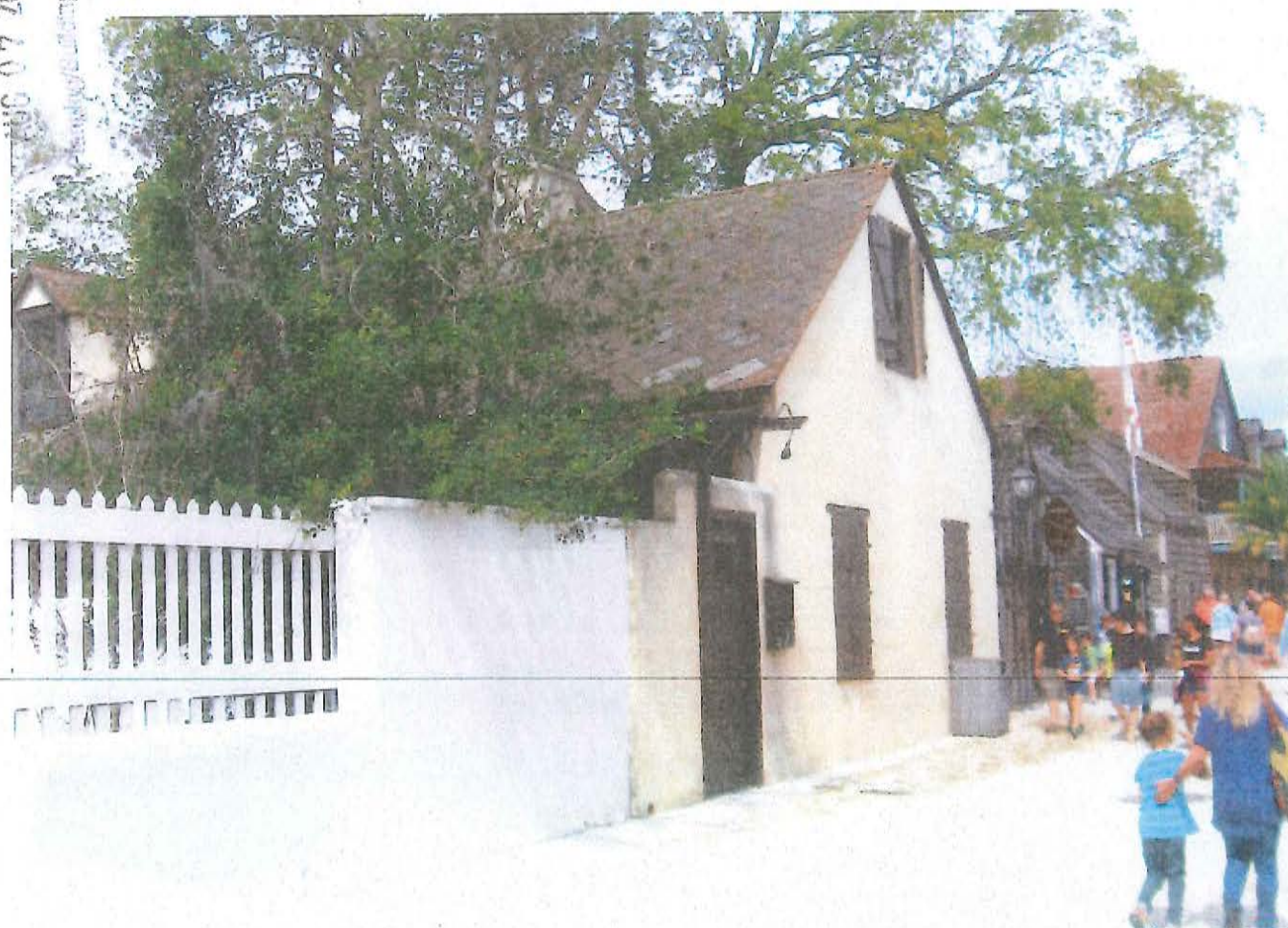
Planning/Building Dept

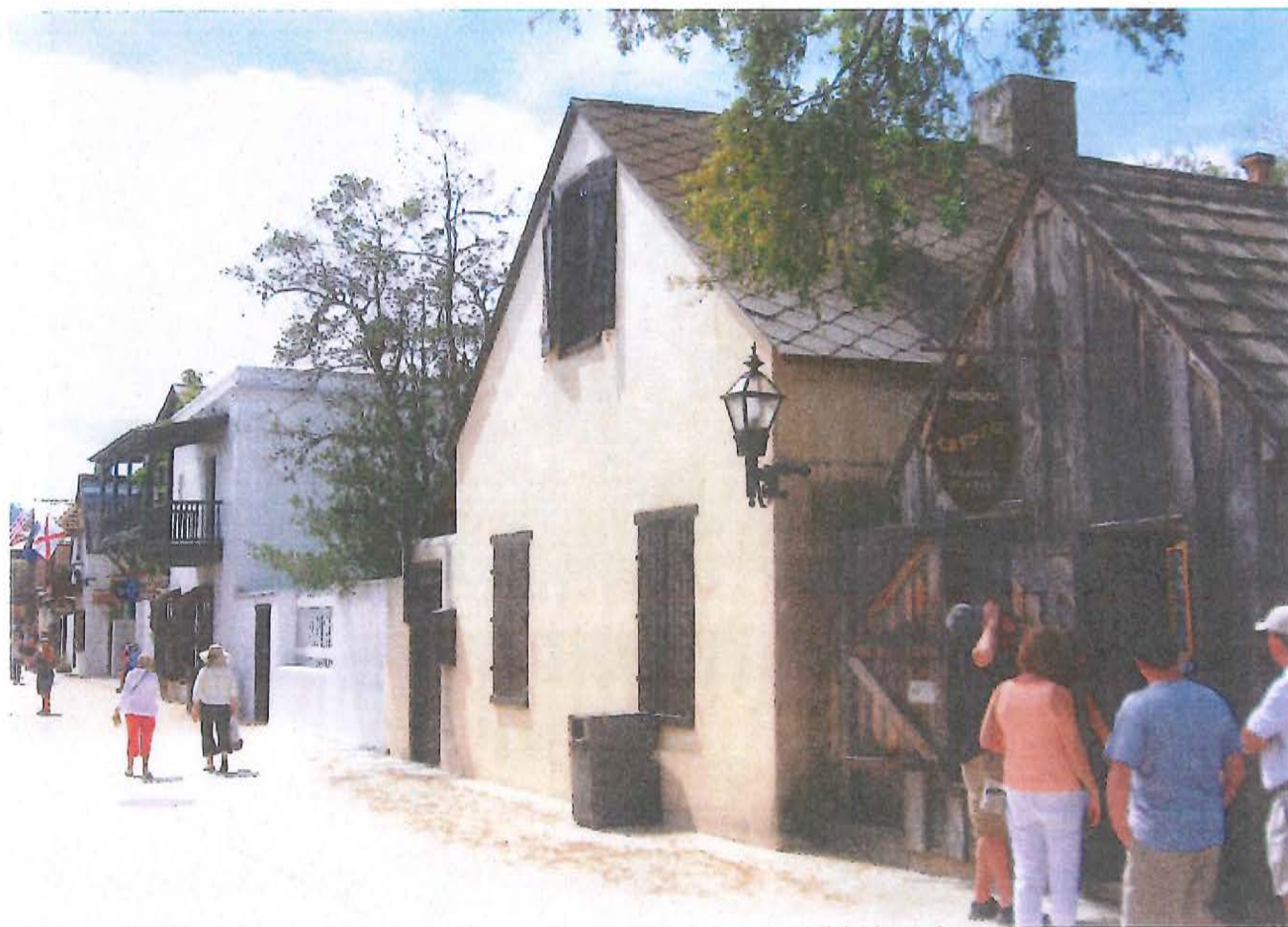


COURTYARD VIEW LOOKING WEST.



602 40 200

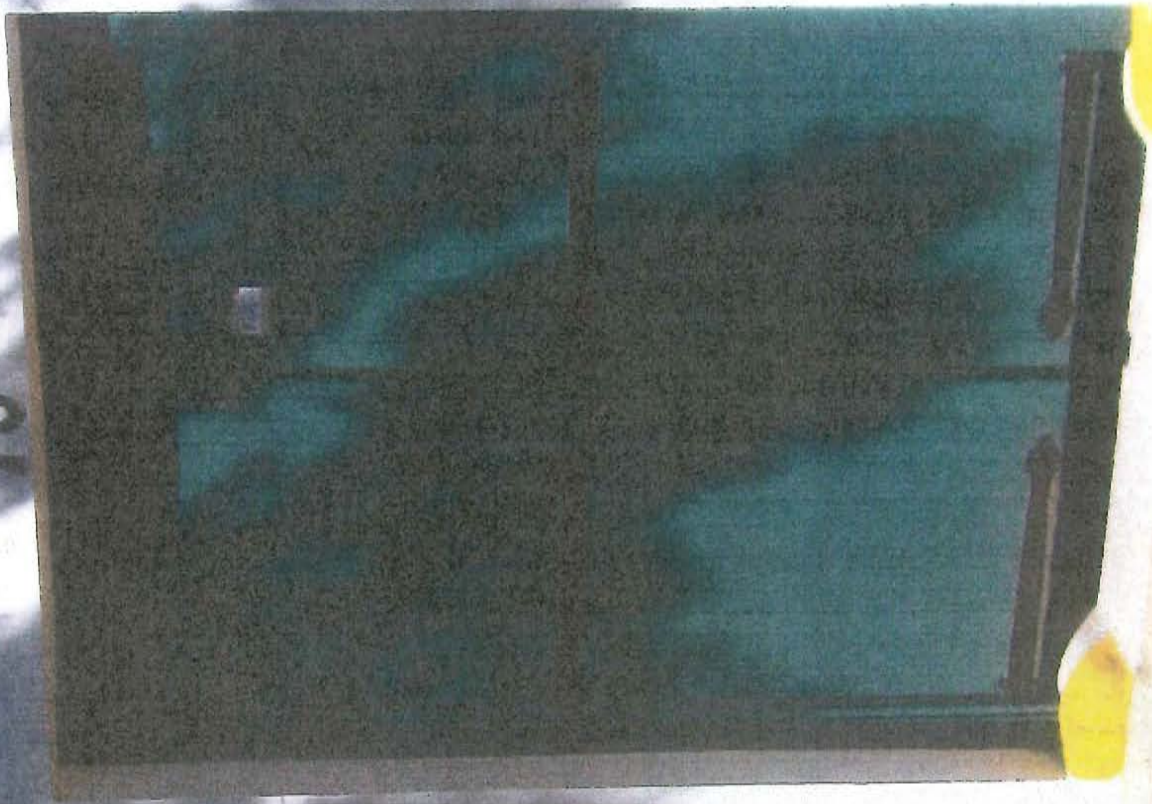


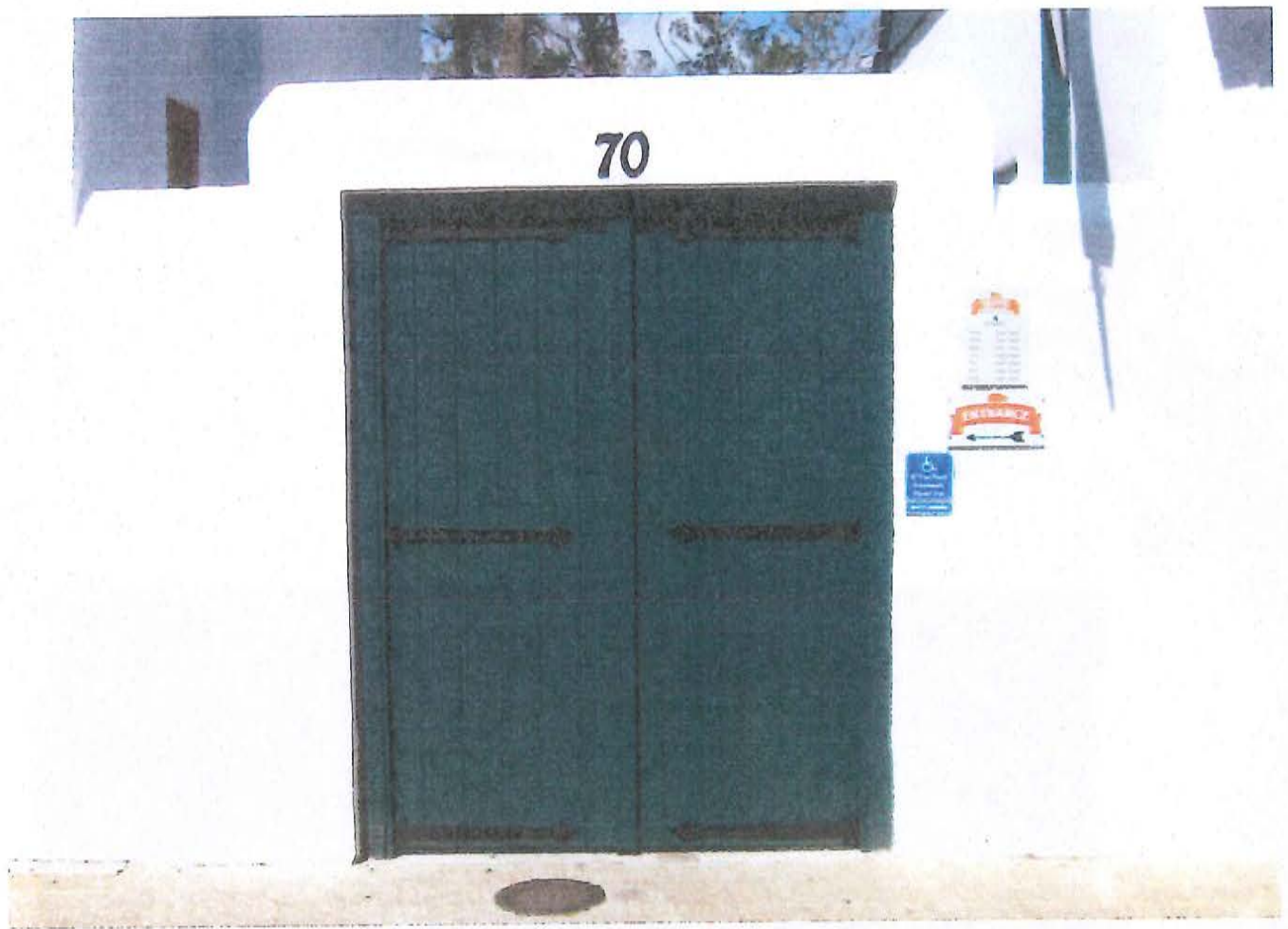


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SAMPLE PHOTO OF
SHADEL STUCCO & COLOR

70





- Alter utilitarian or service entrances so they appear to be formal entrances by adding paneled doors, fanlights and sidelights.
- Fail to provide adequate protection to materials on a cyclical basis so that deterioration of entrances results.
- Remove significant door or entrance features that can be repaired.
- Replace deteriorated or missing doors with stock doors or doors of inappropriate designs or constructed of inappropriate materials.
- Remove historic doors, transom, sidelights and replace them with blocking.
- Add aluminum or other inappropriate screen doors.
- Remove an entrance that is unrepairable and not replace it; or replace it with a new entrance or porch that does not convey the same visual appearance.
- Create a false historical appearance because the replaced entrance is based on insufficient historical, pictorial and physical documentation.
- Install secondary service entrances that are incompatible in size and scale with the historic

building, or which obscure, damage or destroy character-defining features.

Pre-1821

First Spanish Period doors are similar to gates in design but are between thirty-three inches and forty-four inches wide.

British Period and Second Spanish Period doors may be located in the street facade or may reflect the St. Augustine Plan. The thirty-three inch wide English six panel door is the most appropriate. Second Spanish Period doors may also be similar to First Spanish Period design. All doors should be six feet, ten inches to seven feet high whenever possible.

Appropriate materials include pine, oak, cypress and cedar boards, either square edged, shiplap, tongue-and-grooved or beaded, with black iron hardware. Doors may be either single or double leaf. Street doors should not contain any glazing. **Balcony and courtyard doors may be partially or fully glazed, with wood sash and muntins.**

Hardware should be black iron in a documented pre-1821 design. In some instances, brass, tin or leather may be appropriate. Door hardware may be simple wood pulls, iron thumb latches, levers or small 18th Century doorknobs. Modern door knobs, handles and latches are not appropriate, and are not permitted on street facades. Modern locks



St. Johns County, FL

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2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 1974800000
Location Address 11 SPANISH ST
 18 ST GEORGE ST
 SAINT AUGUSTINE 32084-0000
Neighborhood ST GEORGE STREET (610.07)
Tax Description* CITY OF ST AUG ALL LOTS 3 & 28 & STRIP OF LAND BEING PART OF LOTS 4 & 27 BLK 12 (EX PT IN OR51/50) OR4239/1281
 *The Description above is not to be used on legal documents.
Property Use Code Mixed Use (Store/Office/Residential Combo) (1200)
Subdivision City of St Augustine
Sec/Twp/Rng 18-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.170
Homestead N

View Map

Owner

Owner Name 18 Saint George St LLC 100%
Mailing Address 4041 PINE RUN CIR
 SAINT AUGUSTINE, FL 32086-0000

Valuation

Building Value	2018
	\$220,502
Extra Features Value	\$15,369
Total Land Value	\$578,240
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$814,111
Total Deferred	\$0
Assessed Value	\$814,111
Total Exemptions	\$0
Taxable Value	\$814,111

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$230,674	\$15,414	\$578,240	\$0	\$0	\$824,328	\$824,328	\$0	\$824,328
2016	\$174,906	\$10,485	\$248,288	\$0	\$0	\$433,679	\$405,215	\$78,464	\$355,215
2015	\$173,129	\$10,530	\$240,350	\$0	\$0	\$424,009	\$390,216	\$83,793	\$340,216
2014	\$125,249	\$10,575	\$240,350	\$0	\$0	\$376,174	\$376,174	\$50,000	\$326,174
2013	\$93,869	\$2,799	\$240,350	\$0	\$0	\$337,018	\$337,018	\$50,000	\$287,018
2012	\$152,068	\$3,130	\$240,350	\$0	\$0	\$395,548	\$357,319	\$88,229	\$307,319
2011	\$155,822	\$3,459	\$265,888	\$0	\$0	\$425,169	\$358,237	\$116,932	\$308,237
2010	\$157,699	\$2,664	\$294,320	\$0	\$0	\$454,683	\$362,894	\$141,789	\$312,894

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	3196	Roof Cover	Asbestos
Conditioned Area	3366	Interior Flooring	Pine Wood
Actual Year Built	1850	Interior Wall	Drywall
Use	Mixed Use (Store/Office/Residential Combo)	Heating Type	Air Duct
Style	01	Heating Fuel	
Class	N	Air Conditioning	Central
Exterior Wall	Concrete Stucco	Baths	

Category	Type	Pct
Exterior Wall	Concrete Stucco	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Asbestos	100%
Interior Walls	Drywall	100%
Interior Flooring	Pine Wood	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Masonry	100%
Plumbing	8 Fixtures	100%
Electrical	Average	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Concrete Slab	100%
Condition	Average	100%
Insulation	2" Fiberglass	100%

Description	Conditioned Area	Actual Area
CANOPY COM	0	180
BASE AREA	480	480
F GARAGE	0	792
1.5 STORY	2886	1924
CANOPY COM	0	520
Total SqFt	3366	3896

Building	2	Roof Structure	Wood Truss
Actual Area	1475	Roof Cover	Modular Metal
Conditioned Area	711	Interior Flooring	Pine Wood
Actual Year Built	1940	Interior Wall	Drywall
Use	Mixed Use (Store/Office/Residential Combo)	Heating Type	Air Duct
Style	04	Heating Fuel	
Class	N	Air Conditioning	Central
Exterior Wall	Wood	Baths	

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Wood Truss	100%
Roofing Cover	Modular Metal	100%
Interior Walls	Drywall	100%
Interior Flooring	Pine Wood	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Good	100%
Foundation	Piers and Posts	100%
Insulation	4" Fiberglass	100%
Floor System	Wood Frame	100%
Condition	Good	100%

Description	Conditioned Area	Actual Area
CANOPY COM	0	114
CANOPY	0	300
CANOPY COM	0	350
BASE AREA	711	711
Total SqFt	711	1475

Extra Features

Code Description	BLD	Length	Width	Height	Units
Handicap Ramp	0	0	0	0	148
DECK UNATT	0	0	0	0	180
MS/CB WALL	0	11	12	0	132
Brick Pavers (1001-3000)	0	0	0	0	1492
Wood Fence	0	0	0	0	720

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Mixed Use (Store/Office/Residential Combo)	32	110	3520	SF	\$281,600
Mixed Use (Store/Office/Residential Combo)	8	180	1440	SF	\$115,200
Restaurants & Cafeterias	42	54	2268	SF	\$181,440

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
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2/17/2016	2/17/2016	\$0.00	LA	4150	929	U	I	PARKS DONNA LEE	PARKS DONNA LEE ESTATE
	3/10/1995	\$0.00	DC	1455	1069	U	I	PARKS MARY BELL *** (DECD 3/10/95)	PARKS DONNA LEE
	9/1/1989	\$0.00		829	161	U	I		PARKS MARY BELL ***

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

Tax Estimator

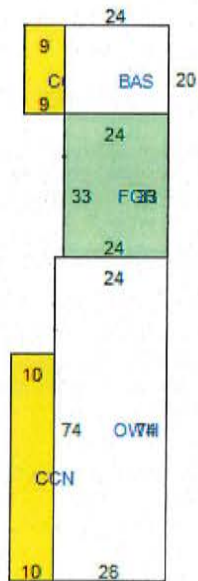
[Tax Estimator](#)

Map

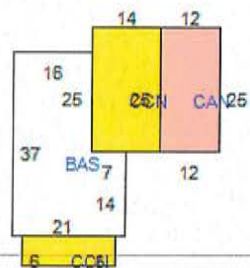


Sketches

	OWH	OWH
	FGR	FINISHED GARAGE
	BAS	Base
	CCN	CCN



	BAS	Base
	CAN	CANOPY
	CCN	CCN



No data available for the following modules: Exemptions.

Instr #2016052679 BK: 4239 PG: 1281, Filed & Recorded: 8/15/2016 2:52 PM #Pgs:3
Hunter S. Conrad, Clerk of the Circuit Court St. Johns County FL Recording \$27.00 Doc. D \$17,479.00

Prepared by:
Pam Gesell
Paradise Title of St. Augustine, LLC
2225 A1A SOUTH, SUITE C-8
Saint Augustine, Florida 32080
File Number: P16-2896
Documentary Stamps: \$17,479.00

General Warranty Deed

Made this August 12, 2016 A.D. By **John Howland Wing**, as personal representative of the Estate of **Donna Lee Parks and Sandra Parks, f/k/a Sandra Parks Black**, conveying separate non homestead property, hereinafter called the grantor, to **18 Saint George St., LLC, a Connecticut limited liability company** whose post office address is: 10 S LaSalle Street, Suite 3100, Chicago, IL 60603, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Two Million Four Hundred Ninety Seven Thousand dollars & no cents Dollars, (\$2,497,000.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Johns County, Florida, viz:

PROPERTY DESCRIBED ON ATTACHED EXHIBIT "A" BY REFERENCE HERETO MADE A PART HEREOF:

Parcel ID Number: **197480-0000**

SUBJECT TO COVENANTS, RESTRICTIONS, EASEMENTS AND RESERVATIONS of record, if any; However, this reference does not operate to reimpose same; Subject to zoning Ordinances that may affect subject property.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

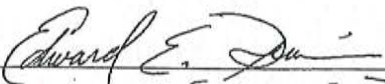
To Have and to Hold, the same in fee simple forever.

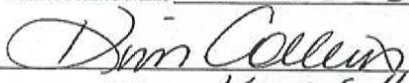
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2015.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

BK: 4239 PG: 1282

Signed, sealed and delivered in our presence:


Witness Printed Name EDWARD E. DENNIS


Witness Printed Name Kim Collins


John Howland Wing, Personal Representative

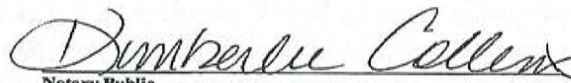

Sandra Parks, f/k/a Sandra Parks Black

State of Florida
County of St. Johns

The foregoing instrument was acknowledged before me this 12th day of August, 2016, by John Howland Wing, as personal representative of the Estate of Donna Lee Parks and Sandra Parks, f/k/a Sandra Parks Black, conveying separate non homestead property, who is/are personally known to me or who has produced valid driver licenses as identification.



KIMBERLEE COLLINS
MY COMMISSION # FF 200385
EXPIRES: June 14, 2019
Bonded Thru Budget Notary Services



Notary Public
Print Name: _____

My Commission Expires: _____

BK: 4239 PG: 1283

Exhibit "A"

THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND SITUATE, LYING AND BEING IN THE COUNTY OF ST. JOHNS AND STATE OF FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL ONE:

Lot Twenty-eight (28) of Block Twelve (12), City, being also described according to deed from Gasper Masters and Angelina Masters to Evalina Manucy, recorded in Deed Book V, page 249, public records of St. Johns County, Florida, on August 7, 1875, as follows: "Situated in said City of St. Augustine, and upon the westerly side, and adjoining St. George Street, and measuring thereon thirty one feet; bounded on the north by land of Frank Greator, measuring one hundred and thirteen feet thereon, on the west by land of Plummer and Pomar, thirty one feet, and on the South by land of Dora Floyd, measuring thereon, one hundred and thirteen feet."

PARCEL TWO:

Bounded on the North by lot formerly of S. Capella, East by lot formerly of Mary L. Manucy, South by lot formerly of Julia Salas, part of a certain lot formerly sold by Paul Sabate, Sheriff of the said County of St. Johns for taxes due the State of Florida, and the County of St. Johns to Francis P. Ferreira, on the sixth day of April eighteen hundred and fifty-seven the said lot conveyed, measuring from North to South forty-five feet, and from East to West, sixty-one feet, and on the West by Spanish Street, all measurements being more or less, being Lot Three (3), Block Twelve (12), according to the official map of the City of St. Augustine, dated January 1st, 1905, filed in the office of the Clerk of the Circuit Court, St. Johns County, Florida, and is the same land described in the Deed recorded in Official Records Book 66, page 412, public records of St. Johns County, Florida).

PARCEL ONE AND PARCEL TWO DESCRIBED ABOVE ARE THE SAME LANDS AND IMPROVEMENTS DESCRIBED IN THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 17, PAGE 297, PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

PARCEL THREE:

A strip of land lying in Lots Four (4) and Twenty-seven (27), of Block Twelve (12), according to the official map of the City of St. Augustine, Florida, dated June, 1923, EXCEPTING THEREFROM the land and improvements described in the Warranty deed recorded in Official Records Book 51, page 50, of the public records of St. Johns County, Florida. The strip of land described above fronts on St. George Street to a width of 7.2 feet± and a width on Spanish Street of 6.8 feet with a depth from St. George Street to Spanish Street of 177 feet±.

File Number: P16-2896Legal Description with Non Homestead
Closer's Choice



St. Johns County, FL

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TRIM Notice

[TRIM Notice](#)

Summary

Parcel ID 1974800000
 Location Address 11 SPANISH ST
 18 ST GEORGE ST
 SAINT AUGUSTINE 32084-0000
 Neighborhood ST GEORGE STREET (610.07)
 Tax Description* CITY OF ST AUG ALL LOTS 3 & 28 & STRIP OF LAND BEING PART OF LOTS 4 & 27 BLK 12 (EX PT IN OR51/50) OR4239/1281
 *The Description above is not to be used on legal documents.
 Property Use Code Mixed Use (Store/Office/Residential Combo) (1200)
 Subdivision City of St Augustine
 Sec/Twp/Rng 18-7-30
 District City of St Augustine (District 452)
 Millage Rate 20.4933
 Acreage 0.170
 Homestead N

View Map

Owner

Owner Name 18 Saint George St LLC 100%
 Mailing Address 4041 PINE RUN CIR
 SAINT AUGUSTINE, FL 32086-0000

Valuation

Building Value	2018
Extra Features Value	\$220,502
Total Land Value	\$15,369
Agricultural (Assessed) Value	\$578,240
Agricultural (Market) Value	\$0
Just (Market) Value	\$0
Total Deferred	\$814,111
Assessed Value	\$0
Total Exemptions	\$814,111
Taxable Value	\$0
	\$814,111

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
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2010	\$157,699	\$2,664	\$294,320	\$0	\$0	\$454,683	\$362,894	\$141,789	\$312,894

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	3196	Roof Cover	Asbestos
Conditioned Area	3366	Interior Flooring	Pine Wood
Actual Year Built	1850	Interior Wall	Drywall
Use	Mixed Use (Store/Office/Residential Combo)	Heating Type	Air Duct

Style 01
Class N
Exterior Wall Concrete Stucco

Heating Fuel
Air Conditioning Central
Baths

Category	Type	Pct
Exterior Wall	Concrete Stucco	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Asbestos	100%
Interior Walls	Drywall	100%
Interior Flooring	Pine Wood	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Masonry	100%
Plumbing	8 Fixtures	100%
Electrical	Average	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Concrete Slab	100%
Condition	Average	100%
Insulation	2" Fiberglass	100%

Description	Conditioned Area	Actual Area
CANOPY COM	0	180
BASE AREA	480	480
F GARAGE	0	792
1.5 STORY	2886	1924
CANOPY COM	0	520
Total SqFt	3366	3896

Building 2
Actual Area 1475
Conditioned Area 711
Actual Year Built 1940
Use Mixed Use (Store/Office/Residential Combo)
Style 04
Class N
Exterior Wall Wood

Roof Structure Wood Truss
Roof Cover Modular Metal
Interior Flooring Pine Wood
Interior Wall Drywall
Heating Type Air Duct
Heating Fuel
Air Conditioning Central
Baths

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Wood Truss	100%
Roofing Cover	Modular Metal	100%
Interior Walls	Drywall	100%
Interior Flooring	Pine Wood	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Good	100%
Foundation	Piers and Posts	100%
Insulation	4" Fiberglass	100%
Floor System	Wood Frame	100%
Condition	Good	100%

Description	Conditioned Area	Actual Area
CANOPY COM	0	114
CANOPY	0	300
CANOPY COM	0	350
BASE AREA	711	711
Total SqFt	711	1475

Extra Features

Code Description	BLD	Length	Width	Height	Units
Handicap Ramp	0	0	0	0	148
DECK UNATT	0	0	0	0	180
MS/CB WALL	0	11	12	0	432
Brick Pavers (1001-3000)	0	0	0	0	1492
Wood Fence	0	0	0	0	720

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Mixed Use (Store/Office/Residential Combo)	32	110	3520	SF	\$281,600
Mixed Use (Store/Office/Residential Combo)	8	180	1440	SF	\$115,200
Restaurants & Cafeterias	42	54	2268	SF	\$181,440

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
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2/17/2016	2/17/2016	\$0.00	LA	4150	929	U	I	PARKS DONNA LEE	PARKS DONNA LEE
	3/10/1995	\$0.00	DC	1455	1069	U	I	PARKS MARY BELL *** (DECD 3/10/95)	ESTATE PARKS DONNA LEE
	9/1/1989	\$0.00		829	161	U	I		PARKS MARY BELL ***

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

Tax Estimator

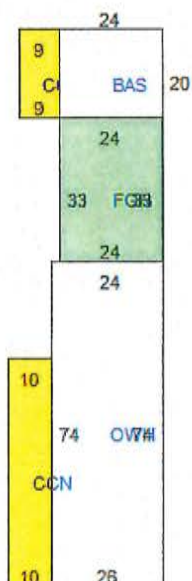
[Tax Estimator](#)

Map

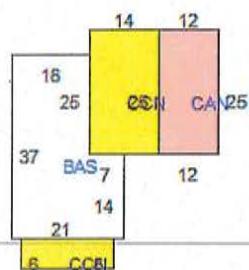


Sketches

	OWH	OWH
	FGR	FINISHED GARAGE
	BAS	Base
	CCN	CCN



	BAS	Base
	CAN	CANOPY
	CCN	CCN



No data available for the following modules: Exemptions.

**6. (a) Certificate of Appropriateness
2018-0107 – Don Crichlow & Associates
– Applicant**

**18 St. George Street LLC – Owner
18 St. George Street**

**To construct new buildings between
Spanish and St. George Streets designed
with Spanish Colonial character.**

Mr. Weaver recused himself as a consultant for the applicant.¹

Ms. Mitchell read the staff report and said based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the Board can **CONTINUE** a Certificate of Appropriateness for **18 St. George Street** to address the comments from the previous HARB meeting.

Don Crichlow reviewed the application with a presentation.

Ex Parte Communication:

(None)

Public hearing was opened.

Melinda Rakoncaj was concerned with the lot coverage and the project's lack of consistency with the Second Spanish Period.

Robert Hall felt that the Board had an opportunity to create authenticity in this location. He felt that malls did not belong within the HP district and if the guidelines were upheld, the property could have good ambiance.

Sandra Parks believed the Board and the applicant had served their duties; however, she was concerned with the proliferation of mini-malls along St. George Street. She urged the Board to help develop restrictions that would inhibit the construction and

development of mini-malls in the historic districts.

Dan Holiday felt that St. Augustine had become over-commercialized and that history needed to be the focus again.

Nancy Pellicer felt that there should be more room for landscaping within the project which would set it apart from other structures along St. George Street. She felt the strip-mall may not be successful if the owner did not find creative tenants. She was disappointed that the project could not meet the architecture of the Second Spanish Period.

Martha Mickler wanted to preserve the quaint neighborhood feel of Spanish Street and the historic feel of HP-3.

B.J. Kalaidi said that the ordinances and Comprehensive Plan did not help the Board protect the historic nature of the area. She knew that denial of the application may result in a lawsuit for the City, but she asked the Board to be good stewards of St. Augustine history.

Public hearing was closed.

Don Crichlow responded to public comment stating that the project met all current ordinance requirements and he felt that the proposed structure would be better than the existing structure.

The Board discussed:

- Preference for single panel doors rather than French doors to reduce the mini-mall feel
- Conflict of lot coverage requirements with an 80% maximum and Historic district guidelines that describe a more residential typology
- Concern with window configuration on the south exposure

¹ Form attached to original minutes

- Seven foot wide gate rather than four foot as described in the guidelines

Mr. Crichlow asked that the Board forgo continuing the application and provide an approval or denial. He stated that his client felt that visibility into the shops was imperative, which was the reason for the additional glazing along the south elevation.

Mr. Benoit explained his understanding that the additional windows along the southern elevation were added after the orientation of the shops moved from an interior hallway to the exterior alley.

MOTION

Ms. Duncan **MOVED** to **DENY** application 2018-0107 because the double French doors and seven-foot gate did not meet the design guidelines. The motion was **SECONDED** by Ms. Wingo.

VOTE ON MOTION:

AYES: Duncan, Wingo, Wallace

NAYES: Benoit

MOTION CARRIED 3/1

6. (b) Certificate of Demolition 2018-0104 **– Ronald L. Bailey Jr. – Applicant and Owner** **101 South Street**

To demolish a building constructed in 1954 that does not contribute to the Lincolnville National Register Historic District and that is not listed in the Florida Master Site File.

Ms. Mitchell read the staff report and said based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the Board can **APPROVE** a Certificate of Demolition for **101 South Street**.

Marcus Bailey withdrew the application stating that they were planning to remodel the structure.

6. (c) Certificate of Appropriateness **F2018-0064 – Crown Castle NG East LLC** **– Applicant**

City of St. Augustine – Owner
NE corner of Cathedral Place and Cordova Street

To construct a 40 foot tall concrete utility pole with an antenna and telecommunications equipment.

Prior to the meeting, the applicant requested a continuance of the item to the October 18, 2018 HARB meeting. See Modification and Approval of Agenda for motion to continue.

6. (d) Preliminary Design Approval for the Design Standards for Entry Corridors **2018-0082 – Hagos Fissehay – Applicant and Owner** **3150 N. Ponce de Leon Blvd**

To review new construction and site development for conformance with Mixed Residential and Commercial Typology.

Ms. Wolfe read the staff report and said Preliminary Design Approval did not include a staff recommendation because the purpose was to direct staff in subsequent administrative reviews.

Hagos Fissehay, John Gilgenbach, and James Calloway reviewed the application, noting changes from the previous application including an additional 16 feet of landscaping, decorative fencing, and pedestrian access added along San Marco Avenue.

Ex Parte Communication:

(None)

Public hearing was opened.

Van Cogley was concerned with the choice of fence along San Marco which did not

Previously approved
COA

MAY 14 2018

Planning / Building Dept.

REGISTRATION SEAL

DRAWN BY:
N. GOLDBERGER
SCALE: AS NOTED
DATE: 14 MAY 2018

FLOOR PLAN
AND ELEVATIONS

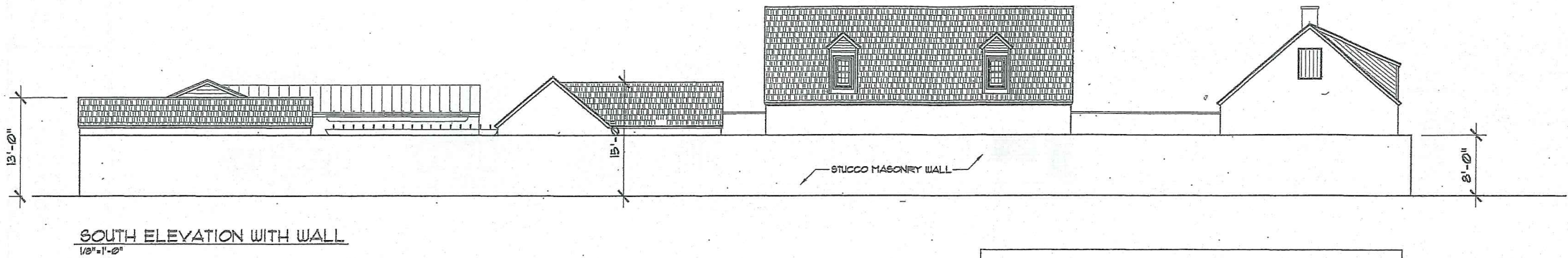
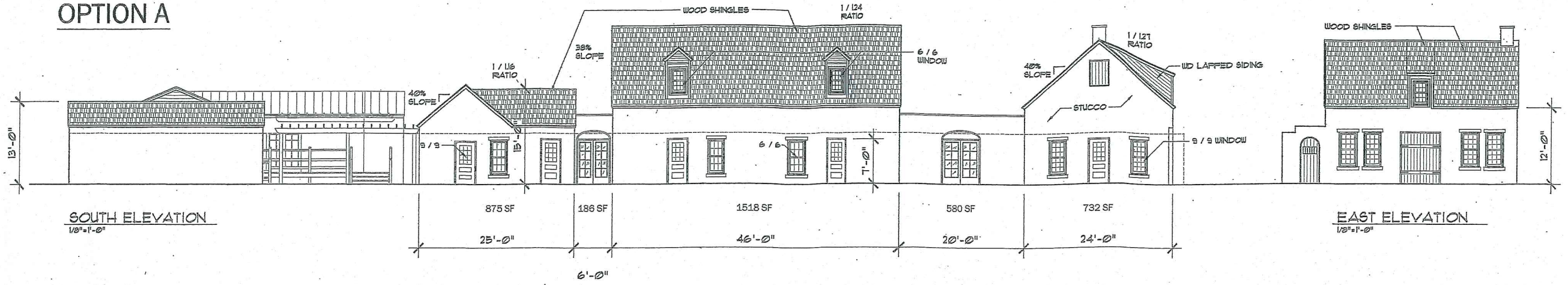
18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

DON CRICLOW & ASSOCIATES
302 1/2 ST. GEORGE STREET
ST. AUGUSTINE, FL 32084
PH: (904) 824-5765

ARCHITECT

SHEET
A1

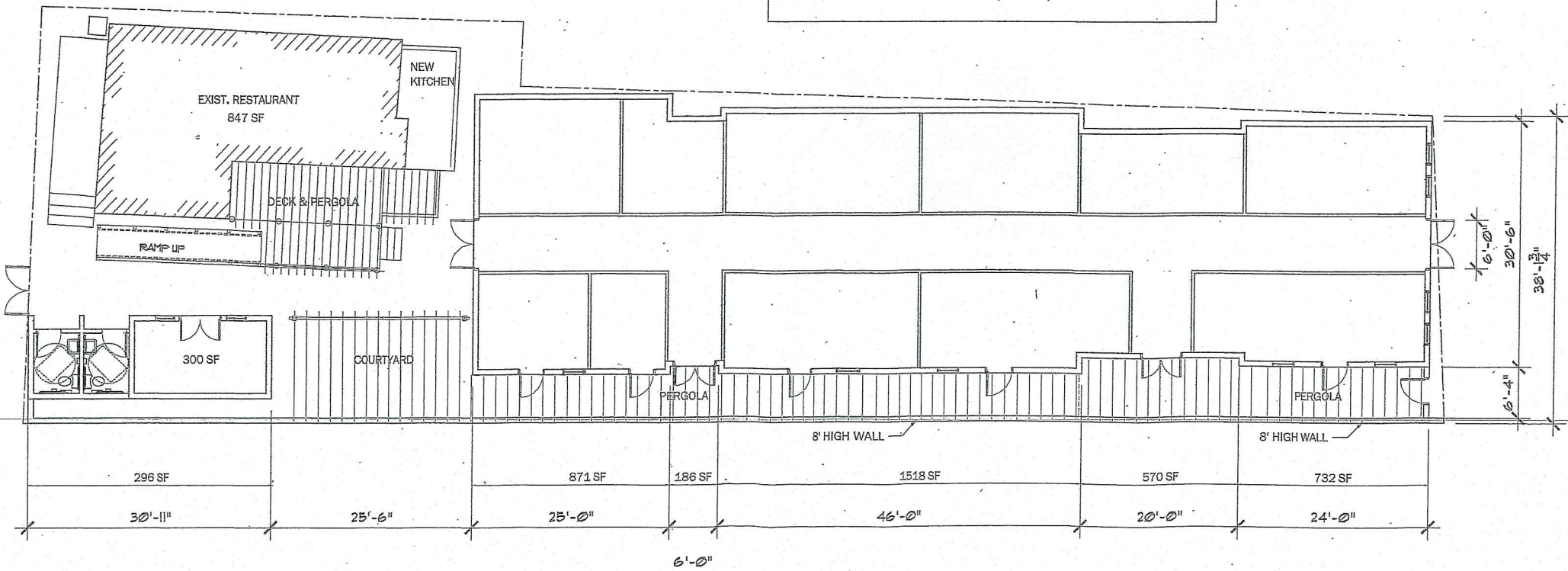
OPTION A



COVERED AREAS		
EXISTING COVERED SQ. FT.	5480 sf	5026 sf
LOT SQ FT	7776 SF	7776 SF
LOT COVERAGE	70.4% (MAX 70%)	64.6% (MAX 70%)

SITE PLAN

1/8"=1'-0"



Previously Approved COA

RECEIVED

MAY 14 2018

Planning / Building Dept.

REGISTRATION SEAL

DRAWN BY:
N. GOLDBERGER
SCALE: AS NOTED
DATE: 14 MAY 2018

FLOOR PLAN
AND ELEVATIONS

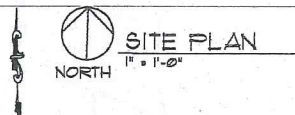
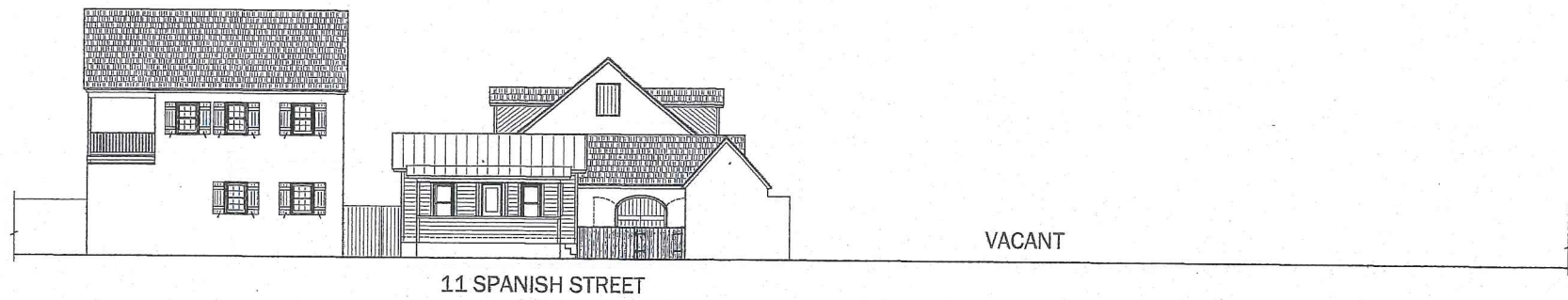
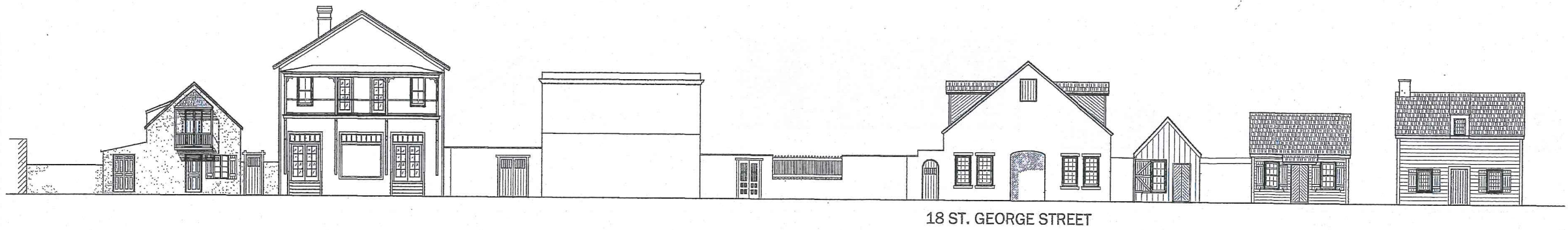
18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

DON CRICHTON & ASSOCIATES
18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084
PH. (904) 824-5785

ARCHITECT

SHEET
A2

OPTION B



Previously Approved
00A

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MAY 14 2018

Planning / Building Dept.

REGISTRATION SEAL

DRAWN BY:
N. GOLDBERGER
SCALE: AS NOTED
DATE: 14 MAY 2018

FLOOR PLAN
AND ELEVATIONS

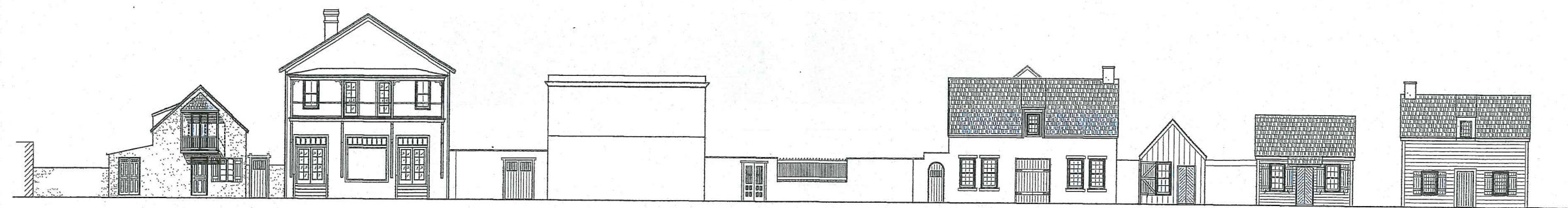
18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

DON CRICLOW & ASSOCIATES
302 1/2 ST. GEORGE STREET
ST. AUGUSTINE, FL 32084
PH: (904) 624-5765

ARCHITECT

SHEET
A2

OPTION A



18 ST. GEORGE STREET



VACANT

11 SPANISH STREET



SITE PLAN
1" = 1'-0"

Previously Approved Oct

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MAY 14 2018

Planning / Building Dept

REGISTRATION SEAL

DRAWN BY:
N. GOLDBERGER
SCALE: AS NOTED
DATE: 14 MAY 2018

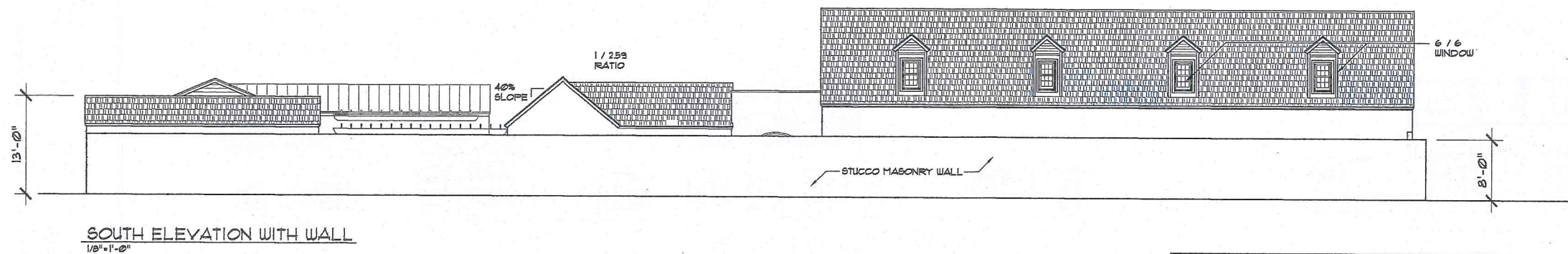
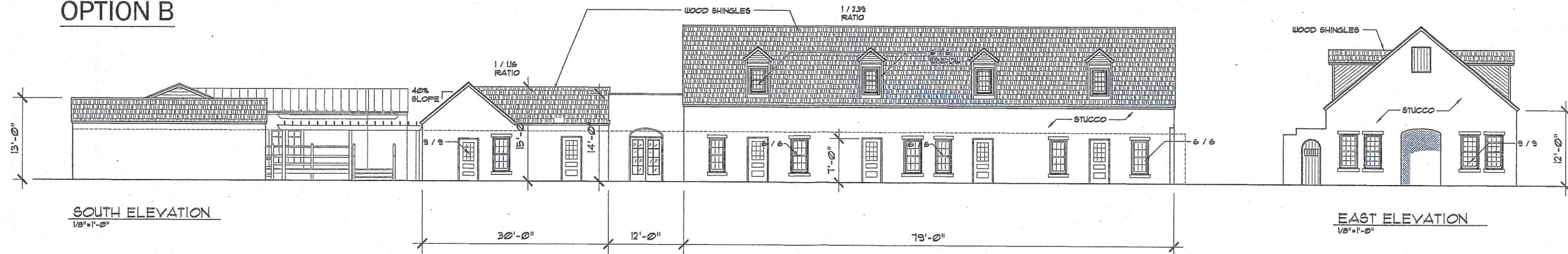
FLOOR PLAN
AND ELEVATIONS

18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

DON CRICLOW & ASSOCIATES
302 1/2 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084
PH: (904) 428-1760

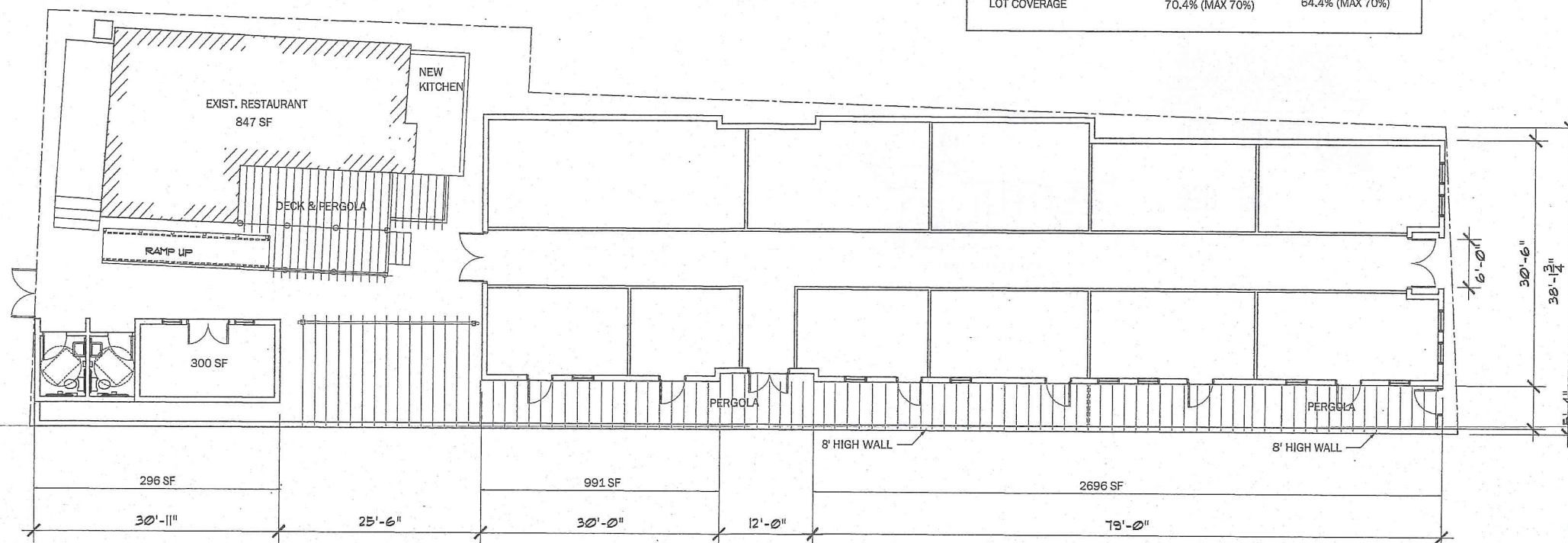
SHEET
A1

OPTION B

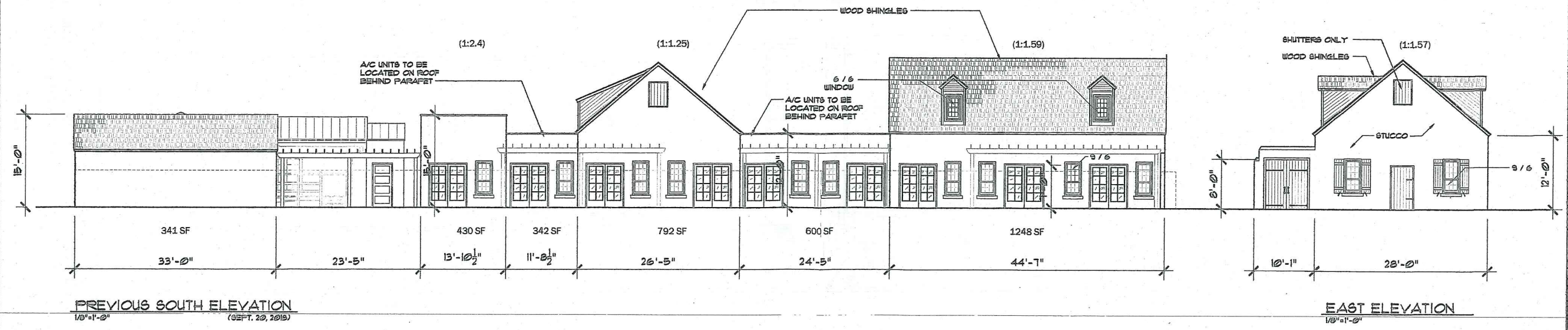
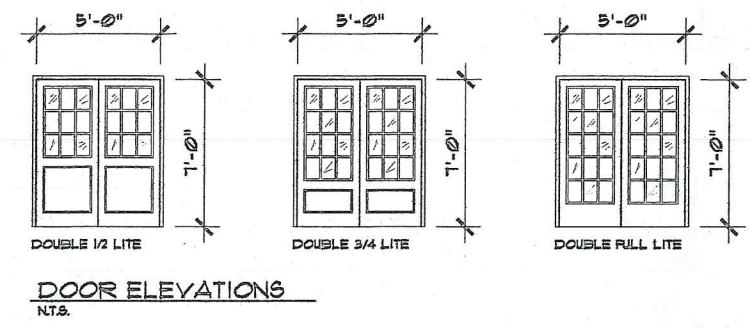
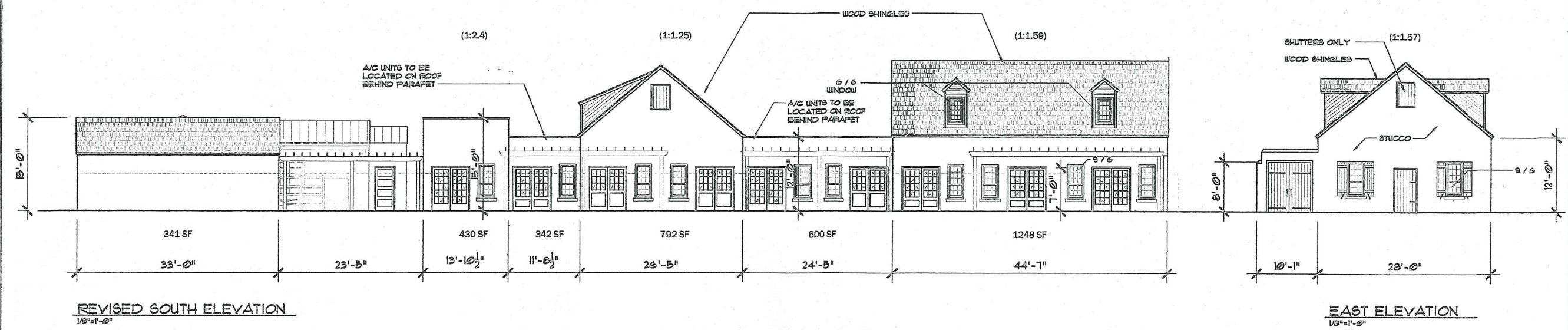


COVERED AREAS		
EXISTING COVERED SQ. FT.	EXISTING	NEW
LOT SQ FT	5480 sf	5009 sf
LOT COVERAGE	7776 SF	7776 SF
	70.4% (MAX 70%)	64.4% (MAX 70%)

NORTH
SITE PLAN
1/8" = 1'-0"



RECEIVED
OCT 08 2018
Planning / Building Dept



REGISTRATION SEAL

DRAWN BY:
N. GOLDBERGER
SCALE: AS NOTED
DATE: 12 OCT 2018

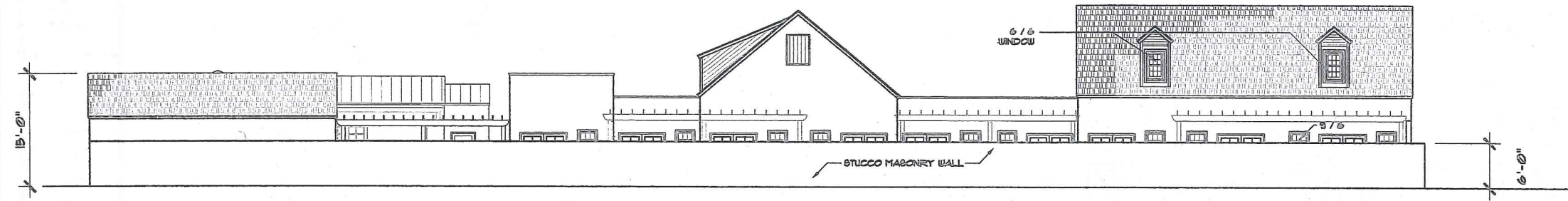
ELEVATIONS

18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

DON CRICHLAW & ASSOCIATES
302 1/2 ST. GEORGE STREET
ST. AUGUSTINE, FL 32084
PH: (904) 284-6166

ARCHITECT

SHEET
A



PROPOSED LANDSCAPING

PERGOLA

CAROLINA JASMINE

PLANTING BEDS

BEGONIA
INDIAN HAWTHORNE
SCHILLMAS HOLLY
JAPANESE PRIVET
NANDINA

POTS

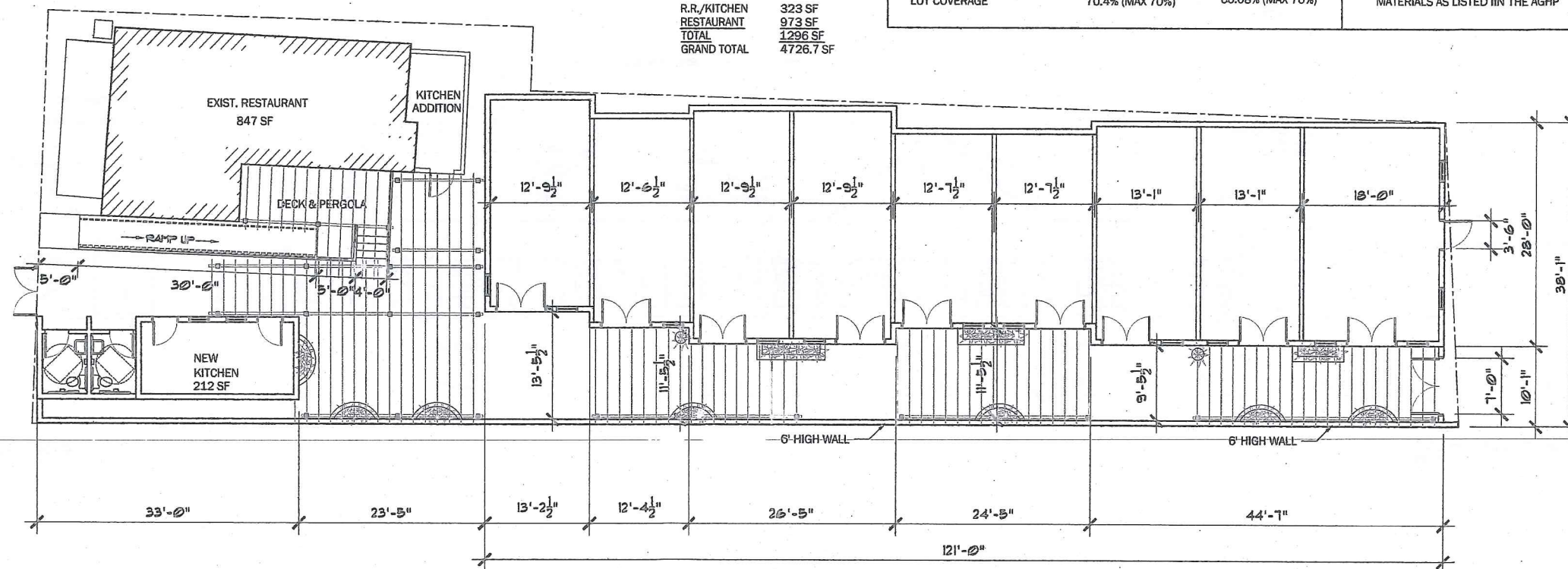
HIBISCUS
MORNING GLORY
CITRUS

ALL PLANTINGS SHALL BE HISTORIC PLANT MATERIALS AS LISTED IN THE AGHP

1st BUILDING	1248 SF
CONNECTOR	610.5 SF
2nd BUILDING	792 SF
CONNECTOR	334 SF
3rd BUILDING	362 SF
TOTAL	3430 SF
R.R./KITCHEN	323 SF
RESTAURANT	973 SF
TOTAL	1296 SF
GRAND TOTAL	4726.7 SF

COVERED AREAS

EXISTING COVERED SQ. FT.	EXISTING	NEW
LOT SQ FT	5480 sf	4726.7sf
LOT COVERAGE	7776 SF	7776 SF
	70.4% (MAX 70%)	60.08% (MAX 70%)



REGISTRATION SEAL

DRAWN BY:
N. GOLDBERGER
SCALE: AS NOTED
DATE: 12 OCT 2018

FLOOR PLAN
AND ELEVATIONS

18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

DON CRICHLAW & ASSOCIATES
ARCHITECT
ST. AUGUSTINE, FL 32084
PH. (904) 824-5765

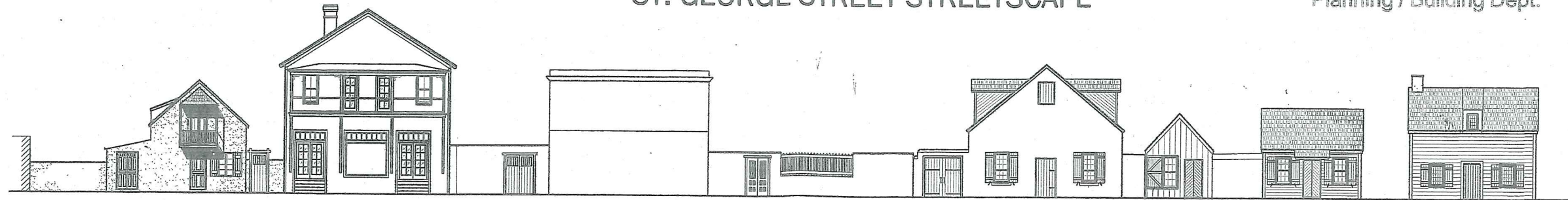
SHEET
A1

RECEIVED

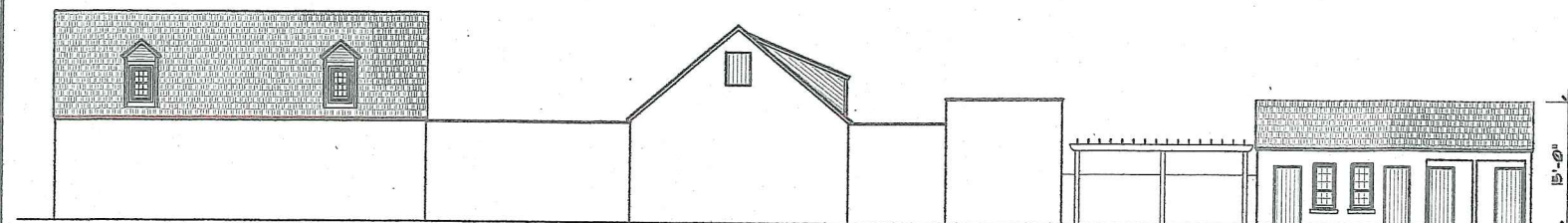
OCT 08 2018

Planning / Building Dept.

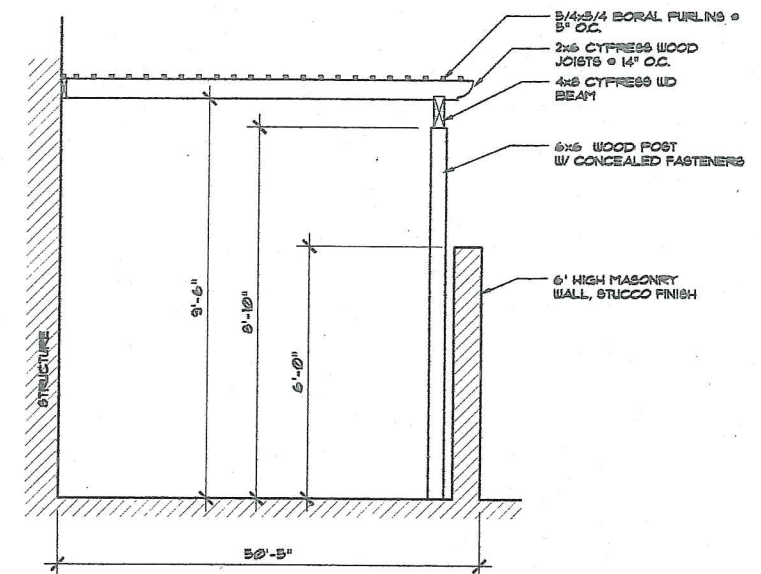
ST. GEORGE STREET STREETSCAPE



18 ST. GEORGE STREET
1" = 10'-0"



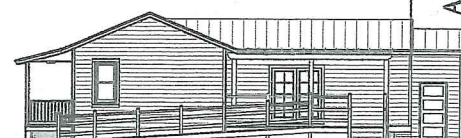
NORTH ELEVATION
1" = 10'-0"



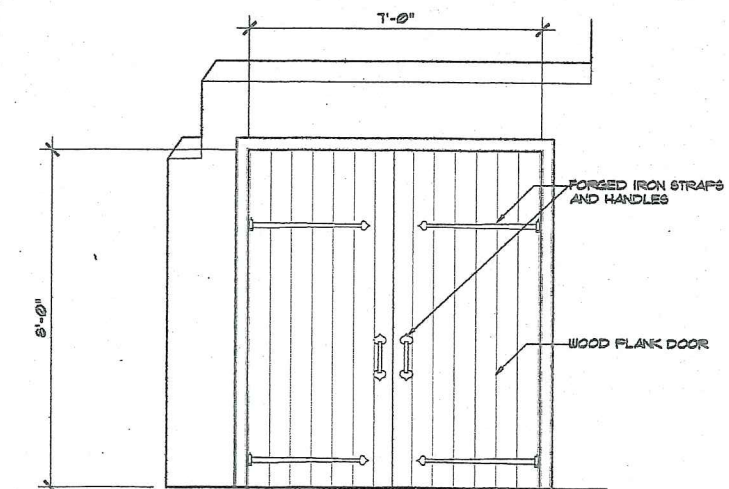
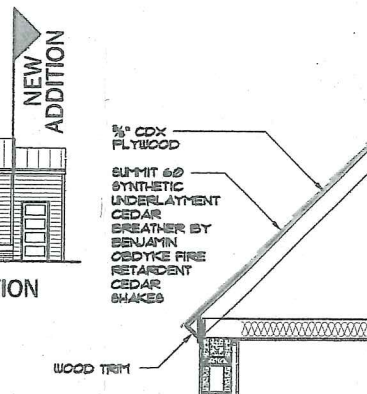
TYPICAL PERGOLA
1/2" = 1'-0"



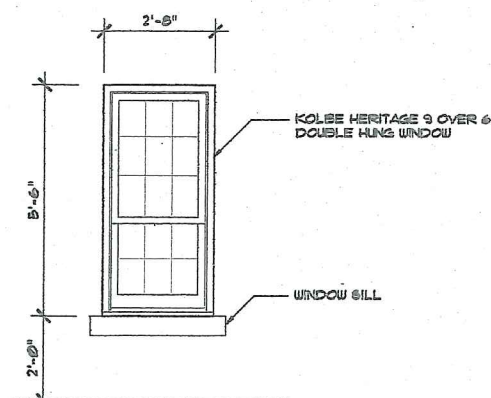
11 SPANISH STREET STREETSCAPE
1" = 10'-0"



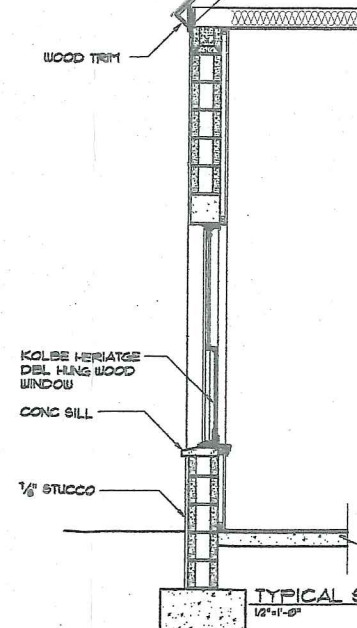
11 SPANISH STREET SOUTH ELEVATION
KITCHEN ADDITION
1" = 10'-0"



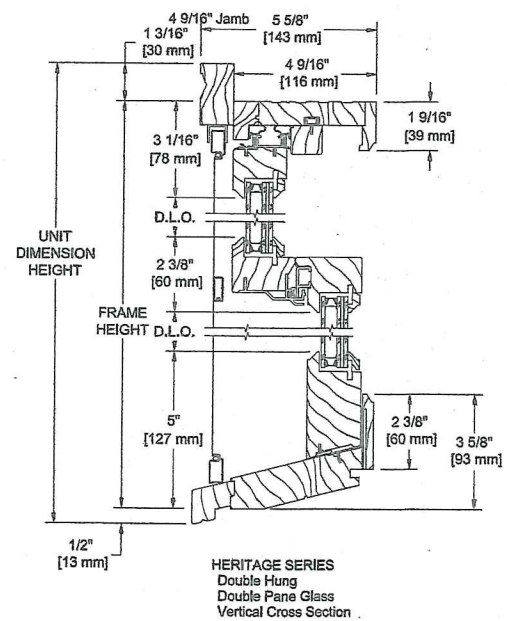
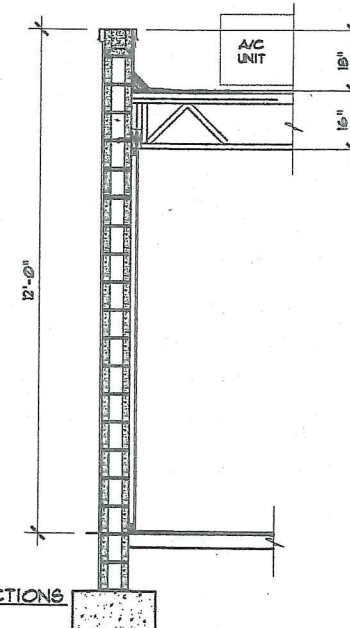
COURTYARD ENTRY DOORS
1/2" = 1'-0"



TYPICAL WOOD WINDOW
1/2" = 1'-0"



TYPICAL SECTIONS
1/2" = 1'-0"



DRAWN BY:
N. GOLDBERGER
SCALE: AS NOTED
DATE: 12 OCT 2018

FLOOR PLAN
AND ELEVATIONS

18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

DON CRICHLAW & ASSOCIATES
202 1/2 ST. GEORGE STREET
ST. AUGUSTINE, FL 32084
TEL: (904) 824-5765

ARCHITECT

SHEET
A2

REGISTRATION SEAL



CITY OF
ST. AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0144

Address: 329 St. George Street

Sarah Ryan, Architect, Applicant
Dave and Lynn McKee, Owners

Project description: Partial demolition of a building constructed in 1910, recorded on the Florida Master Site file, and not located in a district to include the windows, roof, and chimney.

Architectural Style: Frame Vernacular	Florida Master Site File: 8SJ1966
National Register: N/A	Construction date: 1910
Archaeology Zone: IC	Zoning District: RS-1
Parcel number: 200550 0000	
Agenda Item: 8(a)	Previous Action(s): N/A

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Demolition for a partial demolition of a building constructed in 1910, recorded on the Florida Master Site file, and not located in a district to include the windows, roof, and chimney.

- An enclosed space is shown on the Sanborn Map where the current carport and screened in porch are located, but it is unclear if this was the same or different elements from what currently exists.
- The plans include filling-in and altering the size and shape of windows, removing windows for additions, and removing sections of wall for new windows. This can negatively impact the fenestration pattern for the existing building.
- The current metal roof will be replaced with 5V crimp metal roof.
- The applicant needs to clarify if the home's chimney will be removed as it is a significant feature of the building and is not seen in the plans.
- The rear porch and the side concrete stairs do not appear on the Sanborn Maps, and it is unknown when these were added to the home.
- According to the Florida Master Site File, the original siding was removed and replaced with asbestos siding, which has since been replaced with concrete Hardie board like siding.
- The enclosed shed on the southern elevation was added to the home in 1997 and is not historic.
- Demolition could meet the ground disturbance criteria outlined in the APO. Archaeological monitoring of the demolition or the minimization of ground disturbance (i.e., no excavation of subsurface foundations) is recommended.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Approve a Certificate of Demolition** to remove the windows, chimney, roof and siding for **329 St. George Street** with the following condition:

1. Building materials such as the windows will be salvaged if possible in accordance with Sec. 28-89 (2)d.6.


Kelli Mitchell, Historic Preservation Planner

**APPLICATION REQUIREMENTS, ELIGIBILITY FOR DEMOLITION REVIEW,
CONDITIONS FOR DEMOLITION APPROVAL:**

Eligibility for Demolition Review (Section 28-87(3), CoSA Code of Ordinances)

The Historic Architectural Review Board (HARB) is responsible for the review of all applications for demolition permits for structures that are fifty (50) years of age or older, listed on the Florida Master Site File, or designated as an historical landmark (as defined by Sec. 28-87.10)

National Register Status (Section 28-89, CoSA Code of Ordinances)

A property currently listed on the National Register of Historic Places individually or as a contributing structure in an historic district is afforded additional scrutiny in the demolition review process by: 1) requiring submittal of a condition assessment report performed by a qualified professional; 2) requiring the applicant to prove "undue economic hardship" to justify demolition; and 3) allowing HARB the option to deny the demolition request if an undue economic hardship is not proven and removal of the building or structure will be detrimental to the historic and architectural character of the city.

Local Landmark Designation (Section 28-87(3) & (10), CoSA Code of Ordinances)

HARB is assigned the authority of reviewing all applications for demolition permits for primary structures... for potential designation as an historical landmark. Local "historical landmarks" are defined as a building, object, site or structure of the highest historical, architectural, cultural or archaeological importance and whose demolition, removal, relocation, or alteration would constitute an irreplaceable loss to the character and quality of the city.

Conditions for Demolition Approval (Section 28-89(2)d, CoSA Code of Ordinances)

HARB has the discretion in its review of an application for Certificate of Demolition to require, as conditions for approval, one or more of the following:

- Design of Replacement Building - *As a condition of issuing a certificate of demolition, the board may require the replacement design be approved by the board and that no permit be issued for the demolition of said structure until drawings sufficient for a building permit and all necessary requirements for the construction of a new building have been submitted for the new construction.*
- Architectural Salvage - *As a condition of issuing a certificate of demolition, the board may require, at the applicant's expense, salvage and preservation of significant building materials, architectural details and ornaments, fixtures, and the like for reuse in restoration of other historic properties.*
- Archival Documentation - *The board may also require at the applicant's expense the recording of the structure for archival purposes prior to demolition. The recording may include, but shall not be limited to, photographs and measured drawings.*

According to the Florida Master Site File, the building was constructed in 1910. The structure recorded in the Florida Master Site File and is not located in a National Register Historic District.

The application requirements are sufficiently met.

DEMOLITION REVIEW CRITERIA (AGHP):

1. ***Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.*** Not applicable.
2. ***The contribution of the structure to the mass and scale of the streetscape.*** The building contributes to the streetscape which includes buildings of similar mass and scale.
3. ***The impact of the loss of the structure on the streetscape.*** The demolition of select features will have a minimal impact on the streetscape.
4. ***Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.*** The building as a whole is not being demolished and will remain on the site.
5. ***The historical or cultural merit of the structure.*** The building is recorded on the Florida Master Site File. Former residents include Millie Murray (1911, 1920/21, and 1924/25 City Directories), Julie Murray (1930 City Directory), Gregory W. Meyer (1937 City Directory), Herbert Stackhouse (1940 City Directory), Hurber Bolton (1945 City Directory), Charles D. Olson (1959, 1960, and 1965 City Directory), Lililan Lally (1975 City Directory), Edward V. Martin Jr. (1980 City Directory), Joseph Pieso (1984/85 City Directory), Mrs. Beryl Woodman (1990 City Directory), Brent and Cynthia Woolbright (1995 City Directory), and Isabell and Maria Heimann (2000 and Dec. 2006 City Directories).
6. ***The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood.*** Not applicable.
7. ***Whether or not the structure is representative of a style or type of architecture or a method of construction.*** The home was built in the Frame Vernacular style, which is common in St. Augustine.
8. ***Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.*** The building is an example of the Frame Vernacular style, which is a common style in St. Augustine.
9. ***Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The condition of the structure, and the possibility of rehabilitating or relocating the structure.*** There is not a high degree of craftsmanship that would make reproduction of the building difficult.
10. ***The justification for the proposed demolition.*** The demolition select elements are part of larger renovation project.

UNREASONABLE OR UNDUE ECONOMIC HARDSHIP:

Defined as an onerous and excessive financial burden that would be placed upon a property owner by the denial of a certificate of demolition or a similar burden which would be placed on a property owner by conditions which the Commission seeks to place on the granting of a certificate. (Section 28-2 CoSA Code of Ordinances)

Is applicant entitled to a Certificate of Demolition independent of any hardship? ☒ Yes ☐ No

Did applicant submit evidence of undue economic hardship? ☐ Yes ☒ No

In any instance where an undue economic hardship, as defined in this chapter, is claimed by a property owner, the property owner may submit to the board any or all of the following information before the board makes a decision on the application for certificate of demolition: (Section 28-89(3) b, CoSA Code of Ordinances)

(Materials submitted by applicant noted with a checked box)

- ☐ 1. An estimate of the cost of the proposed construction, alteration, demolition, or removal;
- ☐ 2. The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; and, in the case of a proposed demolition, after renovation of the existing property for continued use;
- ☐ 3. In the case of a proposed demolition, an estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property;
- ☐ 4. The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
- ☐ 5. The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years;
- ☐ 6. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property;
- ☐ 7. Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years;
- ☐ 8. The assessed value of the property according to the two (2) most recent assessments;
- ☐ 9. The real estate taxes for the previous two (2) years;
- ☐ 10. The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other;

Any other information considered necessary by the board to a determination as to whether the property does yield or may yield a reasonable return to the property owner. The board may require that the property owner furnish such additional information as the board believes is relevant to the board's determination of any alleged undue economic hardship. No decision of the board shall result in undue economic hardship for the property owner. In any case where undue economic hardship is claimed, the board shall make two (2) specific findings. First, the board shall determine if the owner would be entitled to a certificate of demolition without consideration of undue economic hardship. Second, the board shall determine whether the owner demonstrated an undue economic hardship.

Additional information requested by HARB as per above:

COD F2018-0144
329 St. George Street
November 15, 2018

LIST OF ATTACHMENTS:

1. Staff Photographs
2. Sanborn Maps
3. City Directory Research
4. Florida Master Site File

1980

FLORIDA MASTER SITE FILE
HISTORIC ST. AUGUSTINE PRESERVATION BOARD
HISTORIC PROPERTIES INVENTORY FORM

I. LOCATION & LEGAL DESCRIPTION

FDAHRM 802== Site No. 85J1966 1009==
Site Name: 329 St. George Street 830== Survey Date: 7808 820==
Address: 329 St. George Street, St. Augustine, Fla. 32084 905==
Instructions for Locating: _____
_____ 813== County: St. Johns 808==
Location: City of St. Augustine 39A South 44.89' of Lot 19 868==
(subdivision) (block) (lot)
_____ 868==
Owner of Site: Name: Martin, Edward V. Jr. and Karena R. ;
Address: 329 St. George Street
St. Augustine, Fla. 32084 902==
Occupant or Manager: _____ 904==
Type of Ownership: Private 848== Zoning: RSE
NR Classification Category: Building 916== Recording Date: _____ 832==
UTM: 17 470070 3305840 890== Location: T07S R30E N20 812==
(zone) (easting) (northing) (T) (R) (S)
Map Reference: USGS St. Augustine 7.5 MIN 1956 (PR 1970) 809==
Recorder: Name & Title: Nolan, David (Historic Sites Specialist) ;
Address: H.S.A.P.B. 818==

II. SITE DESCRIPTION

Condition of Site:

() Excellent 863==
(x) Good 863==
() Fair 863==
() Deteriorated 863==

Integrity of Site:

(x) Altered 858==
() Unaltered 858==
(x) Original Site 858==
() Restored - Date: 858==
() Moved - Date: 858==

Threats to Site:

() Zoning 878==
() Development 878==
() Deterioration 878==
() Borrowing 878==
() Transportation 878==
() Fill 878==
() Dredge 878==
() Other 878==

II. SITE DESCRIPTION, continued.

Original Use: Priv. Residence 838== Present Use: Priv. Residence 850==

Date: +1910 844== Period: 20th Cent 845== Culture: American 840==

Architect: _____ 872==

Builder: _____ 874==

Style: Frame vernacular 964==

Plan Type: L-shape 966==

Exterior Fabrics: Asbestos, shingles _____ 854==

Structural Systems: Wood frame 856==

Features of Structure: (942)

Window Type: DHS, 2/2, metal, metal jalousie, sliding glasses 942==

Foundation: Concrete block piers with lattice infill 942==

Roof Type: Gable 942==

Secondary Roof Structures: Hip, porch 942==

Porches & Balconies: _____ 942==

Chimney Location: Offset, lateral slope 942==

Materials: (882)

Chimney: Brick 882==

Roof Surfacing: Metal, 5-v crimp 882==

Ornament Exterior: Jigsawn rafters _____ 882==

Quantitative Data: (950-954)

Chimneys: 2 952== Dormers: _____ 954== Stories: 1½ 950==

Other: _____ 956==

Surroundings: Residential/institutional 864==

Relationship to Surroundings: Set on rear of lot _____ 859==

III. PHOTOGRAPHY

Photographic Records Numbers: _____ 860==

Contact Prints _____



IV. SIGNIFICANCE

Areas of Significance: Architecture, Social/Humanitarian, Real Estate,
Politics/Government, Women

920==

Statement of Significance: (911==)

ARCHITECTURE

The one and one-half story Frame Vernacular residence at 329 St. George Street (formerly 332 Charlotte Street) was constructed between 1904 and 1910 and is one of the later houses built in this neighborhood. The original wood siding has been covered with asbestos shingles and the windows altered with metal jalousies and sliding glass doors. The jigsaw rafters and bargeboards remain. The house is set on the rear of the lot and faces Maria Sanchez Creek.

The area south of St. Francis Street between the Matanzas River and Maria Sanchez Lake has a large military complex on the north and a large health-care complex on the south, but is otherwise residential in nature. Construction dates in the area run from colonial through modern times. Development in the area proceeded generally from north to south and from east to west. The section along the east side of Maria Sanchez Lake was built on filled, previously marshy land. In addition to the colonial Llambias House and St. Francis Barracks, there are a few Victorian houses, representing early development in this area. But the bulk of the buildings are 20th century and show the influence of Bungalow, Mediterranean Revival and Colonial Revival styles popular in earlier decades. Tree-lined streets, walking distance from downtown, make this one of the city's pleasant and distinctive residential neighborhoods. Of particular note are a series of wood-shingle residences with palmetto porch posts on south St. George Street that were the work of architect Fred A. Henderich, whose family helped to develop the neighborhood. Also noteworthy is the fact that buildings in this area generally back up to Maria Sanchez Lake rather than face it, as the houses on the west side of the Lake do. The same thing is true along the Matanzas River, so maximum advantage is not taken of the waterfront property in this area. The area from St. Francis Street to San Salvador Street forms the southern section within the National Landmark District, listed on the National Register of Historic Places.

HISTORY

The neighborhoods south of San Salvador Street lie immediately outside the colonial Rosario defense line and its easternmost coquina bastion, Fort St. Francis. The early 18th century Indian village of La Punta was scattered throughout this area and by the early 19th century, a cluster of structures were built in the northern end of the tract in the vicinity of present-day

(over)

V. BIBLIOGRAPHY

1. Antonio de Arredondo, "Plan de la Ciudad de San Agustin de la Florida," May 15, 1737; Pablo Castello, "Plano del Presidio de San Agustin de la Florida," July 21, 1763; Charles Vignoles, "Plan of the Harbour, Town, and Fortifications of Saint Augustine, East Florida," ca. 1821-1822; Benjamin Clements, "Plan of the City of St. Augustine," 1834-1835; St. Johns County Courthouse, Deed Records, Book G, p. 108.
2. Deed Records, Book VV, p. 74; Book 8, pp. 368 and 423; Book 10, p. 51; Tatler, January 27, 1894, p. 2; February 13, 1897, p. 16; Sanborn Fire Insur-

Marine Street. This thoroughfare was cut through by the 1780's and led directly to the British-built stone redoubt and hospital and the late 18th century Powder House at the southern end of the peninsula. The tract was divided into eight small land grants in the late 18th century. By 1821 Charlotte Street was cut through the grants west of Marine Street so a "direct line" could be established between the Castillo and the powder magazine.(1) Residential development generally took place between 1890 and 1910 and in the boom era of the 1920's. Two of St. Augustine's most prominent residents promoted development here. Henry Flagler converted a large structure into Alicia (later Flagler) Hospital in the late 1880's, and in the following decade, William Warden's St. Augustine Improvement Company converted Maria Sanchez Creek into a slender lake and used the dredge to build-up its property along both sides of the water. The real estate firm began selling lots in 1905. The federally-owned Powder House lot, south of the hospital, was developed into a baseball park around World War I.(2)

In 1905 the property at 329 St. George Street (formerly 332 Charlotte Street) was owned by Wallace W. Snow, clerk of the Circuit Court, St. Johns County, although he did not reside there.(3) In the 1920's it was the residence of Charles E. Harris, secretary of the Board of Trade, commander of American Legion St. Johns Post No. 37, and secretary of the Chamber of Commerce.(4)

In the late 1940's this was the residence of George W. Connelly, real estate broker, and his family. Mrs. Connelly was a sister of Ambassador Joseph P. Kennedy, and an aunt of President John F. Kennedy.

ance Maps, 1893-1930.

3. C. D. Manucy, R. Ranson, Supplement to Official City Map (St. Augustine, 1905), p. 32.

4. St. Augustine City Directory, 1924-25, 1927-28, 1947, 1949.

Sanchez River

55

ST.

GEORGE

1910

54

CHARLOTTE

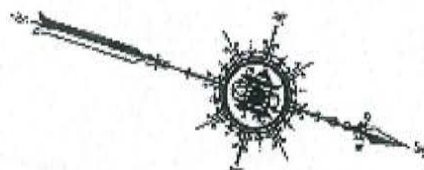
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17

MARINE

HERNANDEZ

52



Maria Sanchez Creek

CREEK BEYON

6" W. PIPE

1917

NOT NAMED

CHARLOTTE

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MARINE

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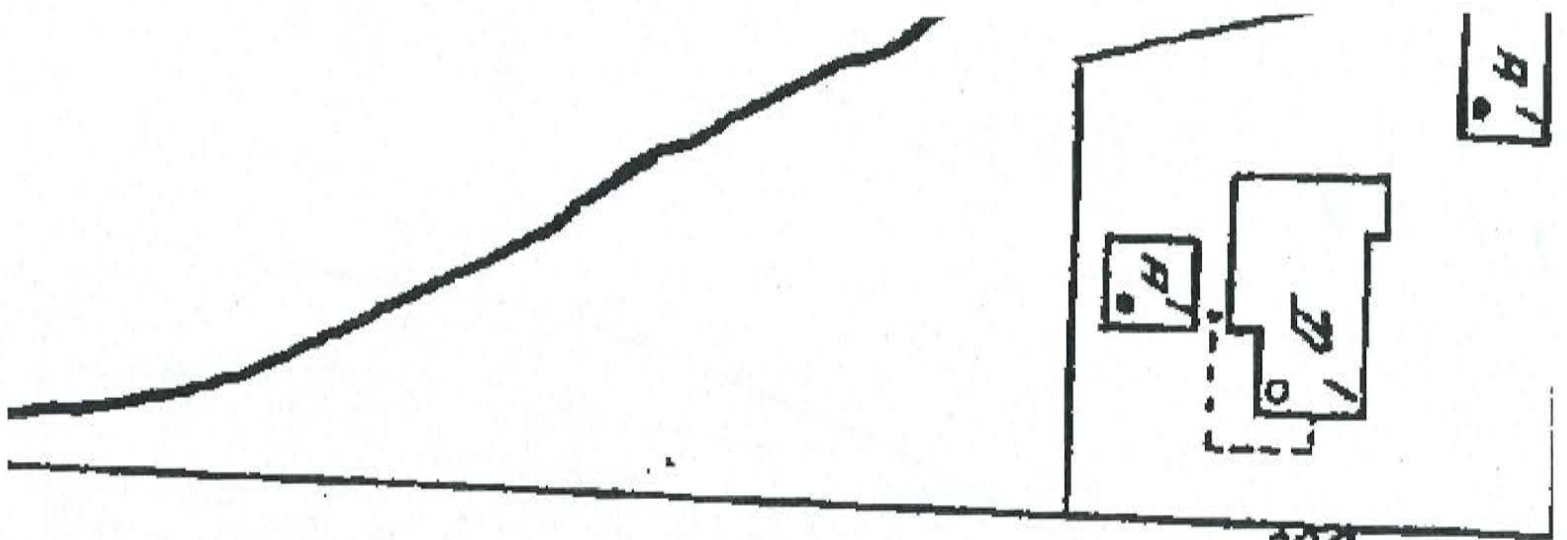
DONNA HO.
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CEMETERY



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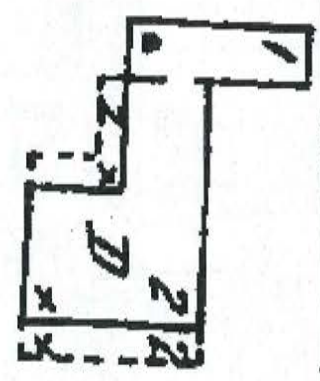
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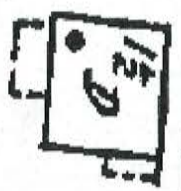
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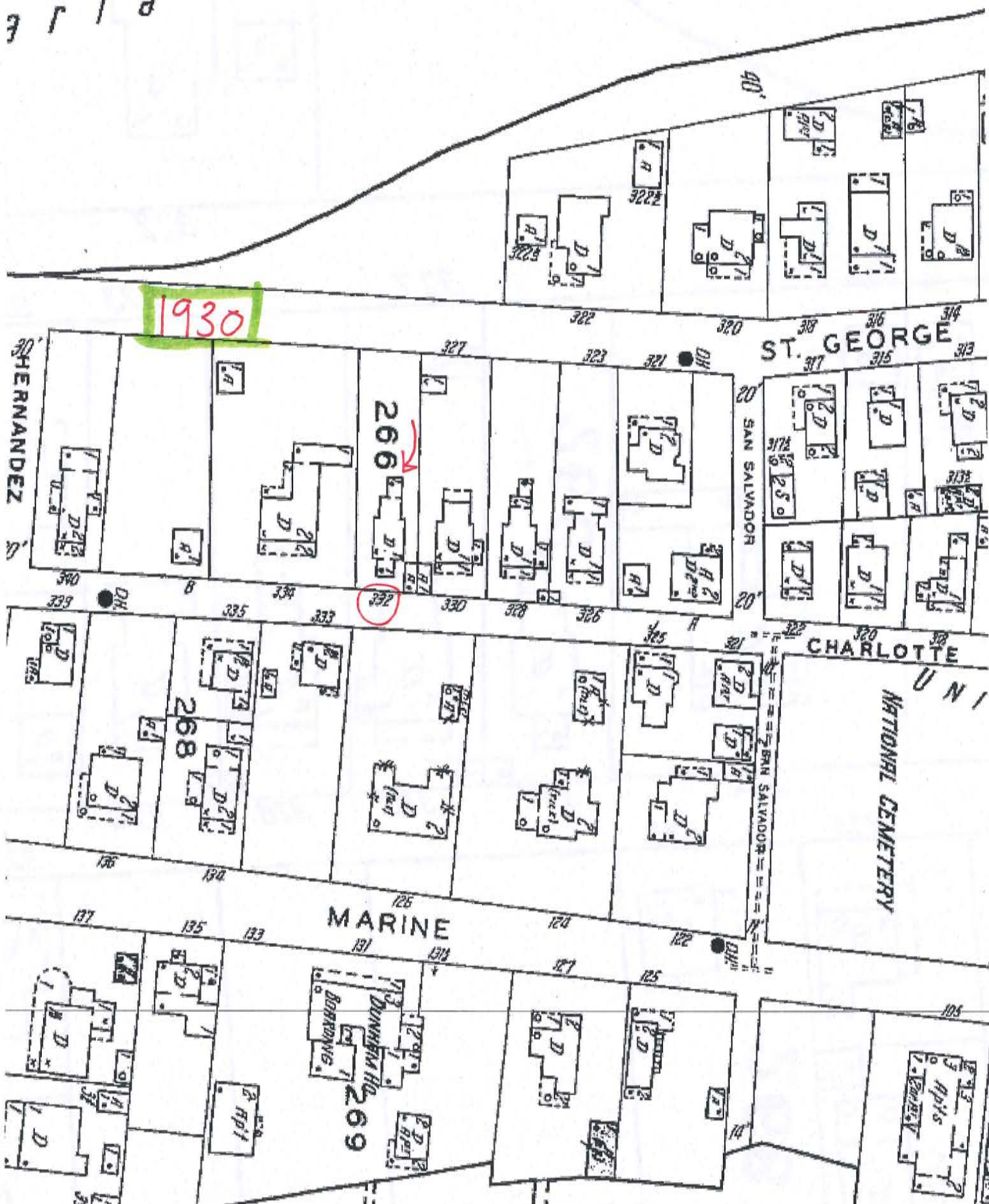


aria

Sanchez

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1930



S a n t o

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ST. GEORGE

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CHARLOTTE

UNITED STATES
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MARINE

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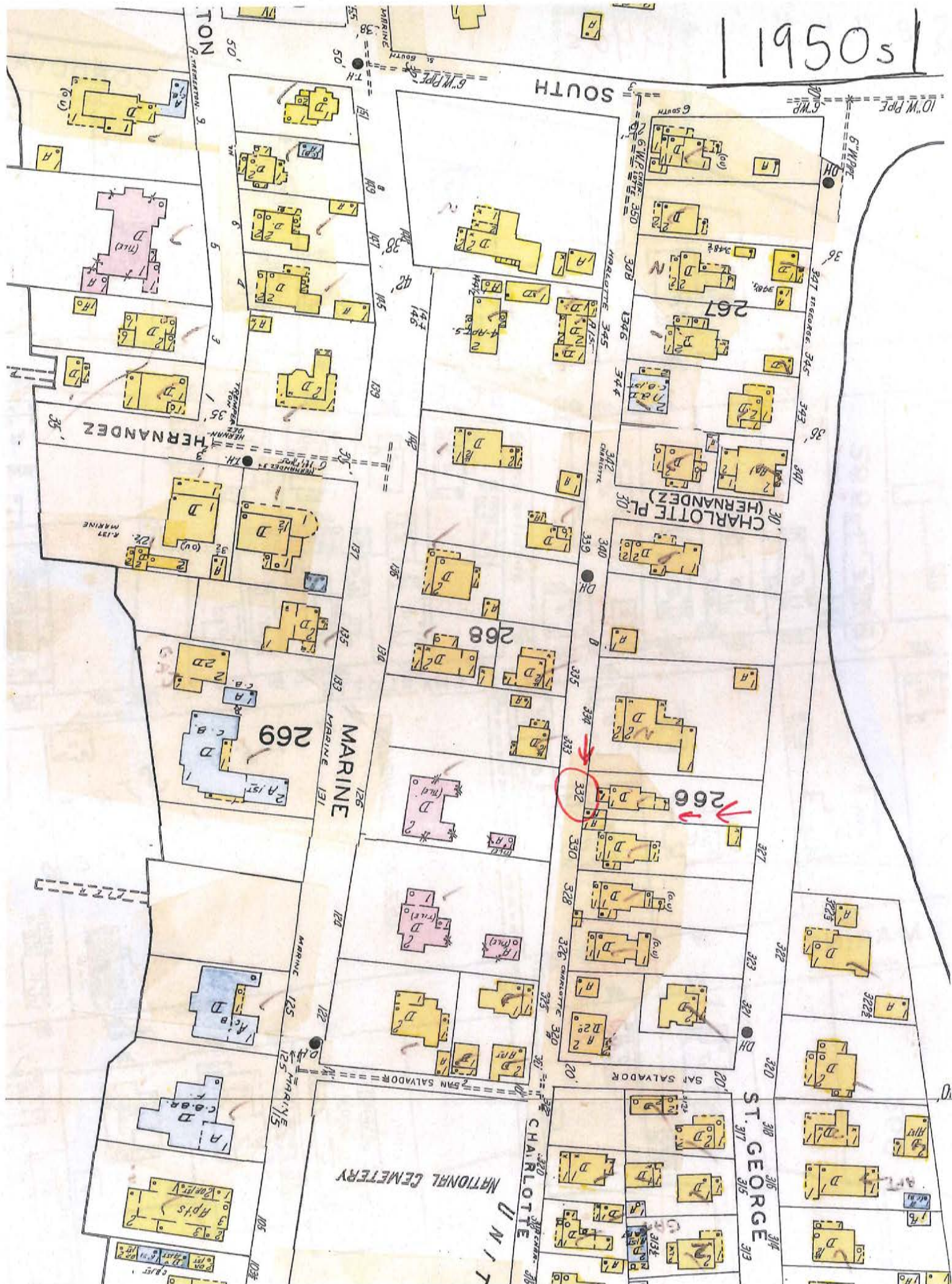
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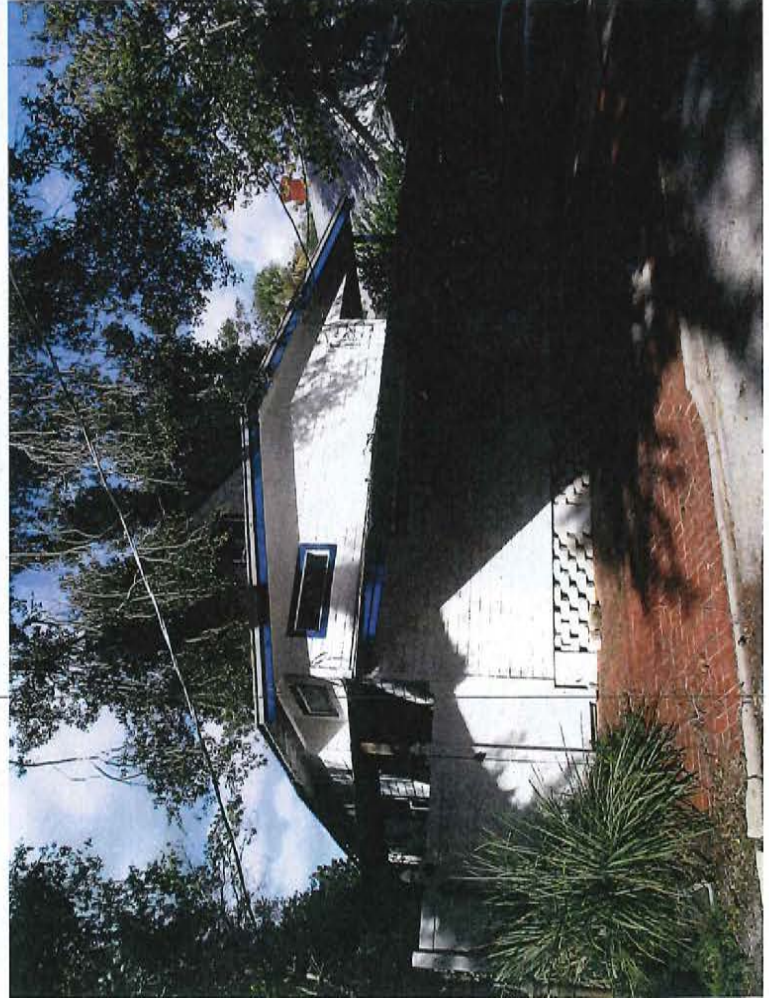
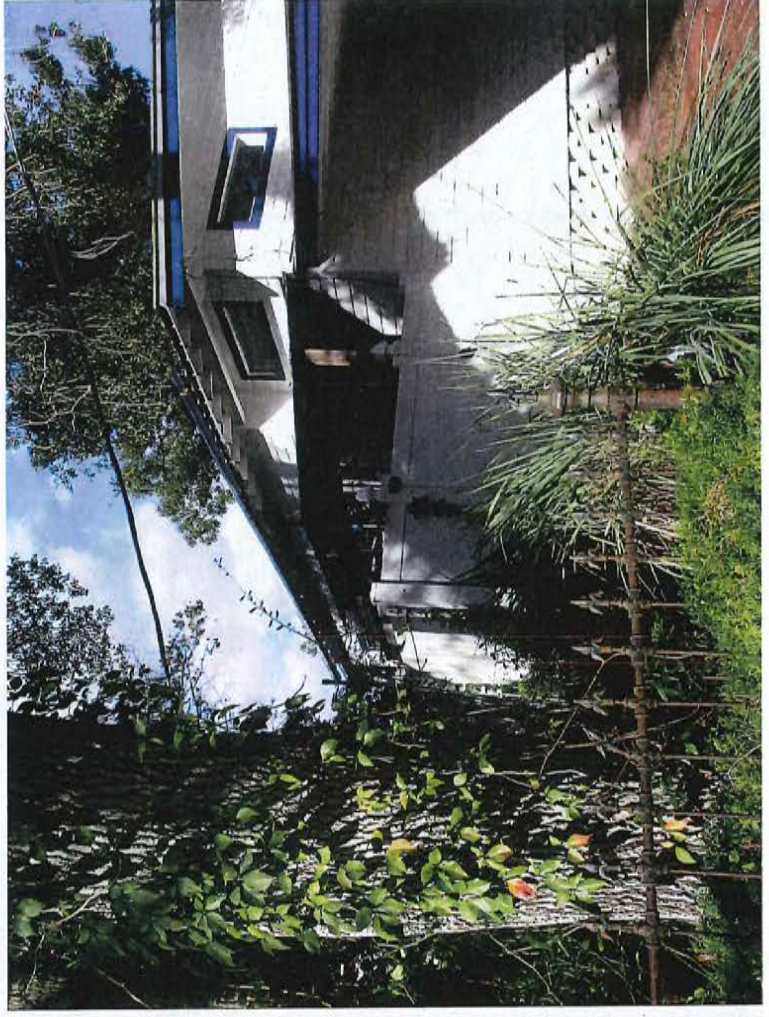
1950s

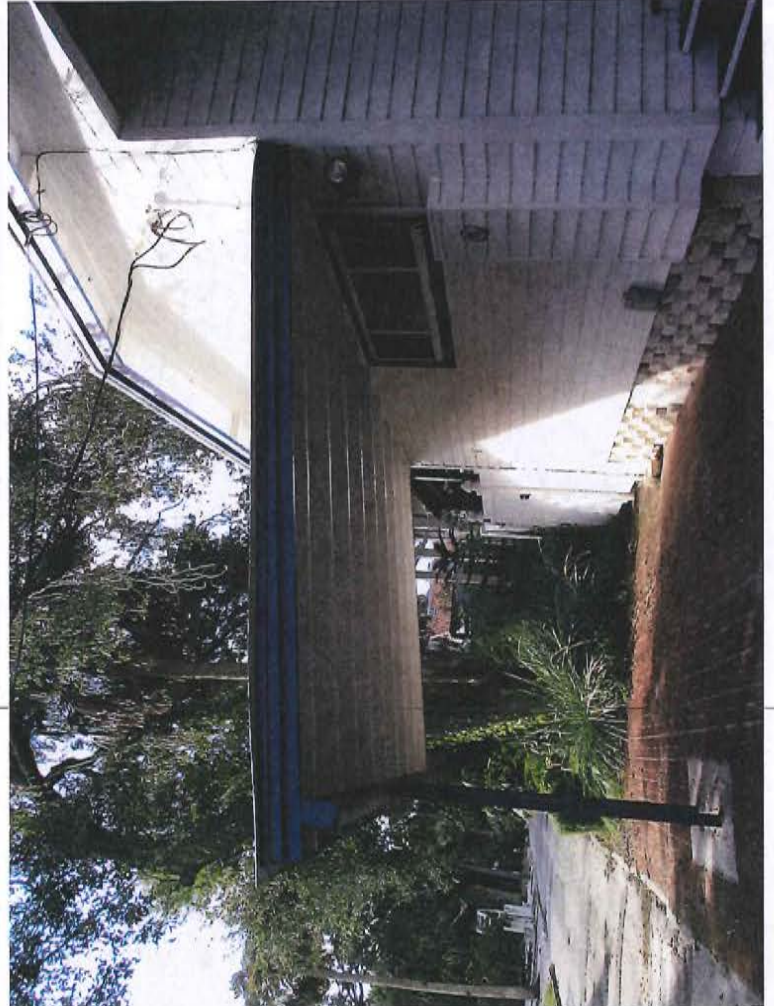
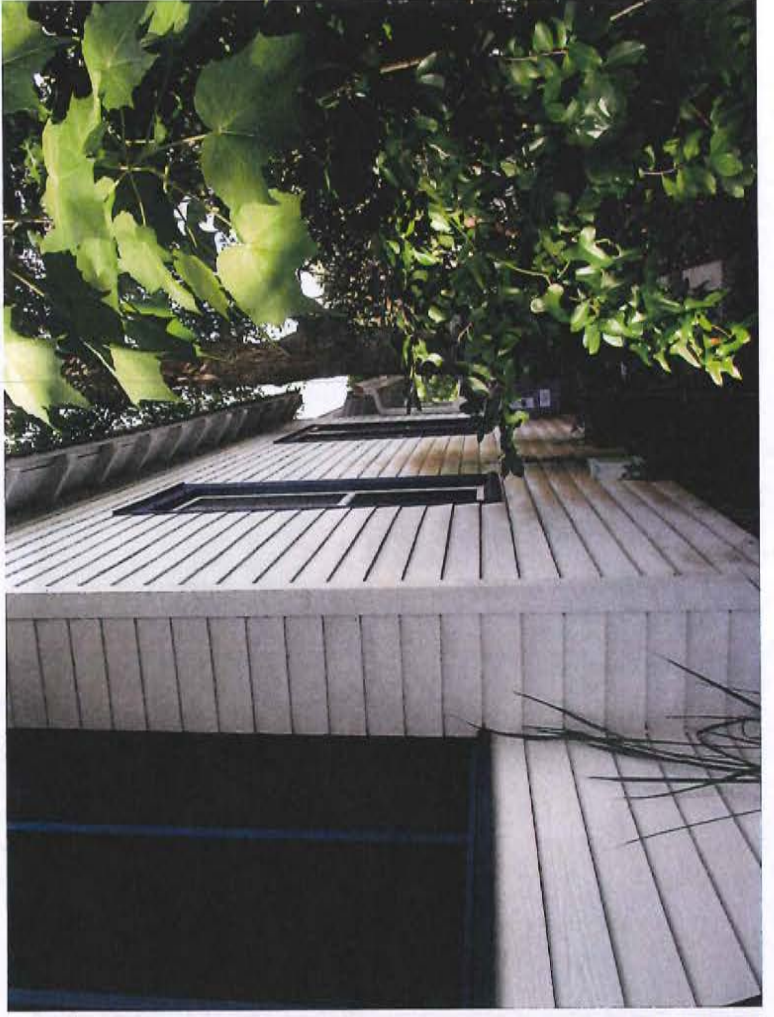


SAHS POLK CITY DIRECTORY RESEARCH

329 St. George

DATE(S)	NAME	PROFESSION
1911 (332 Charlotte)	Millie Murray	Cook, Spear Mansion
1920/21 (332 Charlotte)	Millie Murray	
1924/25 (332 Charlotte)	Millie Murray	
1930 (332 Charlotte)	Julie Murray	Domestic
1937 (329 St. George)	Geo. W. Meyer	
1940	Herbert Stackhouse	Clerk
1945	Hurbert Bolton	USCG
1951	Vacant	
1955	Vacant	
1959	Chas. D. Olson	Photographer, St. Augustine Record
1960	Chas. D. Olson	
1965	Chas. D. Olson	
1970	Vacant	
1975	Lililan Lally	Retired
1980	Edwin V. Martin Jr.	Manager Texgas Corp.
1984-1985	Jos. Pieso	
1990	Mrs. Beryl Woodman	Retired
1995	Brent and Cynthia Woolbright	County Public Defender
2000	Isabell and Maria Heimann	
Dec. 2006	Isabell and Maria Heimann	









CITY OF ST AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD
APPLICATION



- ☒ CERTIFICATE OF DEMOLITION **PARTIAL**
☐ CERTIFICATE OF RELOCATION

Application Fee: \$300.00 full/\$150.00 partial (plus advertising costs) BDAC Project No. **2018-0144**

Receipt No. **1470639**

Meeting Date **Nov 15, 2018**

Advertising Costs \$

Paid on

Receipt No.

1. NAME OF APPLICANT **SARAH RYAN, ARCHITECT**
Business (if applicable) **SARAH RYAN, ARCHITECT**
Address **252 S. Matanzas Blvd.**
City **St. Augustine** State **FL** Zip **32080**
Daytime telephone Other phone/email **904 547 9430**

***Correspondence related to this application will be based on the above information

2. NAME OF PROPERTY OWNER **DAVE + LYNN MCKEE**
Business (if applicable)
Address **329 St. George St.**
City **St Augustine** State **FL** Zip **32084**
Daytime telephone (required) Other phone

3. PROJECT STREET ADDRESS **329 St. George St.**

4. LEGAL DESCRIPTION OF PROPERTY
Lot **19** Block **39** Subdivision Parcel Number **2005500000**

5. DATE OF CONSTRUCTION **1920** Source: **SJC prop. appraiser**

6. HISTORIC STATUS (check all that apply)

- ☐ Designated Local Landmark
☐ Property individually listed on the National Register of Historic Places
☐ Contributing building in National Register Historic District
☐ Listed on Florida Master Site File
☒ 50 years of age or older

7. PROPOSED PROJECT WORK (check one)

- ☒ PARTIAL DEMOLITION - Permanent removal of any significant architectural features including porches, dormers, chimneys, walls, additions, etc.
☐ FULL DEMOLITION - The complete razing of a building resulting in its permanent removal.
☐ RELOCATION - The moving of all or part of a building from one property and placing it on a different property. Also the shifting or reorientation of all or part of a building on the same property.

8. PROPOSED REPLACEMENT BUILDING/FEATURE: **see attached memo**
drawings + photos

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OCT 19 2018

Planning/Building Dept

9. FOR PARTIAL DEMOLITION PROJECTS ONLY

A. Indicate architectural features to be permanently removed (check all that apply):

HISTORIC	NOT HISTORIC	NOT SURE	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building addition
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Outbuilding/Accessory building
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) Specify: _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony Specify: _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding) Specify: _____
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fenestration (arrangement of windows and doors)

B. Required submittals:

- ☒ Photographs and/or drawings of elevations and architectural features to be removed.
- ☒ Drawings of proposed improvements and replacement features as applicable.

2 windows are vinyl replacements

10. FOR FULL DEMOLITION PROJECTS ONLY

A. Required submittals for all full demolition projects:

- ☐ Photographs of existing conditions including façades of the building and interior features if applicable.
- ☐ Drawings of proposed replacement buildings and or features if applicable.

B. Required submittals for buildings designated as Local Landmarks, individually listed on the National Register of Historic Places, or a contributing building in a National Register Historic District:

- ☐ *Condition assessment report* - A report from an architect or structural engineer licensed in the State of Florida with demonstrated experience in historic restoration/rehabilitation as to the structural soundness of the building and its adaptability for continued use.
- ☐ *Proof of unreasonable or undue economic hardship* - the property owner may submit to the board any or all of the following information:
 - o An estimate of the cost of the proposed construction, alteration, demolition, or removal.
 - o The estimated market value of the property in its current condition and after completion of the proposed construction, alteration, demolition, or removal.
 - o An estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
 - o The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any.
 - o The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years.
 - o All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property.
 - o Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years.
 - o The assessed value of the property according to the two (2) most recent assessments;
 - o The real estate taxes for the previous two (2) years.
 - o The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, or joint venture.
 - o Any other information deemed appropriate by the applicant as to how the property does not yield or may not yield a reasonable return to the property owner.

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11. FOR RELOCATION PROJECTS ONLY

A. Address or location where building is to be moved: _____

B. Estimated costs:

- o Purchase price _____
- o Moving fee (prepared by a licensed and insured building mover) _____
- o Building rehabilitation _____

C. Required submittals:

- ☐ Photographs of existing conditions including façade of the building.
- ☐ If the new location is within the city limits, provide a site plan and drawings of any new improvements. (If the building is to be located in a Historic Preservation zoning district, a Certificate of Appropriateness will also be required.)

12. AGREEMENT – Unless the property owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, all owners of record must sign the application. If the applicant is different than the property owner, the application must be signed by both parties.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if the Certificate of Demolition or Certificate of Relocation is approved that a demolition inspection, archeological review, and building permit from the city are required prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME SARAH RYAN DATE 10.18.18SIGNATURE OF APPLICANT S RyanPRINT 1st OWNER'S NAME David J McKee DATE 10/18/2018SIGNATURE OF 1st PROPERTY OWNER David J. McKeePRINT 2nd OWNER'S NAME Lynn W McKee DATE 10/18/2018SIGNATURE OF 2nd PROPERTY OWNER Lynn W. McKeePRINT 3rd OWNER'S NAME _____ DATE _____SIGNATURE OF 3rd PROPERTY OWNER _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.



RECEIVED

NOV 06 2018

Planning/Building Dept.

Owner's Authorization For Agent

Sarah Ryan is/are hereby authorized TO ACT ON BEHALF
OF David & Lynn McKee, the owner(s) of those lands described within ☐

the attached application, or ☐ described within the previously filed
Application number: 2018-0144, and as described in the attached deed or
other such proof of ownership as may be required, in applying to the City
of St. Augustine's Historic Architectural Review Board, for an application
related to a Certificate of Demolition for the structure located at:

329 ST. GEORGE STREET

BY: David J. McKee, Lynn W. McKee
Signature of Owner

David J McKee, Lynn W McKee

Print Name of Owner

540-621-1727

Telephone Number

State of Florida

County of St Johns

Signed and sworn before me on this 5 day of Nov., 2018

By DAVID J McKee and Lynn W McKee

Identification verified: Vir. Driver's License

Oath sworn: Yes ☒ No ☐

Notary Signature: [Signature]

My Commission expires: 4-2-2019



Mark Albert

COMMISSION # FF216521
EXPIRES: April 2, 2019
WWW.AARONNOTARY.COM

329 St George Street memo 10/18/18

01 : 9 2018

Planning/Building De...

Scope of Work: The existing 2-story 1920s home is in the RS - 1 zoning district. This is an application for partial demolition for a structure over 50 years old. Please refer to the provided plans for the extent of removals. The proposed plans are also provided.

A summary of the removals is below:

- **Roof:** We are proposing to remove the existing roof and replace it with a new roof (same shape roof) approx. 3'-0" above the existing roof. The second floor ceiling height is very low with only 7'-9" at the peak of the ceiling. This would not meet current codes. The massing and gable roof form will stay the same for the new roof. The roof over the new laundry room / bathroom will remain.
- **Windows:** In the existing home several window / fenestration locations remain the same while some shift to accommodate the updated floor plan. The scale and size of the new windows matches the existing windows. We are replacing the vinyl windows with all new aluminum clad-wood windows.

Additional Notes:

- The proposed scope also lifts the existing home 24" from it's current flood elevation to prevent future flooding.
- The renovation maintains the character and massing of the existing structure while updating and renovating the plan for the homeowners needs. The updated home will contribute to the streetscape on both St George and Charlotte Street.

HARB criteria per AGHP:

- 1. Whether or not the structure is a designated landmark or is eligible for designation.** n/a
- 2. Whether or not the structure is individually listed on the National Register of Historic Places.** n/a
- 3. Whether or not the structure is a contributing property to a National Register District.** n/a
- 4. Whether or not the structure is within or is immediately facing a locally designated historic preservation-zoning district.** n/a
- 5. The contribution of the structure to the mass and scale of the streetscape.**

The mass and scale of the structure will remain consistent to its existing mass and scale. The existing home is 22'-0" tall and the proposed home is 27'-10" tall (this includes lifting the home 2'-0" above it's current finished floor). The 8'-0" tall white

vinyl fence that currently faces St George Street and surrounds the property will be removed.

6. The impact of the loss of the structure on the streetscape. Removing the white vinyl fence along St George will dramatically improve the streetscape. The new home will keep the mass and scale of the current residence and will be in harmony with St George Street neighbors. The new entry along St George and improved landscape will contribute to the streetscape. Along Charlotte Street we are proposing to remove the carport that abuts the street.

7. Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape. n/a

8. The historical or cultural merit of the structure. Over 50 years old.

9. The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood. n/a

10. Whether or not the structure is representative of a style or type of architecture or a method of construction. The renovated home will retain the style / typology of the existing home.

11. Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction. n/a

12. Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The home has had many alterations / additions and replacements over time. For example the home has replacement vinyl windows we will upgrade to a clad wood window. The existing siding is also a faux grain hardie siding that will be replaced with a smooth texture hardie siding.

13. The condition of the structure, and the possibility of rehabilitating or relocating the structure. The existing structure will remain on the property and be lifted 24".

14. The justification for the proposed demolition. Portions of the existing home will be removed as noted above. We are maintaining many of the existing spaces in the home and the overall character and massing will remain the same. The renovated home will be in harmony with the neighborhood.

End of Memo

remove roof

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remove
roof



ST. GEORGE street side
(behind fence)



WHITE
FENCE
TO BE
REMOVED

View from St. George St.

329 St. George St.
EXISTING

± 1/2

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OCT 10 2013
Planning/Building De

remove
carport



view from Charlotte St.

remove +
raise
roof



view from Charlotte St.

329 St. George St.
EXISTING

DEL.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Limited Liability Company
SARAH RYAN, ARCHITECT LLC

Filing Information

Document Number	L15000172701
FEI/EIN Number	47-1670920
Date Filed	10/09/2015
Effective Date	10/09/2015
State	FL
Status	ACTIVE
Last Event	LC STMT OF RA/RO CHG
Event Date Filed	09/13/2016
Event Effective Date	NONE

Principal Address

252 S MATANZAS BLVD
ST AUGUSTINE, FL 32080

Mailing Address

252 S MATANZAS BLVD
ST AUGUSTINE, FL 32080

Registered Agent Name & Address

RYAN, SARAH
252 S MATANZAS BLVD.
ST AUGUSTINE, FL 32080

Name Changed: 09/13/2016

Address Changed: 09/13/2016

Authorized Person(s) Detail

Name & Address

Title AP

RYAN, SARAH S
252 S MATANZAS BLVD
ST AUGUSTINE, FL 32080

Annual Reports

Report Year	Filed Date
-------------	------------

10/22/2018

Detail by Entity Name

Report Year	Filed Date
2016	01/12/2016
2017	01/09/2017
2018	01/08/2018

Document Images

<u>01/08/2018 -- ANNUAL REPORT</u>	View image in PDF format
<u>01/09/2017 -- ANNUAL REPORT</u>	View image in PDF format
<u>09/13/2016 -- CORLCRACHG</u>	View image in PDF format
<u>01/12/2016 -- ANNUAL REPORT</u>	View image in PDF format
<u>10/09/2015 -- Florida Limited Liability</u>	View image in PDF format

Florida Department of State, Division of Corporations

Instr #2017040500 BK: 4387 PG: 1797, Filed & Recorded: 6/13/2017 8:36 AM #Pgs:2
Hunter S. Conrad, Clerk of the Circuit Court St. Johns County FL Recording \$18.50 Doc. D \$4,235.00

IN & RET REC; \$18.50 DOC: \$4235.00
This Instrument Prepared by:
MARLENE LAGASSE (\$605,000.00)
ESTATE TITLE OF ST. AUGUSTINE, INC.
71 CARRERA STREET
ST AUGUSTINE, FL 32084
as a necessary incident to the fulfillment of conditions
contained in a title insurance commitment issued by it.

Property Appraisers Parcel I.D. (Folio) Number(s):
200550-0000
File No.: 61412

WARRANTY DEED

This Warranty Deed, Made the 12th day of June, 2017, by MARIE-ISABEL HEIMANN, single, whose
post office address is:

329 ST George ST ST AUGUSTINE FL 32084

hereinafter called the "Grantor", to DAVID J. MCKEE and LYNN W. MCKEE, husband and wife, whose
post office address is:

11 Boxwood Trail Locust Grove VA 22508
hereinafter called the "Grantee".

WITNESSETH: That said Grantor, for and in consideration of the sum of **Ten Dollars and No Cents (\$10.00)** and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in St Johns County, Florida, to wit:

THE SOUTH 44.89 FEET OF LOT 19, BLOCK 39-A, ACCORDING TO OFFICIAL MAP OF THE CITY OF ST. AUGUSTINE, DATED JUNE 12, 1923, ON FILE WITH CLERK OF THE CIRCUIT COURT, ST. JOHNS COUNTY, FLORIDA.

The property is the homestead of the Grantor(s).

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to , reservations, restrictions and easements of record, if any.

BK: 4387 PG: 1798

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES

TWO SEPARATE DISINTERESTED WITNESSES REQUIRED

Witness Signature: Carol A Lagasse Marie-Isabel Heimann by Irene Arriola
Printed Name: Carol A Lagasse MARIE-ISABEL HEIMANN BY IRENE ARRIOLA,
HER ATTORNEY IN FACT

Witness Signature: Jennifer L Taylor
Printed Name: Jennifer L Taylor

State of Florida

County of St Johns

The foregoing instrument was acknowledged before me this 12th day of June, 2017 by IRENE

ARRIOLA ATTORNEY IN FACT FOR MARIE-ISABEL HEIMANN, single, who is/are personally known

to me or has/have produced driver license(s) as identification.

Carol A Lagasse My Commission Expires: _____
Notary Public Signature (SEAL)
Printed Name:





St. Johns County, FL

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2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 2005500000
Location Address 329 ST GEORGE ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CTY ST AUG (610)
Tax Description* CITY OF ST AUGUSTINE S44.89FT OF LOT 19 BLK 39-A OR4387/1797
 *The Description above is not to be used on legal documents.
Property Use Code Single Family (0100)
Subdivision City of St Augustine
Sec/Twp/Rng 20-7-30
District City of St Augustine (District 452)
Millage Rate 20.2171
Acreage 0.160
Homestead N

View Map

Owner

Owner Name Mckee David J,Lynn W 100%
 Mckee Lynn W 100%
Mailing Address 111 BOXWOOD TRL
 LOCUST GROVE, VA 22508-0000

Valuation

	2018
Building Value	\$231,883
Extra Features Value	\$7,695
Total Land Value	\$181,258
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$420,836
Total Deferred	\$0
Assessed Value	\$420,836
Total Exemptions	\$0
Taxable Value	\$420,836

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$122,539	\$7,317	\$181,258	\$0	\$0	\$311,114	\$122,342	\$238,772	\$72,342
2016	\$124,615	\$7,280	\$164,780	\$0	\$0	\$296,675	\$119,826	\$226,849	\$69,826
2015	\$115,895	\$7,280	\$127,116	\$0	\$0	\$250,291	\$118,993	\$181,298	\$68,993
2014	\$88,253	\$7,280	\$114,404	\$0	\$0	\$209,937	\$118,049	\$141,888	\$68,049
2013	\$91,054	\$7,280	\$114,404	\$0	\$0	\$212,738	\$116,304	\$146,434	\$66,304
2012	\$92,455	\$7,280	\$114,404	\$0	\$0	\$214,139	\$114,360	\$149,779	\$64,360
2011	\$95,257	\$7,280	\$127,116	\$0	\$0	\$229,653	\$111,029	\$168,624	\$61,029
2010	\$96,658	\$7,280	\$141,240	\$0	\$0	\$245,178	\$109,388	\$185,790	\$59,388

Building Information

Building 1
 Actual Area 2411
 Conditioned Area 1545
 Actual Year Built 1920
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Concrete Siding

Roof Structure Gable Hip
 Roof Cover Metal
 Interior Flooring Hardwood
 Interior Wall Drywall
 Heating Type Air Duct
 Heating Fuel
 Air Conditioning Central
 Baths 2

Category	Type	Pct
Exterior Wall	Concrete Siding	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Metal	100%
Interior Walls	Drywall	100%
Interior Flooring	Hardwood	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	8 Fixtures	100%
Electrical	Good	100%
Foundation	Piers and Posts	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	1233	1233
F OPN PRCH	0	60
HSCRN PORC	0	55
F CARPORT	0	209
F OPN PRCH	0	48
FRAME UTIL	0	50
FINSH DECK	0	240
PATIO	0	204
POINTER	0	0
F UP STORY	312	312
Total SqFt	1545	2411

Extra Features

Code Description	BLD	Length	Width	Height	Units
Pool (Concrete)	0	0	0	0	280
Kool Deck	0	0	0	0	168
Residential Fence	0	0	0	0	74

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	44	150	44	EF	\$181,258

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
6/13/2017	6/12/2017	\$605,000.00	WD	4387	1797	Q	I	HEIMANN MARIE ISABEL	MCKEE DAVID J LYNN W
1/15/2009	3/5/2007	\$100.00	QC	3155	424	U	I	HEIMANN MARIE-ISABEL & WOOD JAMES F	HEIMANN MARIE-ISABEL
12/10/2007	3/31/2006	\$0.00	QC	3017	1741	U	I	HEIMANN MARIE ISABEL & WOOD JAMES F	HEIMANN MARIE-ISABEL
	11/20/2007	\$100.00	QC	3010	1973	U	I	HEIMANN MARIE ISABEL & WOOD JAMES F (T/C)	HEIMANN MARIE ISABEL
	3/31/2006	\$0.00	FJ	2676	260	U	I	HEIMANN MARIE ISABEL & WOOD JAMES F (HUSB)	HEIMANN MARIE ISABEL & WOOD JAMES F (T/C)
	5/5/2000	\$12,200.00	WD	1497	1162	U	I	HEIMANN MARIE ISABEL	HEIMANN MARIE ISABEL & WOOD JAMES F (HUSB)
	5/23/1995	\$92,000.00	WD	1110	1237	Q	I	WOOLBRIGHT BRENT ALAN,CYNTHIA KAY	HEIMANN MARIE ISABEL
	10/1/1989	\$67,000.00		835	1	Q	I		WOOLBRIGHT BRENT ALAN,CYNTHIA KAY
	1/1/1980	\$38,900.00		465	331	U	I		

Area Sales Report

Recent Sales in Area

Clerk of Court

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Tax Collector

[My Tax Bill](#)

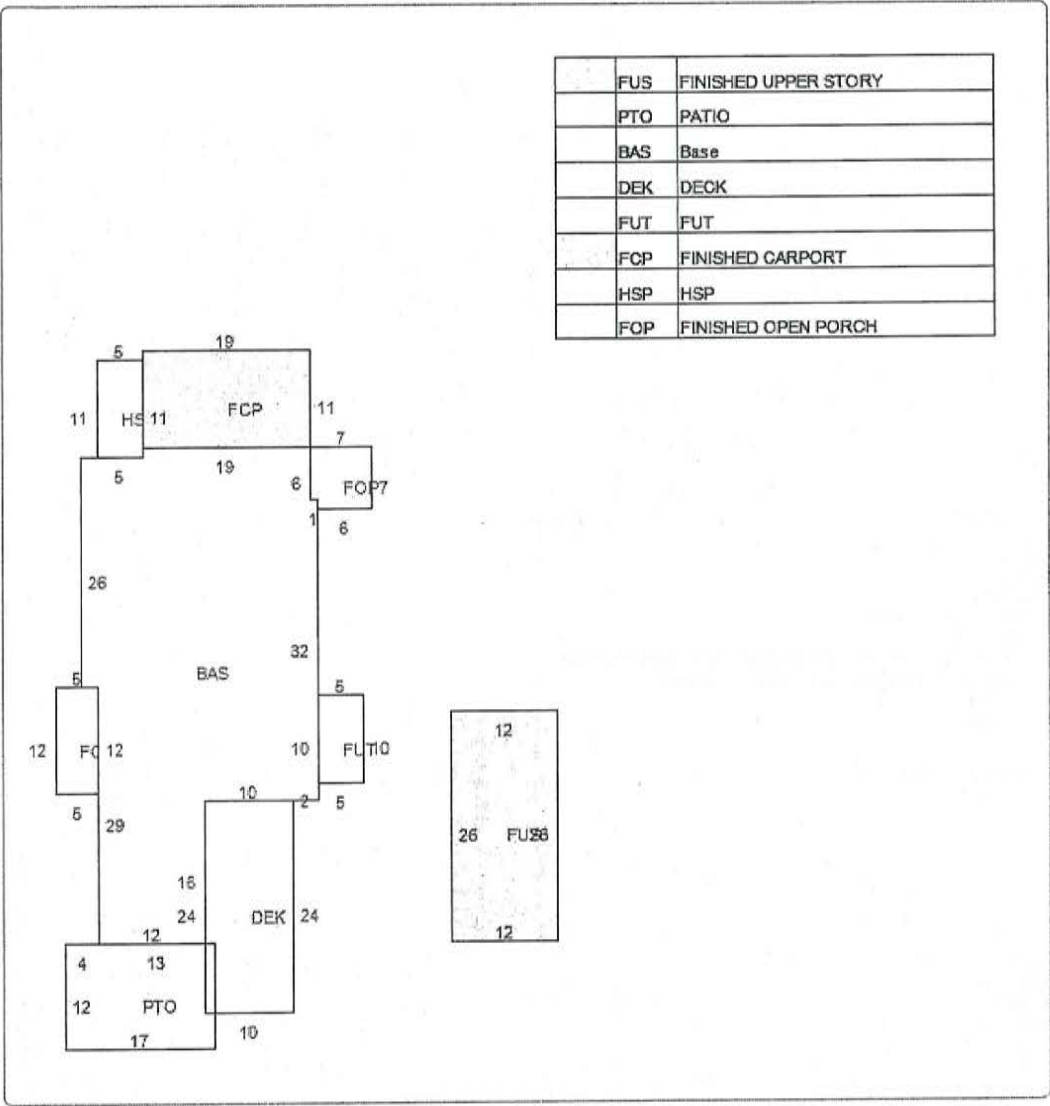
Tax Estimator

[Tax Estimator](#)

Map



Sketches



No data available for the following modules: Exemptions.

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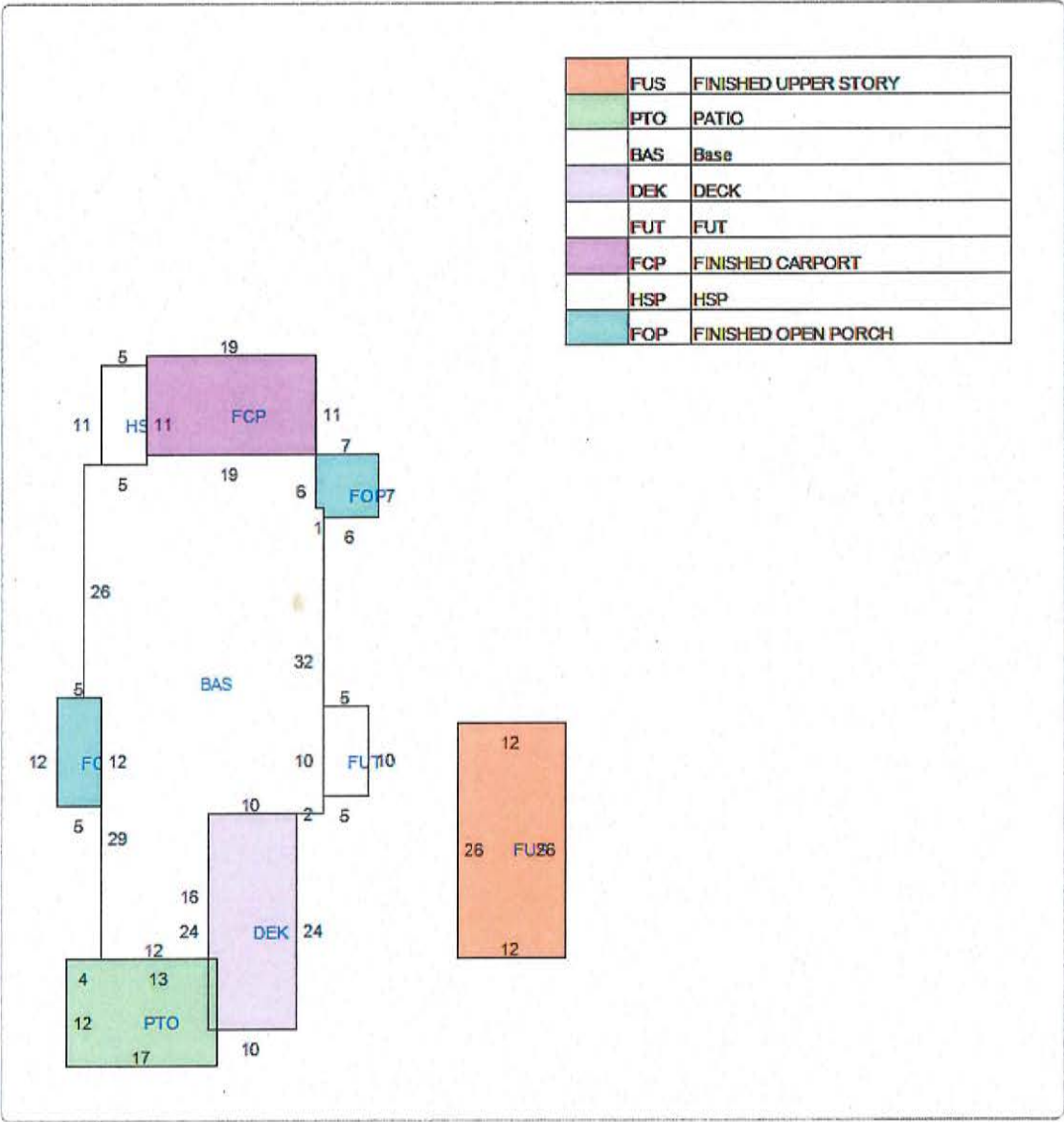
Tax Estimator

[Tax Estimator](#)

Map



Sketches



No data available for the following modules: Exemptions.

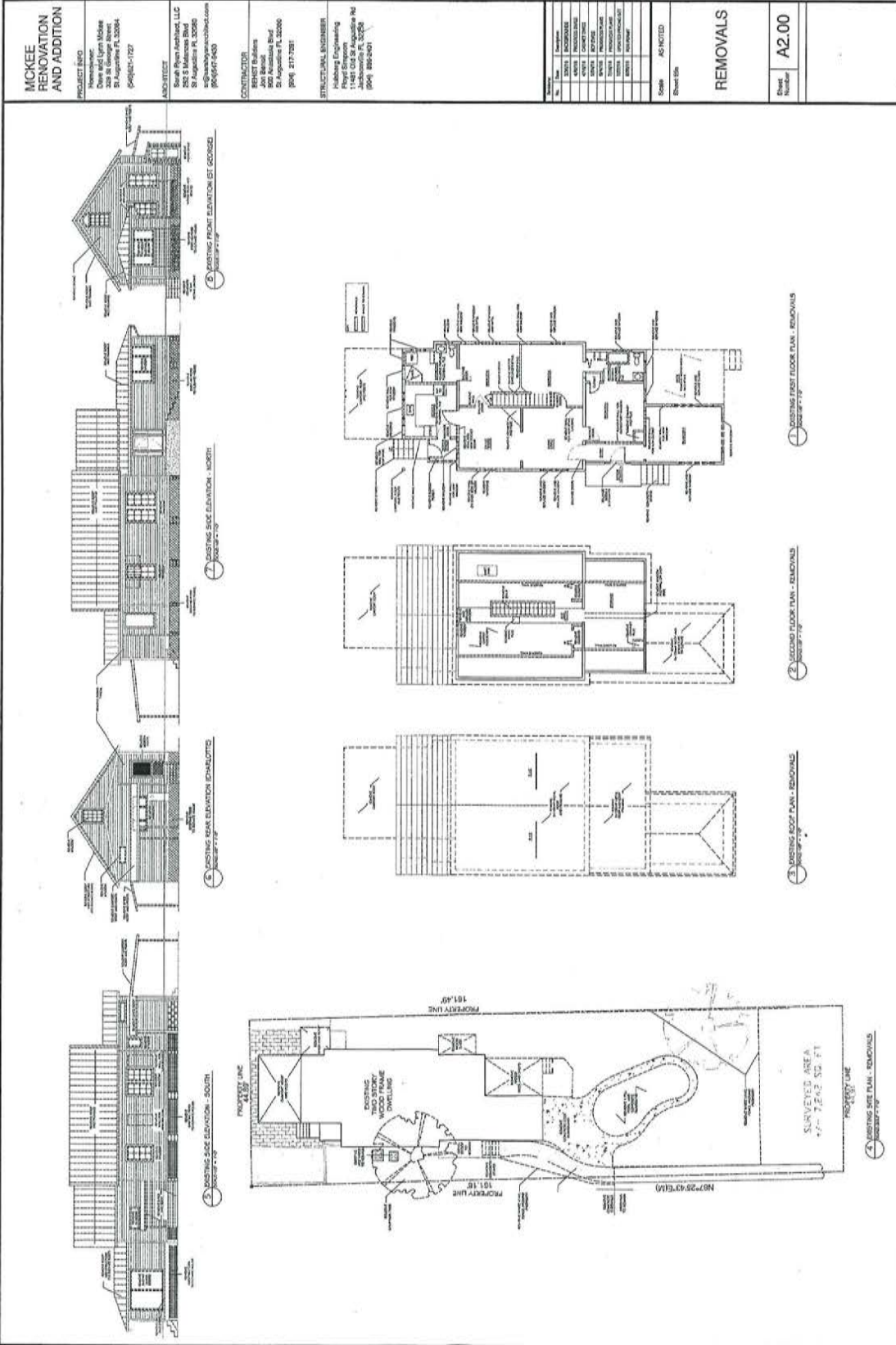
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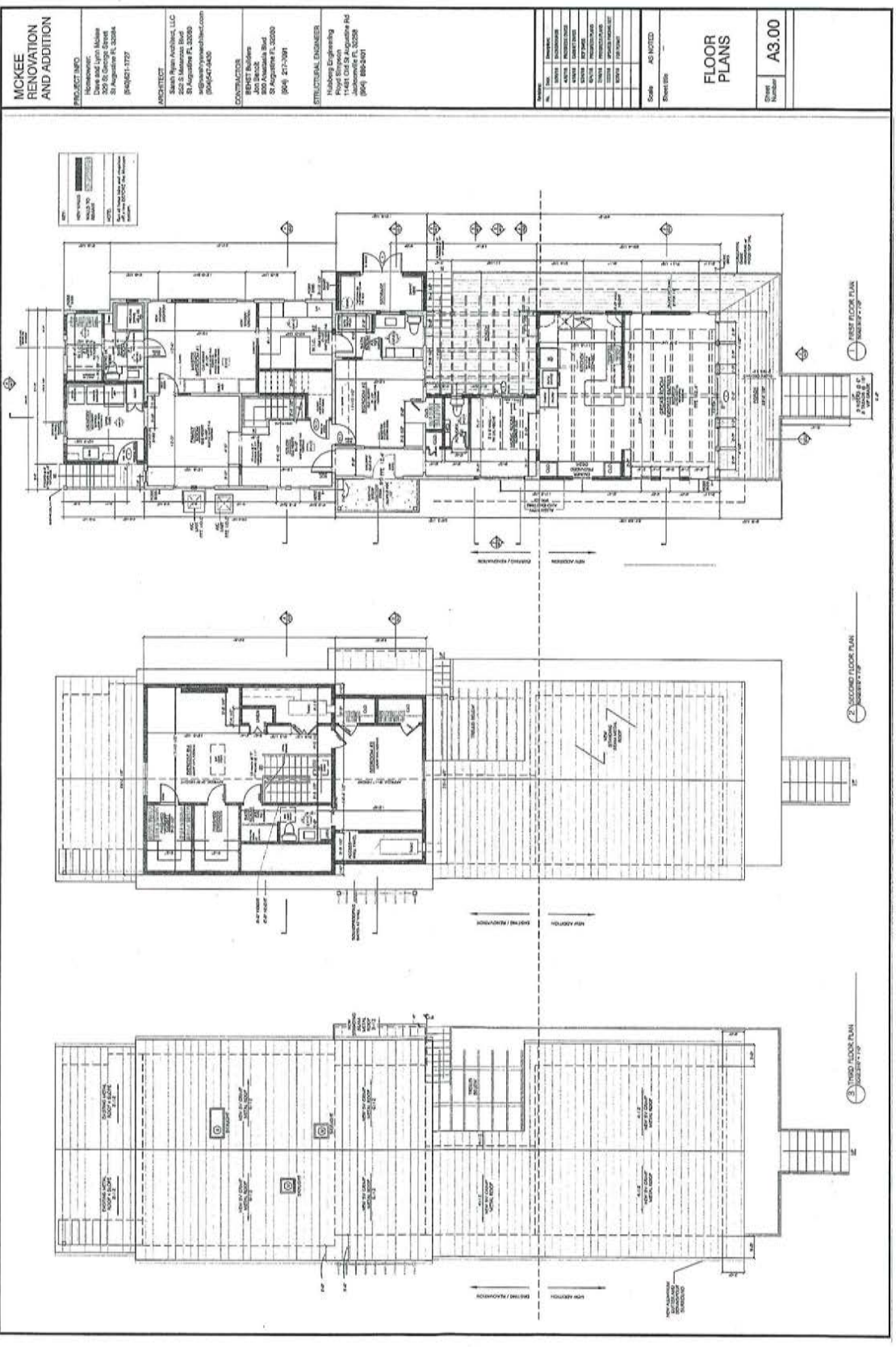
Developed by
 Schneider
GEOSPATIAL

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Planning/Budgeting Dept.



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 OCT 11 2018
 Permitting/Building Dept.



RECEIVED
 08/15/2018
 Planning/Building Dept.

MCKEE RENOVATION AND ADDITION

PROJECT INFO
 Name: Dan and Lynn McKee
 Address: 1000 S. 1st Street
 St. Augustine, FL 32084
 Phone: (904) 821-1777

ARCHITECT
 Jigar Architects, LLC
 1000 S. 1st Street
 St. Augustine, FL 32084
 Phone: (904) 821-1777

CONTRACTOR
 Jigar Architects, LLC
 1000 S. 1st Street
 St. Augustine, FL 32084
 Phone: (904) 821-1777

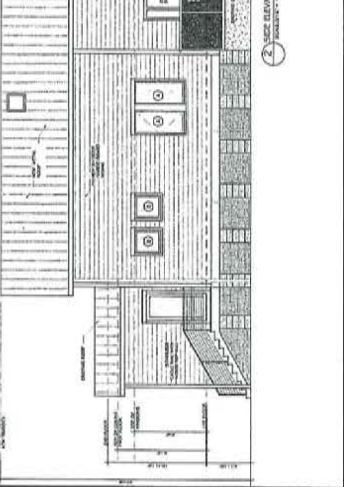
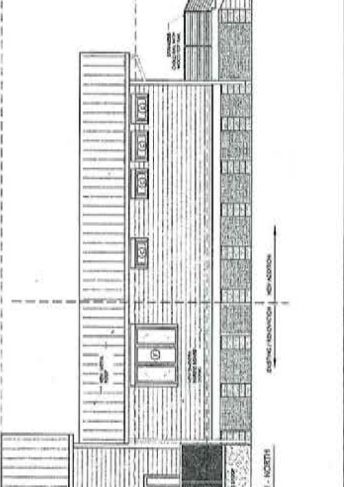
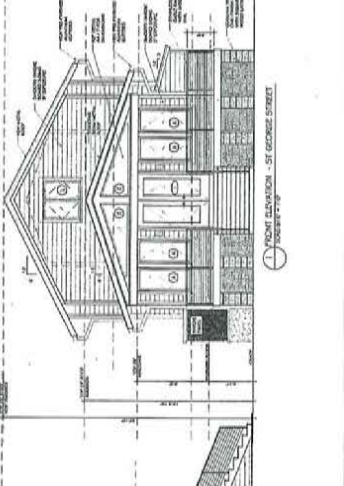
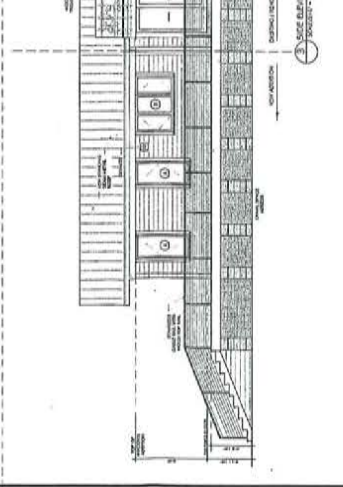
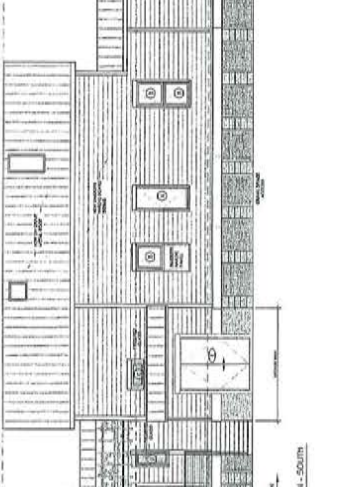
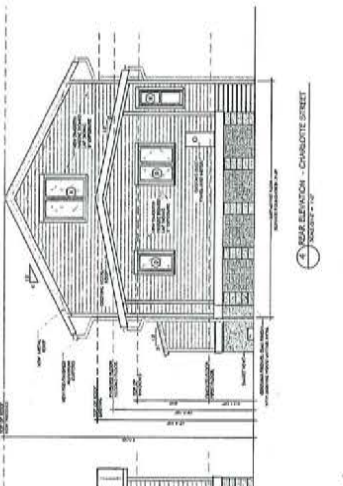
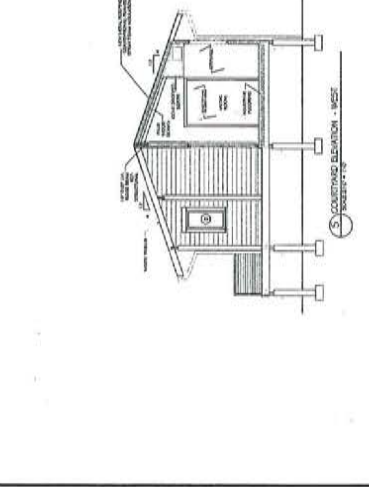
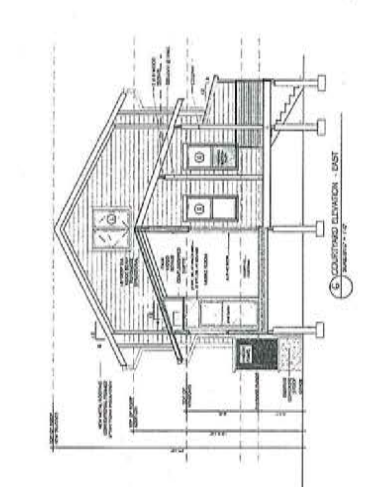
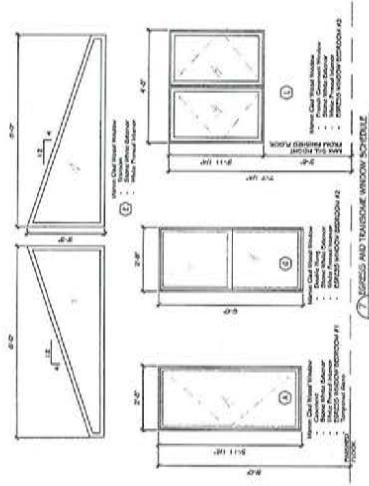
STRUCTURAL ENGINEER
 Halberg Engineering
 11401 Old St. Augustine Rd
 Jacksonville, FL 32208
 Phone: (904) 821-1777

DATE
 10/1/2016

SCALE
 AS SHOWN

ELEVATIONS

Sheet No.
 A4.00

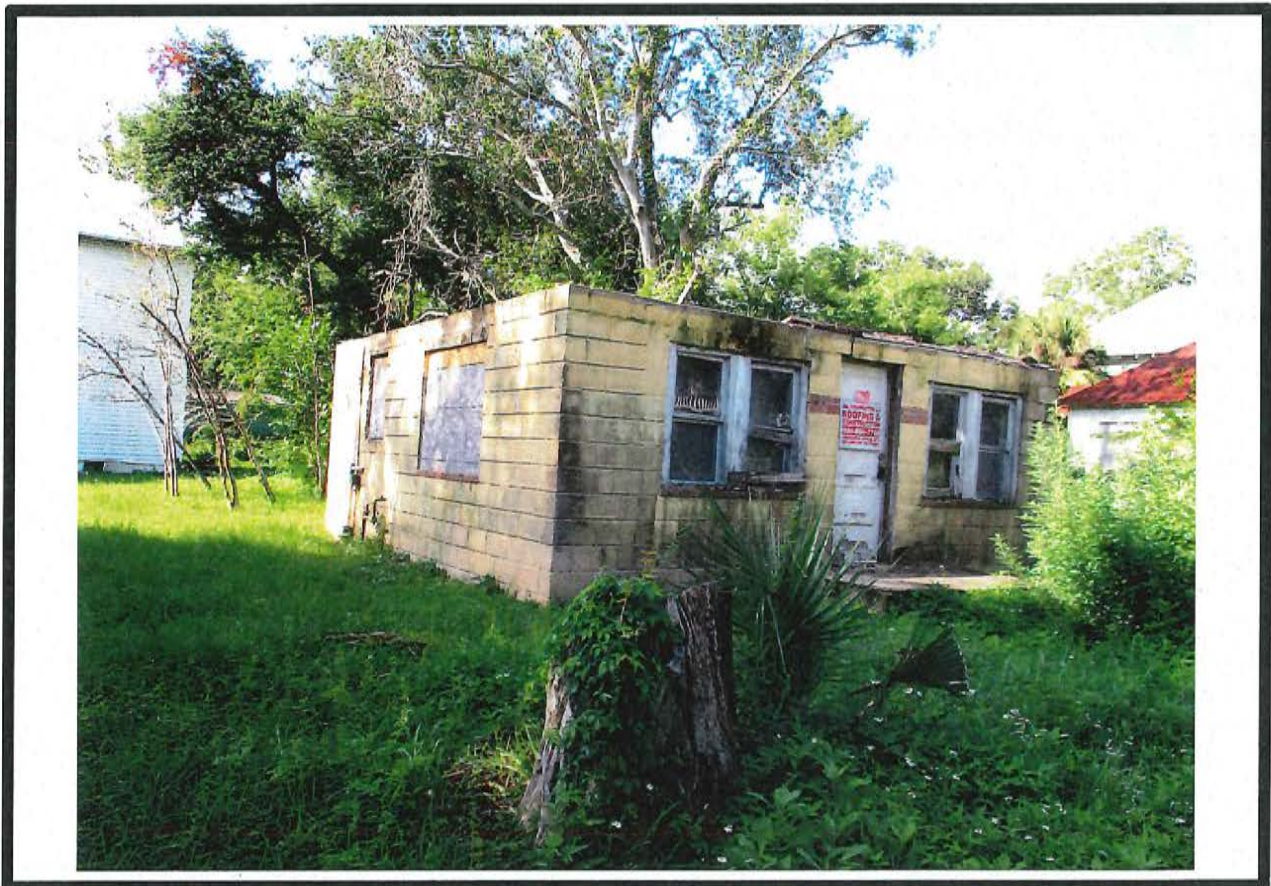


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 Planning/Building Dept.



CITY OF
ST AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0135

Address: 101 South Street

Ronald L. Bailey, Applicant and Owner

Project description: To demolish a building constructed in 1954 that does not contribute to the Lincolnville National Register Historic District and that is not listed in the Florida Master Site File.

Architectural Style:	Masonry Vernacular	Florida Master Site File:	N/A
National Register:	Noncontributing to the Lincolnvile National Register Historic District	Construction date:	1953 or 1954
Archaeology Zone:	IIIA	Zoning District:	RS-2
Parcel number:	212070 0000		
Agenda Item:	8(b)	Previous Action(s):	COD 2018

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Demolition to demolish a building constructed in 1954 that does not contribute to the Lincolnvile National Register Historic District and that is not listed in the Florida Master Site File.

- 101 South Street is on the same parcel of land as 152 Martin Luther King Street but, according to the applicant, only 101 South Street is being demolished.
- Based on Sanborn Maps, the footprint of the building has not been altered.
- No significant historical connection was found, and the building has little architectural significance.
- No condition assessment was provided and is not required since the building does not contribute to the Lincolnvile National Register District.
- No information was provided about a replacement building.
- Demolition could meet the ground disturbance criteria outlined in the APO. Archaeological monitoring of the demolition or the minimization of ground disturbance (i.e., no excavation of subsurface foundations) is recommended.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Approve a Certificate of Demolition for 101 South Street.**



Kelli Mitchell, Historic Preservation Planner

Eligibility for Demolition Review (Section 28-87(3), CoSA Code of Ordinances)

The Historic Architectural Review Board (HARB) is responsible for the review of all applications for demolition permits for structures that are fifty (50) years of age or older, listed on the Florida Master Site File, or designated as an historical landmark (as defined by Sec. 28-87.10)

National Register Status (Section 28-89, CoSA Code of Ordinances)

A property currently listed on the National Register of Historic Places individually or as a contributing structure in an historic district is afforded additional scrutiny in the demolition review process by: 1) requiring submittal of a condition assessment report performed by a qualified professional; 2) requiring the applicant to prove "undue economic hardship" to justify demolition; and 3) allowing HARB the option to deny the demolition request if an undue economic hardship is not proven and removal of the building or structure will be detrimental to the historic and architectural character of the city.

Local Landmark Designation (Section 28-87(3) & (10), CoSA Code of Ordinances)

HARB is assigned the authority of reviewing all applications for demolition permits for primary structures... for potential designation as an historical landmark. Local "historical landmarks" are defined as a building, object, site or structure of the highest historical, architectural, cultural or archaeological importance and whose demolition, removal, relocation, or alteration would constitute an irreplaceable loss to the character and quality of the city.

Conditions for Demolition Approval (Section 28-89(2)d, CoSA Code of Ordinances)

HARB has the discretion in its review of an application for Certificate of Demolition to require, as conditions for approval, one or more of the following:

- Design of Replacement Building - *As a condition of issuing a certificate of demolition, the board may require the replacement design be approved by the board and that no permit be issued for the demolition of said structure until drawings sufficient for a building permit and all necessary requirements for the construction of a new building have been submitted for the new construction.*
- Architectural Salvage - *As a condition of issuing a certificate of demolition, the board may require, at the applicant's expense, salvage and preservation of significant building materials, architectural details and ornaments, fixtures, and the like for reuse in restoration of other historic properties.*
- Archival Documentation - *The board may also require at the applicant's expense the recording of the structure for archival purposes prior to demolition. The recording may include, but shall not be limited to, photographs and measured drawings.*

According to the property accessor, the building was constructed in 1954. The structure is not listed on the Florida Master Site File and is not a contributing building to the Lincolnville National Register Historic District.

The application requirements are sufficiently met.

DEMOLITION REVIEW CRITERIA (AGHP):

- 1. Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.** Not applicable.
- 2. The contribution of the structure to the mass and scale of the streetscape.** Though smaller than many of the other buildings on the street, the building contributes to the streetscape which includes buildings of similar mass and scale.
- 3. The impact of the loss of the structure on the streetscape.** Demolition of the structure will reduce the visual continuity of the streetscape immediately around the building.
- 4. Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.** No drawings were provided for a replacement structure, and there is no indication that the building will be replaced. Having an empty lot in this neighborhood will negatively impact the streetscape as there are few empty lots in the immediate area.
- 5. The historical or cultural merit of the structure.** The building is located in the Lincolnville National Register District but is a noncontributing structure to the district. The building has had several residents to include O.C. Batten (1953/1954 City Directory), Fred Sparrow (1955 City Directory), Frank Allen (1960 City Directory), Mrs. Janie Peebles (1965 City Directory), Marg. L Hampton (1975 City Directory), Corona Bailey (1979/1980, 1984/1985, 1990, and 1995 City Directories), Eliza Edwards (2000 City Directories).
- 6. The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood.** There is no historic designation for this building and no known historic or cultural significance for the building individually.
- 7. Whether or not the structure is representative of a style or type of architecture or a method of construction.** The building is an example of masonry vernacular architecture.
- 8. Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.** There are multiple examples of masonry vernacular architecture in St. Augustine.
- 9. Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The condition of the structure, and the possibility of rehabilitating or relocating the structure.** There is not a high degree of craftsmanship that would make reproduction of the building difficult.
- 10. The justification for the proposed demolition.** No information was provided to explain why the building needs to be demolished. The building is in poor condition, however.

COD F2018-0135
101 South Street
November 15, 2018

UNREASONABLE OR UNDUE ECONOMIC HARDSHIP:

Defined as an onerous and excessive financial burden that would be placed upon a property owner by the denial of a certificate of demolition or a similar burden which would be placed on a property owner by conditions which the Commission seeks to place on the granting of a certificate. (Section 28-2 CoSA Code of Ordinances)

Is applicant entitled to a Certificate of Demolition independent of any hardship? ☒ Yes ☐ No

Did applicant submit evidence of undue economic hardship? ☐ Yes ☒ No

In any instance where an undue economic hardship, as defined in this chapter, is claimed by a property owner, the property owner may submit to the board any or all of the following information before the board makes a decision on the application for certificate of demolition: (Section 28-89(3) b, CoSA Code of Ordinances)

(Materials submitted by applicant noted with a checked box)

- ☐ 1. An estimate of the cost of the proposed construction, alteration, demolition, or removal;
- ☐ 2. The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; and, in the case of a proposed demolition, after renovation of the existing property for continued use;
- ☐ 3. In the case of a proposed demolition, an estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property;
- ☐ 4. The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
- ☐ 5. The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years;
- ☐ 6. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property;
- ☐ 7. Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years;
- ☐ 8. The assessed value of the property according to the two (2) most recent assessments;
- ☐ 9. The real estate taxes for the previous two (2) years;
- ☐ 10. The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other;

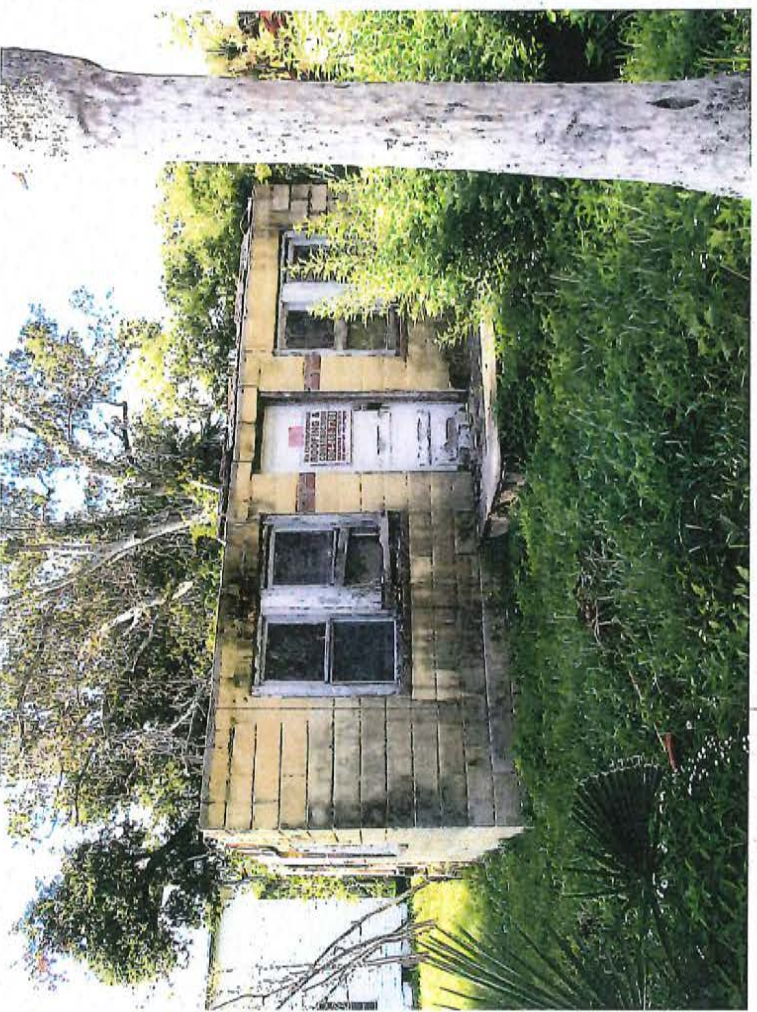
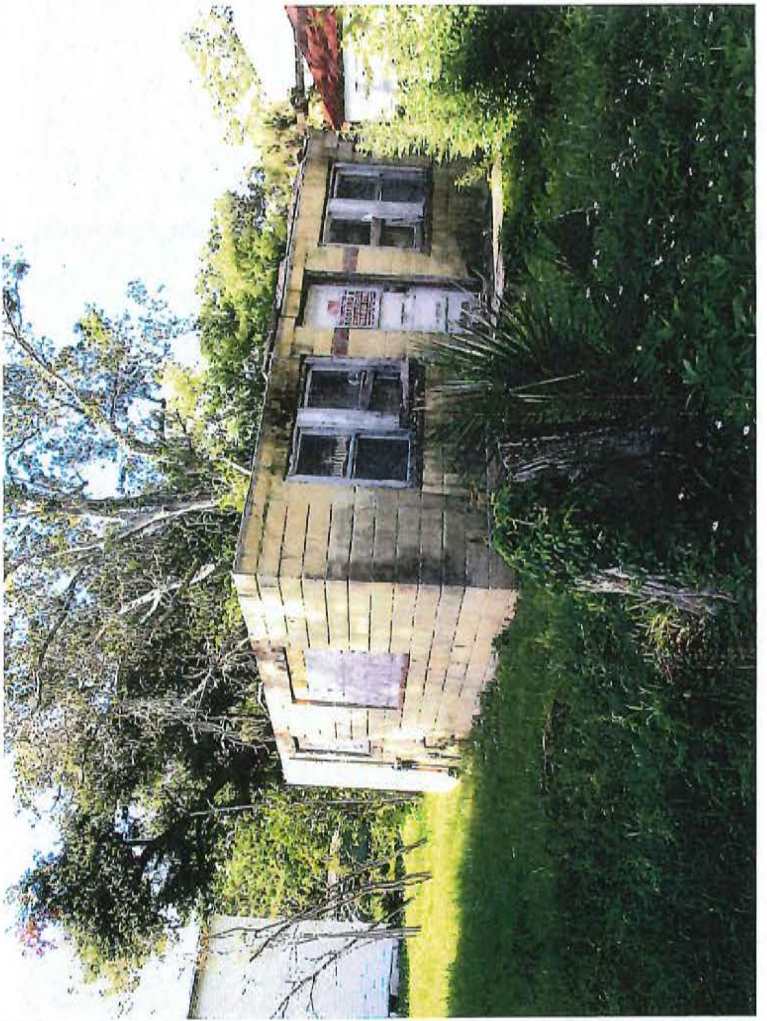
Any other information considered necessary by the board to a determination as to whether the property does yield or may yield a reasonable return to the property owner. The board may require that the property owner furnish such additional information as the board believes is relevant to the board's determination of any alleged undue economic hardship. No decision of the board shall result in undue economic hardship for the property owner. In any case where undue economic hardship is claimed, the board shall make two (2) specific findings. First, the board shall determine if the owner would be entitled to a certificate of demolition without consideration of undue economic hardship. Second, the board shall determine whether the owner demonstrated an undue economic hardship.

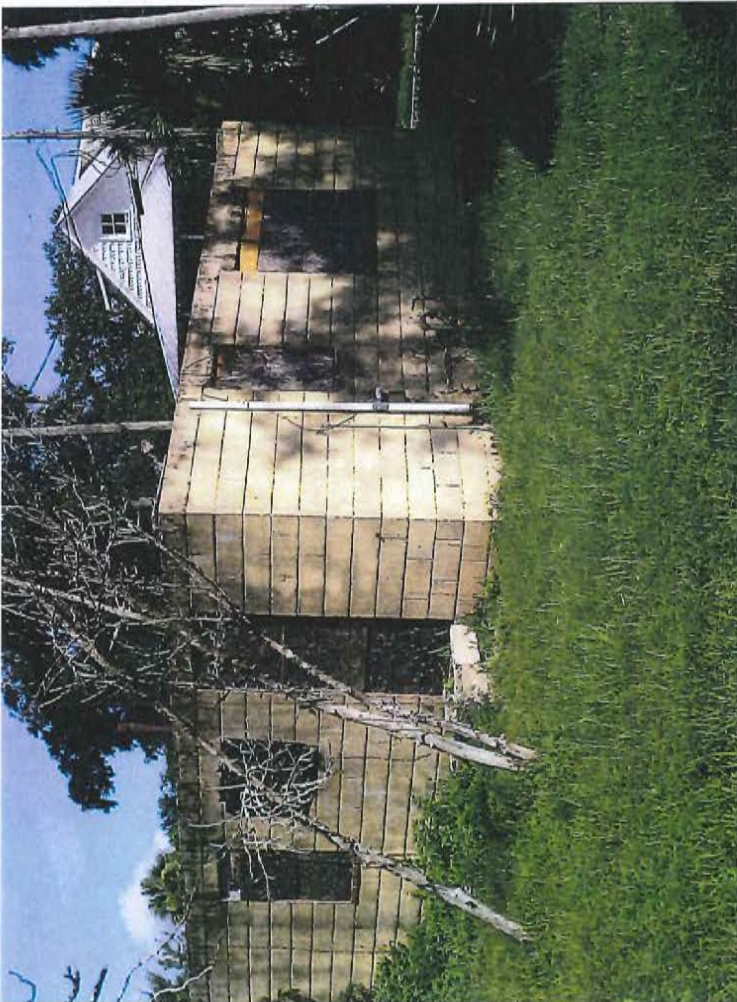
Additional information requested by HARB as per above:

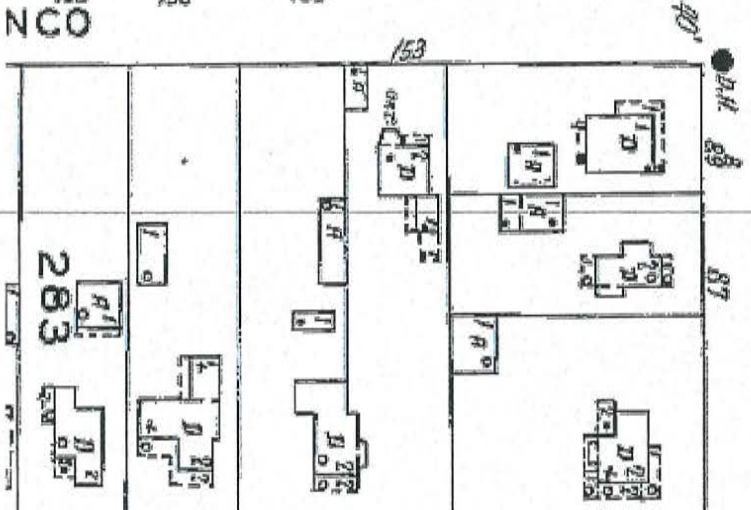
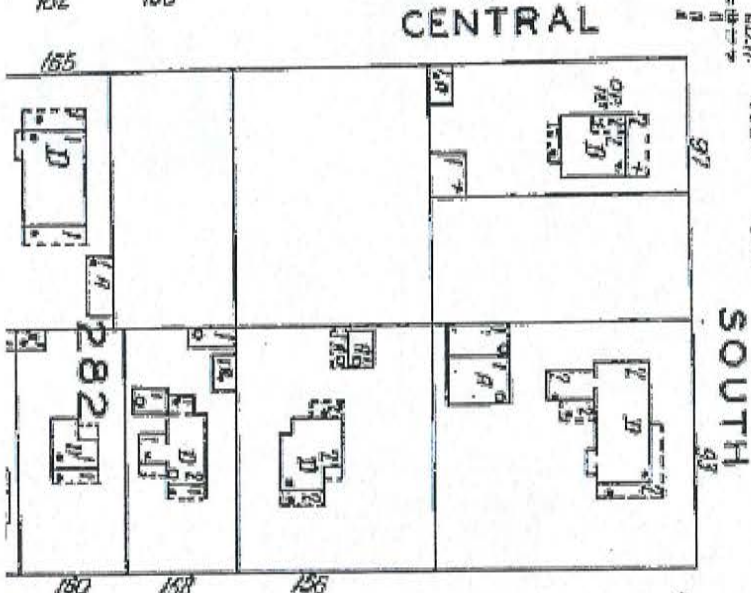
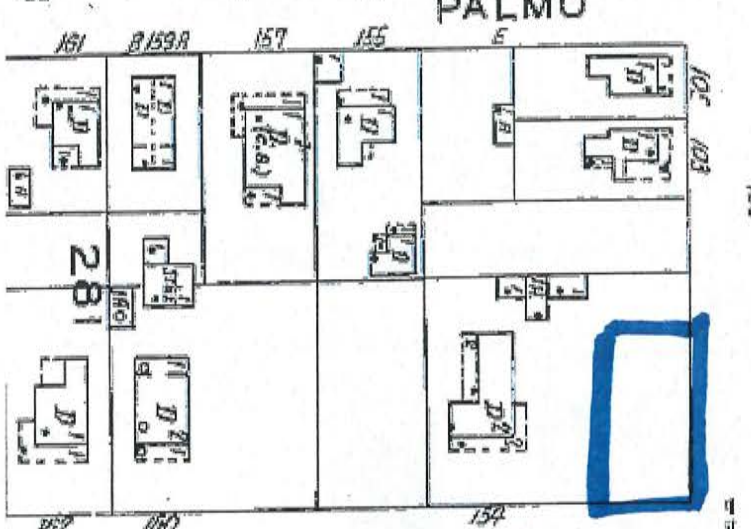
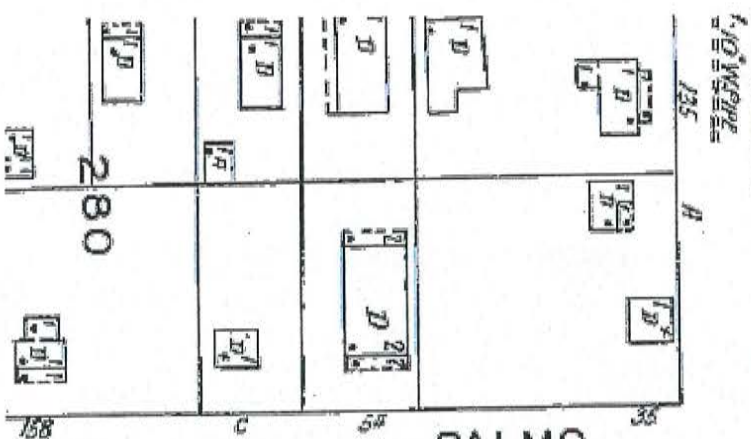
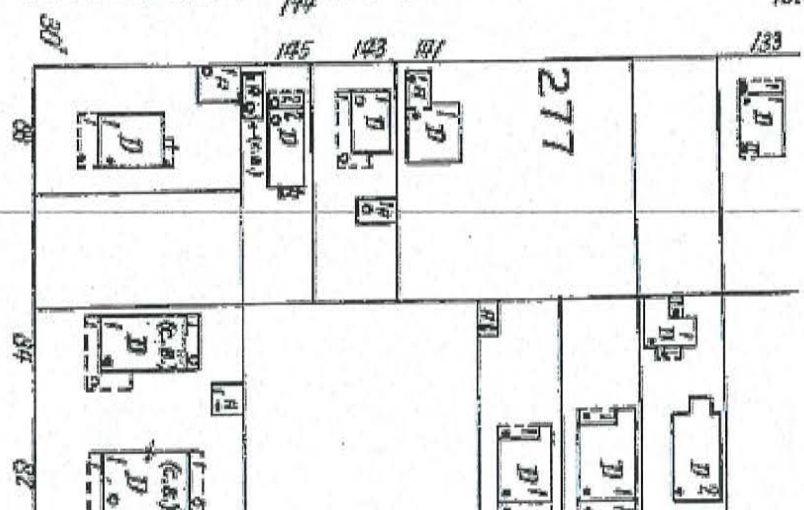
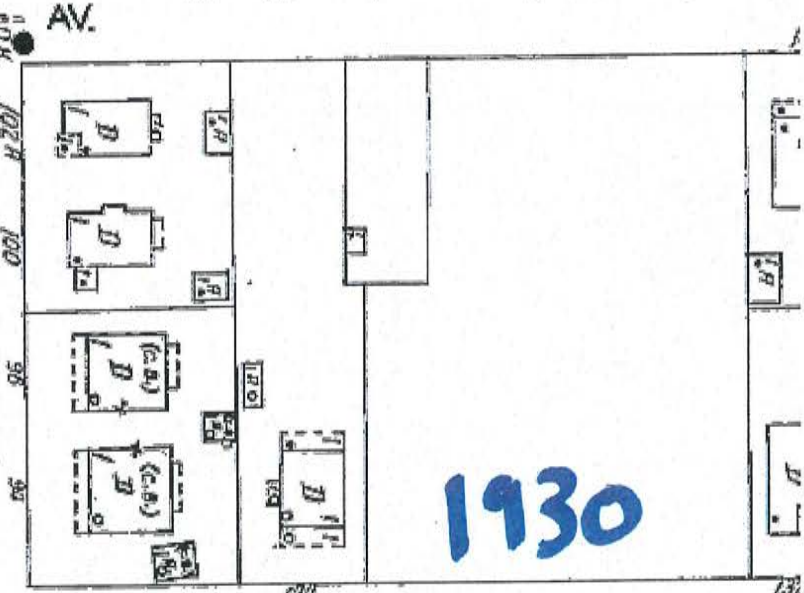
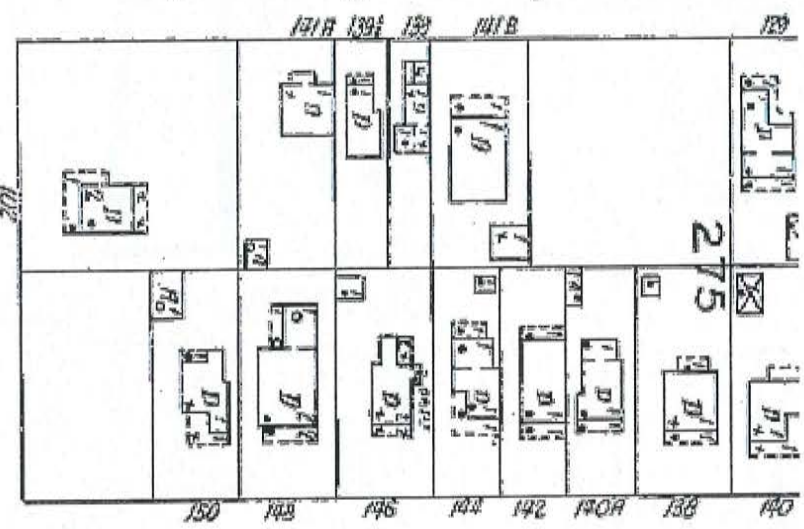
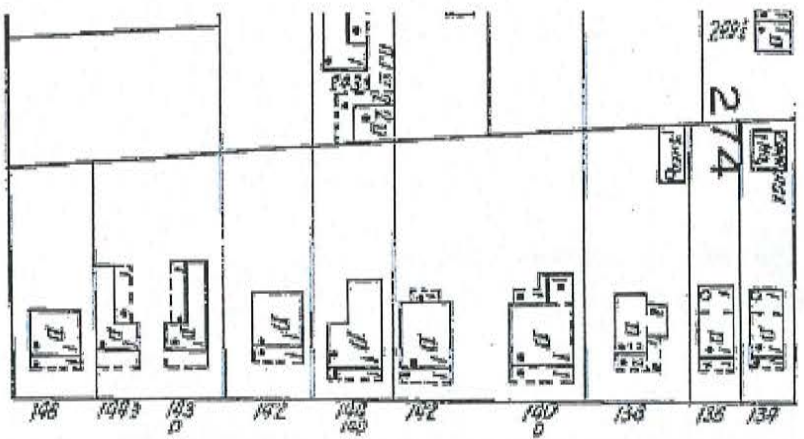
COD F2018-0135
101 South Street
November 15, 2018

LIST OF ATTACHMENTS:

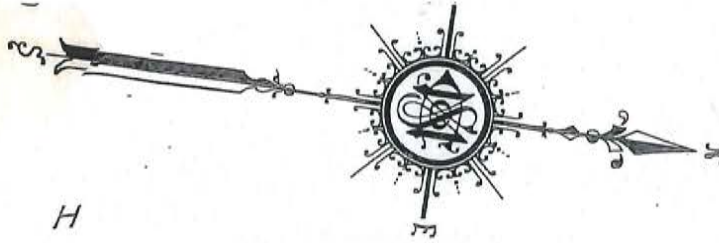
1. Staff Photographs
2. Sanborn Maps
3. City Directory Research
4. Florida Master Site File







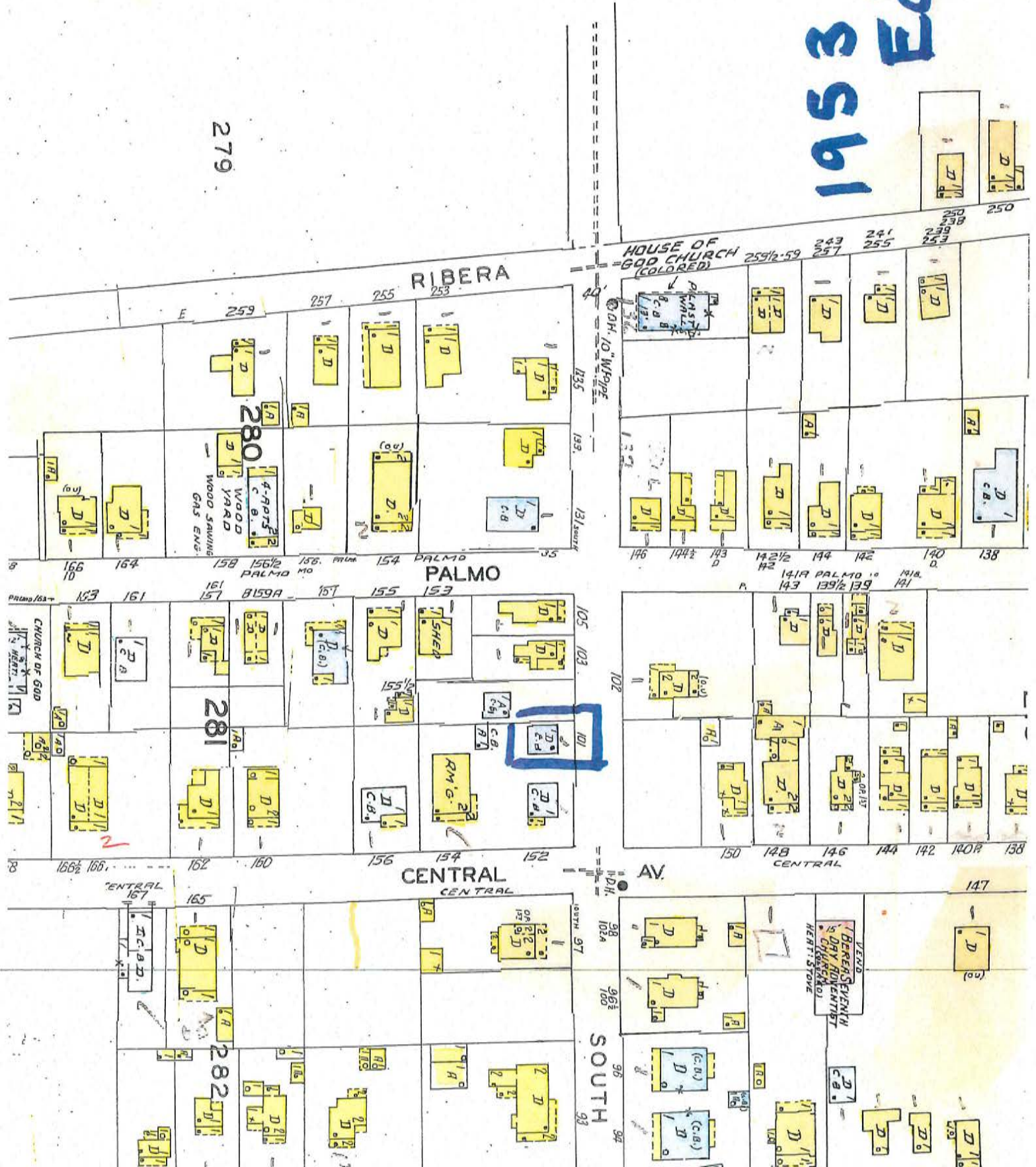
M A R S H



L N D

1953 E 61

279



SAHS POLK CITY DIRECTORY RESEARCH

101 South St.

DATE(S)	NAME	SYMBOLS	PROFESSION
1953/1954	O.C. Batten		
1955	Fred Sparrow		
1960	Frank Allen		
1965	Mrs. Janie Peebles		
1975	Marg. L Hampton		
1979/1980	Corona Bailey		
1984/1985	Corona Bailey		
1990	Corona Bailey		
1995	Corona Bailey		
2000	Eliza Edwards		
Dec. 2005	Address Not Listed		
Dec. 2006	Address Not Listed		



CITY OF ST AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD
APPLICATION



RECEIVED
OCT 09 2018
Planning/Building Dept

- ☒ CERTIFICATE OF DEMOLITION
☐ CERTIFICATE OF RELOCATION

Application Fee: \$300.00 full/\$150.00 partial (plus advertising costs) BDAC Project No. _____

Receipt No. 1462992

Meeting Date NOV 15th

Advertising Costs \$ _____

Paid on 10/9/18

Receipt No. 2018-0135

1. NAME OF APPLICANT R.L. BAILEY
Business (if applicable) N/A
Address 101 SOUTH ST
City ST AUGUSTINE State FL Zip 32084
Daytime telephone 910-496-6256 Other phone/email 703 508-7020

***Correspondence related to this application will be based on the above information

2. NAME OF PROPERTY OWNER R.L. BAILEY
Business (if applicable) N/A
Address 1016 W. 12th St
City ST Augustine State FL Zip 32084
Daytime telephone (required) (910) 496-6256 Other phone (703) 508-7020

3. PROJECT STREET ADDRESS 101 SOUTH ST

4. LEGAL DESCRIPTION OF PROPERTY
Lot _____ Block _____ Subdivision *SEE ATTACHED Parcel Number _____

5. DATE OF CONSTRUCTION 1945/54 Source: Prop. Appraiser

6. HISTORIC STATUS (check all that apply)

- ☐ Designated Local Landmark
☐ Property individually listed on the National Register of Historic Places
☐ Contributing building in National Register Historic District
☐ Listed on Florida Master Site File
☐ 50 years of age or older

7. PROPOSED PROJECT WORK (check one)

- ☐ PARTIAL DEMOLITION - Permanent removal of any significant architectural features including perches, dormers, chimneys, walls, additions, etc.
☒ FULL DEMOLITION - The complete razing of a building resulting in its permanent removal.
☐ RELOCATION - The moving of all or part of a building from one property and placing it on a different property. Also the shifting or reorientation of all or part of a building on the same property.

8. PROPOSED REPLACEMENT BUILDING/FEATURE: _____

11. FOR RELOCATION PROJECTS ONLY

- A. Address or location where building is to be moved: _____
- B. Estimated costs:
- o Purchase price _____
 - o Moving fee (prepared by a licensed and insured building mover) _____
 - o Building rehabilitation _____
- C. Required submittals:
- ☐ Photographs of existing conditions including façade of the building.
 - ☐ If the new location is within the city limits, provide a site plan and drawings of any new improvements. (If the building is to be located in a Historic Preservation zoning district, a Certificate of Appropriateness will also be required.)

12. AGREEMENT – Unless the property owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, all owners of record must sign the application. If the applicant is different than the property owner, the application must be signed by both parties.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if the Certificate of Demolition or Certificate of Relocation is approved that a demolition inspection, archeological review, and building permit from the city are required prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME R. L. Bailey DATE 9 Oct 18

SIGNATURE OF APPLICANT R. L. Bailey 9/10/18

PRINT 1st OWNER'S NAME _____ DATE _____

SIGNATURE OF 1st PROPERTY OWNER _____

PRINT 2nd OWNER'S NAME _____ DATE _____

SIGNATURE OF 2nd PROPERTY OWNER _____

PRINT 3rd OWNER'S NAME _____ DATE _____

SIGNATURE OF 3rd PROPERTY OWNER _____

RECEIVED

OCT 09 2018

Planning/Building Dept

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.



Owner's Authorization For Agent

Mr. John Valdes is/are hereby authorized TO ACT ON
BEHALF OF, the owner(s) of those lands described Within the
attached application, and as described in the attached deed or
other such proof of ownership as may be required, in applying to
the City of St. Augustine's:

☒ Historic Architectural Review Board

☒ Planning and Zoning Board

property located at 101 South St

BY:

R. L. Bailey
Signature of Owner

R. L. Bailey
Print Name of Owner

910 496-6256
Telephone

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OCT 09 2018
Planning/Building Dept

Sworn to and subscribed before me on this 9th day of October, 2018

Notary Public: Diana L. Mahorski

My Commission expires on 9-13-2022













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2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

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OCT 09 2018
Planning/Building Dept.

Summary

Parcel ID	2120700000
Location Address	152 M L KING AVE 101 SOUTH ST
Neighborhood	SAINT AUGUSTINE 32084-0000 BUENA ESPR (624)
Tax Description*	BUENA ESPERANZA SUB CITY N50FT OF LOTS 3 & 4 BLK 5 OR4475/429(Q/C) *The Description above is not to be used on legal documents.
Property Use Code	Multi-Family (Less than 10 Units) (0800)
Subdivision	Buena Esperanza Subdivision
Sec/Twp/Rng	19-7-30
District	City of St Augustine (District 452)
Millage Rate	20.4933
Acreage	0.140
Homestead	N

View Map

Owner

Owner Name	Bailey Ronald L Jr 100%
Mailing Address	16016 IMPERIAL EAGLE CT WOODBIDGE, VA 22191-0000

Valuation

	2018
Building Value	\$18,648
Extra Features Value	\$0
Total Land Value	\$109,200
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$127,848
Total Deferred	\$19,737
Assessed Value	\$108,111
Total Exemptions	\$0
Taxable Value	\$108,111

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Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
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2016	\$18,648	\$185	\$85,312	\$0	\$0	\$104,145	\$89,348	\$14,797	\$89,348
2015	\$18,648	\$185	\$68,250	\$0	\$0	\$87,083	\$81,225	\$5,858	\$81,225
2014	\$19,056	\$185	\$54,600	\$0	\$0	\$73,841	\$73,841	\$0	\$73,841
2013	\$30,308	\$185	\$42,315	\$0	\$0	\$72,808	\$72,808	\$0	\$72,808
2012	\$30,746	\$185	\$36,855	\$0	\$0	\$67,786	\$67,786	\$0	\$67,786
2011	\$31,620	\$185	\$40,950	\$0	\$0	\$72,755	\$72,755	\$0	\$72,755
2010	\$32,494	\$185	\$45,500	\$0	\$0	\$78,179	\$78,179	\$0	\$78,179

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	484	Roof Cover	Roll Composite
Conditioned Area	484	Interior Flooring	Hardwood
Actual Year Built	1954	Interior Wall	Minimum
Use	Single Family Residence	Heating Type	Forced Air
Style	01	Heating Fuel	
Class	N	Air Conditioning	None
Exterior Wall	Concrete Block	Baths	

Category	Type	Pct
Exterior Wall	Concrete Block	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Roll Composite	100%
Interior Walls	Minimum	100%
Interior Flooring	Hardwood	100%
Heating Type	Forced Air	100%
Air Conditioning	None	100%
Frame	Masonry	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description

Conditioned Area

Actual Area

Description	Conditioned Area	Actual Area
BASE AREA	484	484
Total SqFt	484	484

Building	2	Roof Structure	Gable Hip
Actual Area	761	Roof Cover	Composite Shingle
Conditioned Area	696	Interior Flooring	Sheet Vinyl
Actual Year Built	1945	Interior Wall	Drywall
Use	Single Family Residence	Heating Type	Forced Air
Style	01	Heating Fuel	
Class	N	Air Conditioning	None
Exterior Wall	Concrete Block	Baths	

Category	Type	Pct
Exterior Wall	Concrete Block	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	100%
Interior Walls	Drywall	100%
Interior Flooring	Sheet Vinyl	100%
Heating Type	Forced Air	100%
Air Conditioning	None	100%
Frame	Masonry	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	696	696
F OPN PRCH	0	65
Total SqFt	696	761

Extra Features

Code Description	BLD	Length	Width	Height	Units
Residential Fence	0	0	0	0	168

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Multi-Family (Less than 10 Units)	50	100	50	EF	\$109,200

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
12/12/2017	12/12/2017	\$100.00	QC	4475	429	U	I	BAILEY RONALD L	BAILEY RONALD L JR
9/10/1987	8/28/1987	\$0.00	WD	756	1812	U	I	BAILEY CORONA	BAILEY CORONA ***
7/2/1956	8/23/1955	\$0.00	WD	229	190	U	I	DIXON GEORGE LAURA B	BAILEY CORONA

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

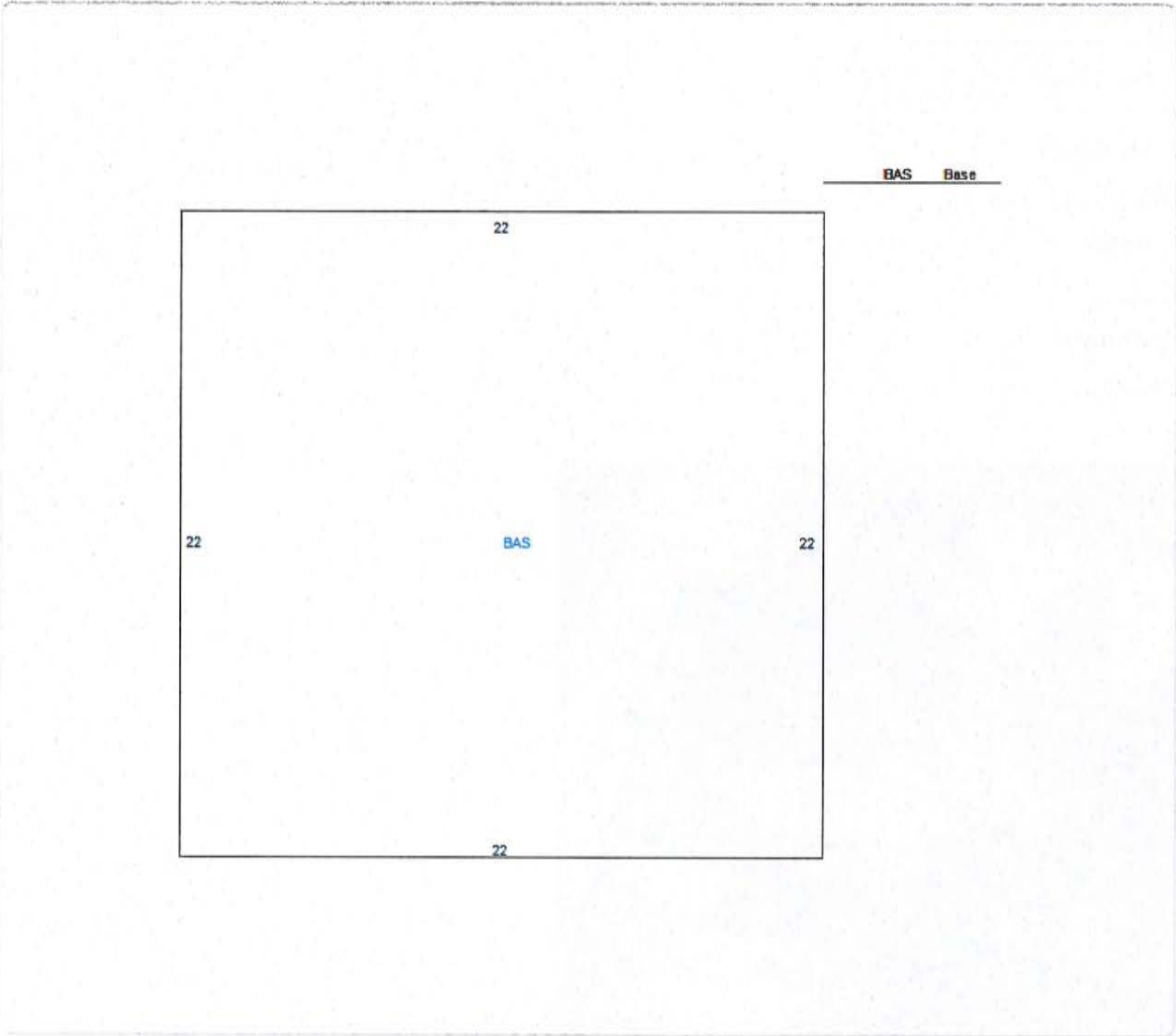
Tax Estimator

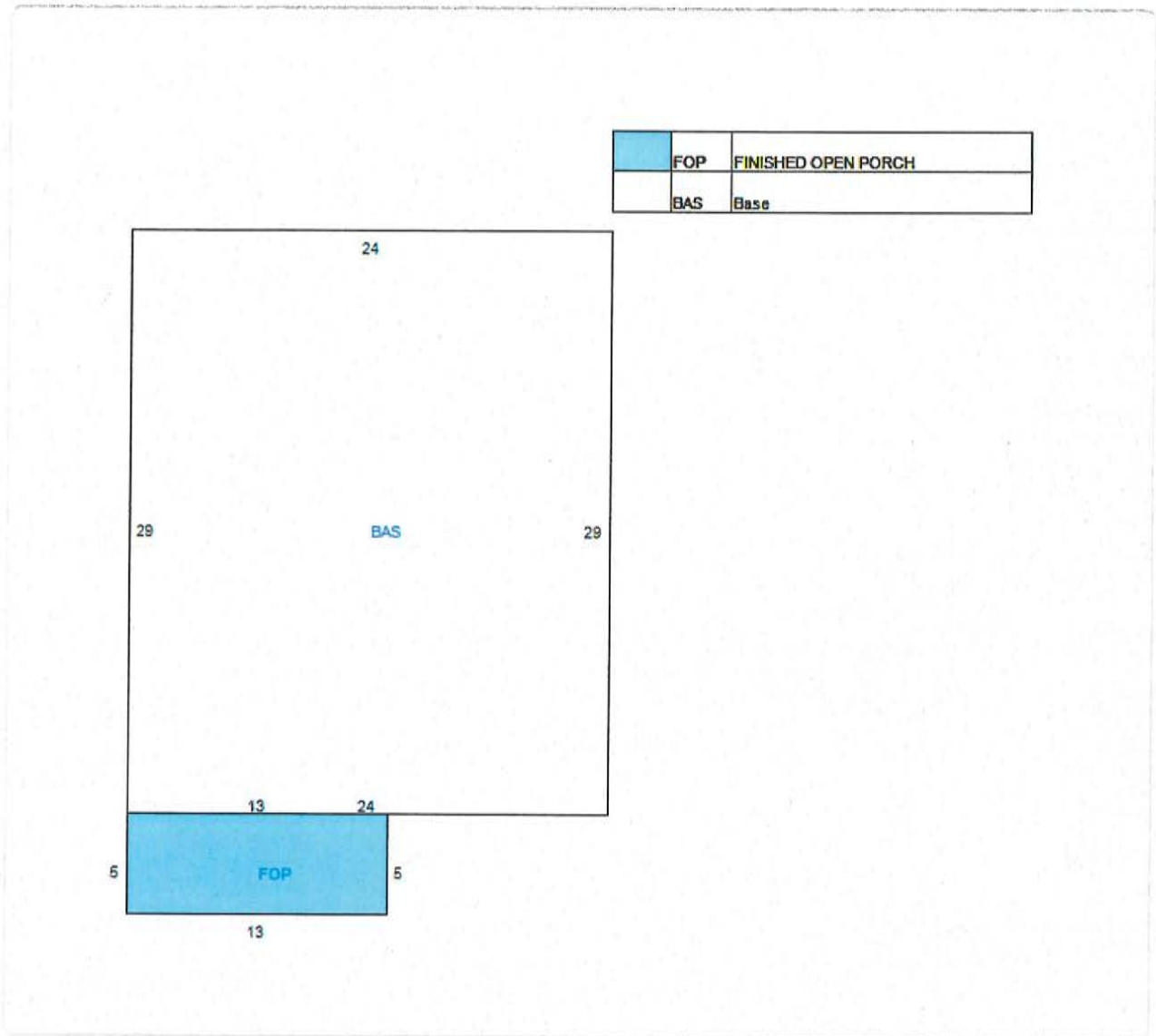
[Tax Estimator](#)

Map



Sketches





No data available for the following modules: Exemptions.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

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Schneider
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2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

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Summary

Parcel ID 2120700000
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 101 SOUTH ST
 SAINT AUGUSTINE 32084-0000
Neighborhood BUENA ESPR (624)
Tax Description* BUENA ESPERANZA SUB CITY N50FT OF LOTS 3 & 4 BLK 5 OR4475/429(Q/C)
 *The Description above is not to be used on legal documents.
Property Use Code Multi-Family (Less than 10 Units) (0800)
Subdivision Buena Esperanza Subdivision
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District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.140
Homestead N

View Map

Owner

Owner Name Bailey Ronald L Jr 100%
Mailing Address 16016 IMPERIAL EAGLE CT
 WOODBRIDGE, VA 22191-0000

Valuation

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Historical Assessments

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2013	\$30,308	\$185	\$42,315	\$0	\$0	\$72,808	\$72,808	\$0	\$72,808
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2010	\$32,494	\$185	\$45,500	\$0	\$0	\$78,179	\$78,179	\$0	\$78,179

Building Information

Building 1
 Actual Area 484
 Conditioned Area 484
 Actual Year Built 1954
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Concrete Block

Roof Structure Gable Hip
 Roof Cover Roll Composite
 Interior Flooring Hardwood
 Interior Wall Minimum
 Heating Type Forced Air
 Heating Fuel
 Air Conditioning None
 Baths

Category	Type	Pct
Exterior Wall	Concrete Block	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Roll Composite	100%
Interior Walls	Minimum	100%
Interior Flooring	Hardwood	100%
Heating Type	Forced Air	100%
Air Conditioning	None	100%
Frame	Masonry	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	484	484
Total SqFt	484	484

Building 2
 Actual Area 761
 Conditioned Area 696
 Actual Year Built 1945
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Concrete Block

Roof Structure Gable Hip
 Roof Cover Composite Shingle
 Interior Flooring Sheet Vinyl
 Interior Wall Drywall
 Heating Type Forced Air
 Heating Fuel
 Air Conditioning None
 Baths

Category	Type	Pct
Exterior Wall	Concrete Block	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	100%
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Interior Flooring	Sheet Vinyl	100%
Heating Type	Forced Air	100%
Air Conditioning	None	100%
Frame	Masonry	100%
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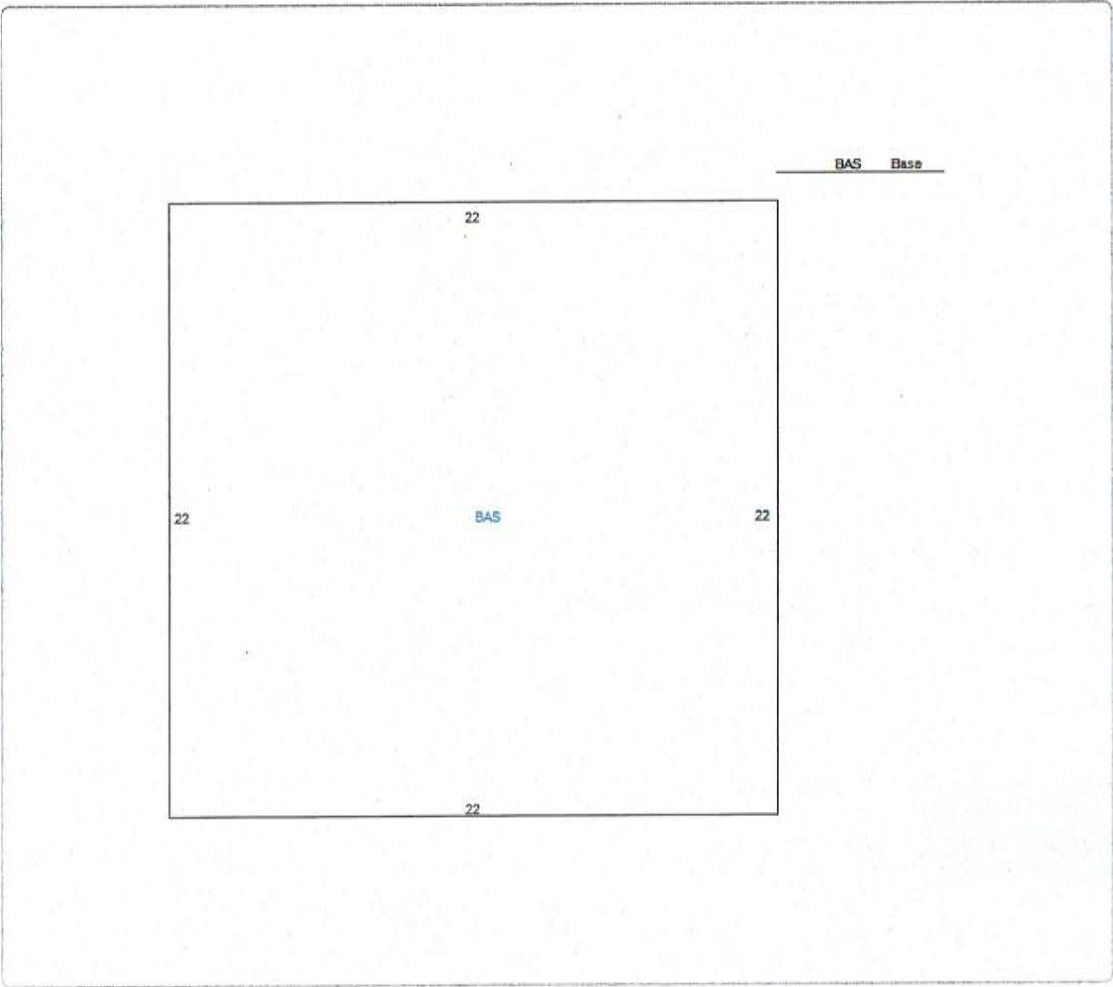
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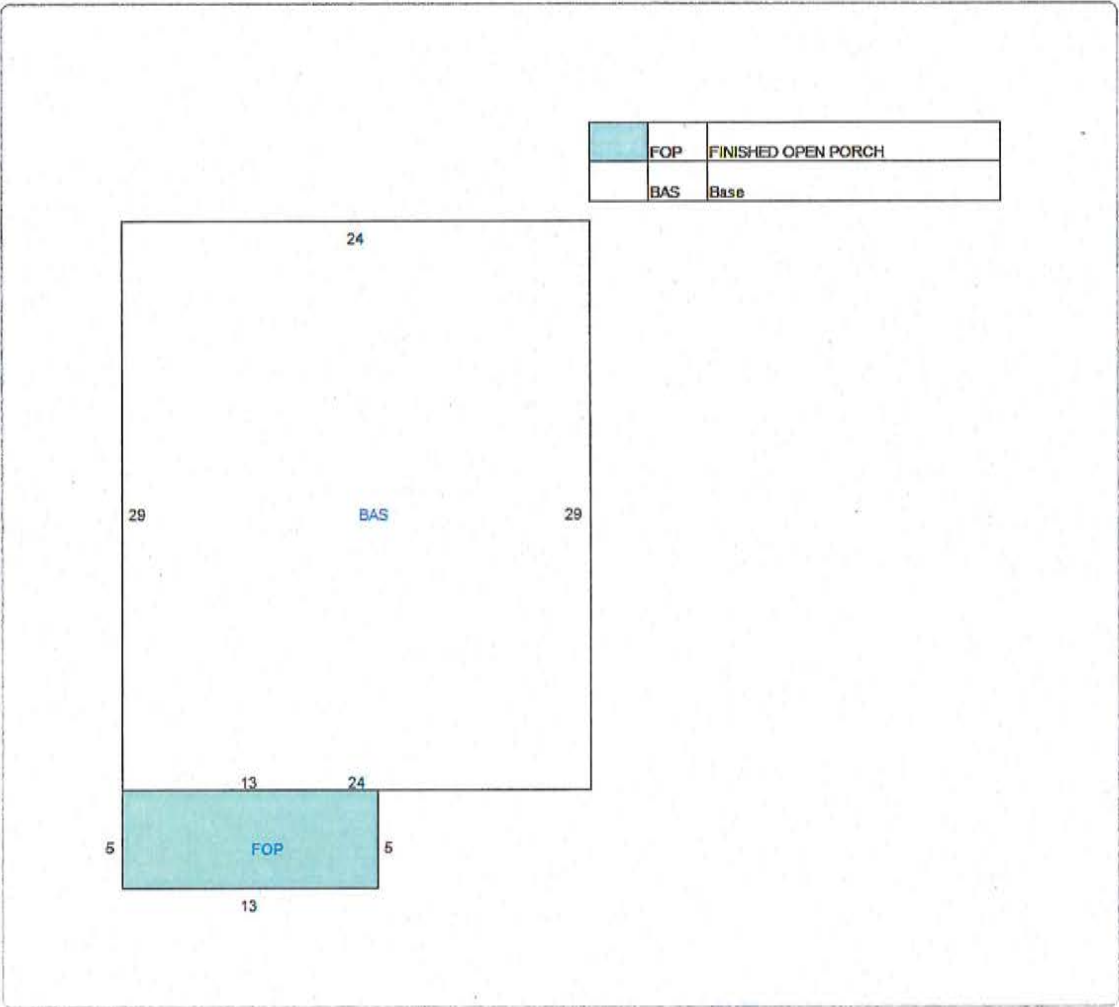
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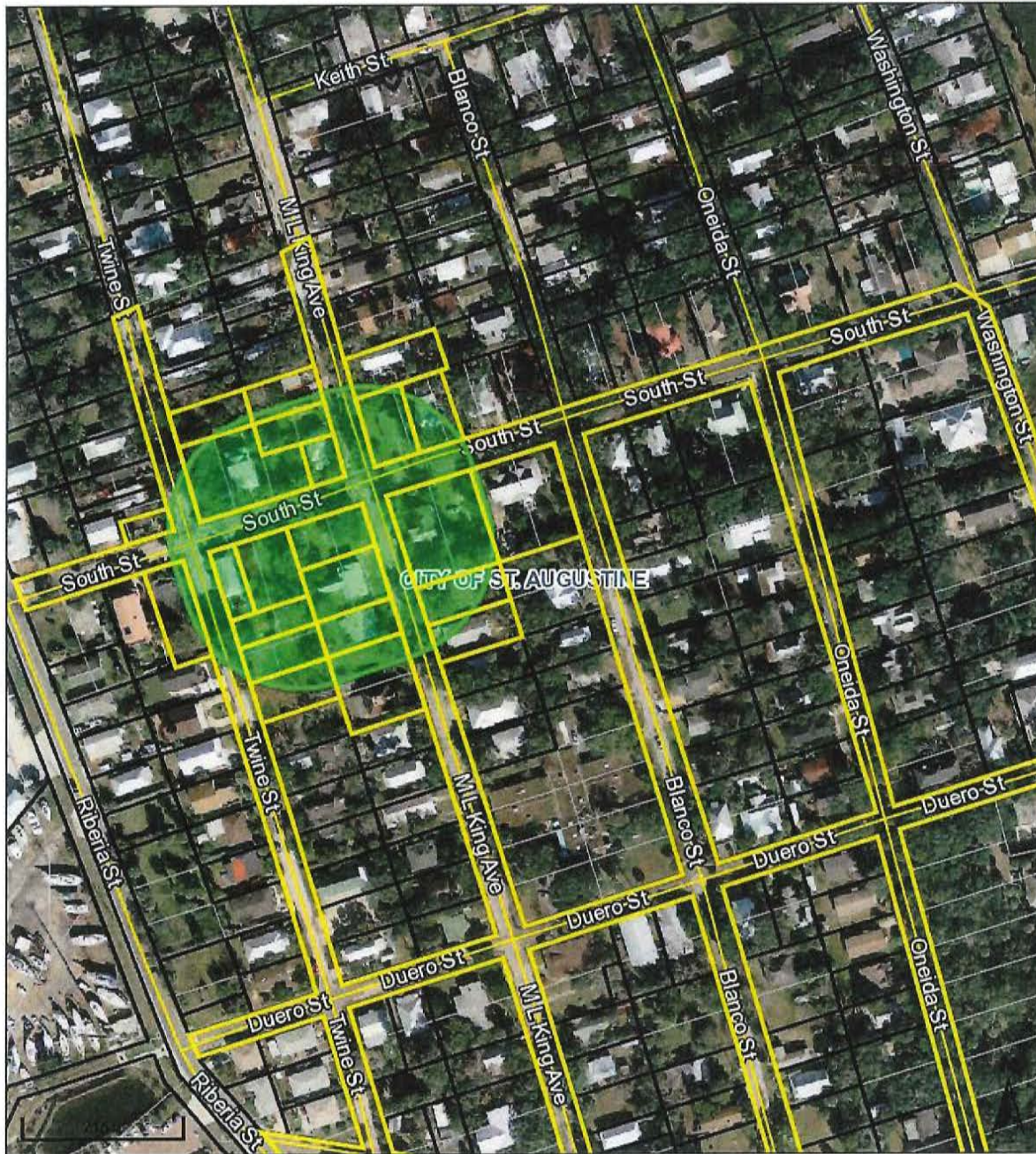


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Overview



Legend

- Parcels
- Cities

Instr #2017083808 BK: 4475 PG: 429, Filed & Recorded: 12/12/2017 11:26 AM #Pgs:1
 Hunter S. Conrad, Clerk of the Circuit Court St. Johns County FL Recording \$10.00 Doc. D \$0.70

Quitclaim Deed

This Quitclaim Deed made RONALD L. BAILEY, by
 RONALD L. BAILEY ("Transferor")
 4612 BEAUFONT SPRING CT
 WOODBRIDGE, VA 22192

to:

RONALD L. BAILEY JR. ("Transferee")
 16016 IMPERIAL EAGLE CT
 WOODBRIDGE, VA 22191

Transferor, in consideration of One Dollar and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, remises, releases, and forever quitclaims to Transferee all of the interest of Transferor, if any, in an to that real property located in the County of SAINT JOHNS COUNTY , and State of FLORIDA, and more certainly described as follows: 19-07-30.14 ACRES BUENA ESPERANZA SUB CITY N50FT OF LOTS 3 & 4 BLK 5 OR756/1812 .

The address of the proeprty is: 101 South Street, Saint Augustine, FL 32084

To have and to hold, all and singular the described property, together with the tenements, hereditaments, and appurtenances belonging to such property, or in anywise appertaining, and the rents, issues, and profits of such property to Transferee, and Transferee's heirs and assigns forever.

IN WITNESS WHEREOF, Transferor has executed this Quitclaim Deed on the date first above written.

RONALD L. BAILEY

Witness:

Carl Eddy

By:

Ronald L Bailey

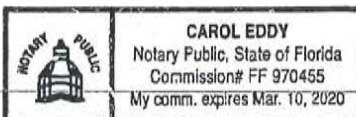
Carol Eddy
Wegan Maynard

Acknowledgment

State of Florida)
) ss
 County of St Johns)

I, the undersigned on this date, Ronald L. Bailey personally appeared before me, to be the person described in and who executed the foregoing Quitclaim Deed and acknowledged to me that Ronald L. Bailey executed the same as his free act and deed.

Carl Eddy
 Notary Public





St. Johns County, FL

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TRIM Notice

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Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$18,648	\$185	\$98,280	\$0	\$0	\$117,113	\$98,283	\$18,830	\$98,283
2016	\$18,648	\$185	\$85,312	\$0	\$0	\$104,145	\$89,348	\$14,797	\$89,348
2015	\$18,648	\$185	\$68,250	\$0	\$0	\$87,083	\$81,225	\$5,858	\$81,225
2014	\$19,056	\$185	\$54,600	\$0	\$0	\$73,841	\$73,841	\$0	\$73,841
2013	\$30,308	\$185	\$42,315	\$0	\$0	\$72,808	\$72,808	\$0	\$72,808
2012	\$30,746	\$185	\$36,855	\$0	\$0	\$67,786	\$67,786	\$0	\$67,786
2011	\$31,620	\$185	\$40,950	\$0	\$0	\$72,755	\$72,755	\$0	\$72,755
2010	\$32,494	\$185	\$45,500	\$0	\$0	\$78,179	\$78,179	\$0	\$78,179

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	484	Roof Cover	Roll Composite
Conditioned Area	484	Interior Flooring	Hardwood
Actual Year Built	1954	Interior Wall	Minimum
Use	Single Family Residence	Heating Type	Forced Air

Style 01
Class N
Exterior Wall Concrete Block

Heating Fuel
Air Conditioning None
Baths

Category	Type	Pct
Exterior Wall	Concrete Block	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Roll Composite	100%
Interior Walls	Minimum	100%
Interior Flooring	Hardwood	100%
Heating Type	Forced Air	100%
Air Conditioning	None	100%
Frame	Masonry	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	484	484
Total SqFt	484	484

Building 2
Actual Area 761
Conditioned Area 696
Actual Year Built 1945
Use Single Family Residence
Style 01
Class N
Exterior Wall Concrete Block

Roof Structure Gable Hip
Roof Cover Composite Shingle
Interior Flooring Sheet Vinyl
Interior Wall Drywall
Heating Type Forced Air
Heating Fuel
Air Conditioning None
Baths

Category	Type	Pct
Exterior Wall	Concrete Block	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	100%
Interior Walls	Drywall	100%
Interior Flooring	Sheet Vinyl	100%
Heating Type	Forced Air	100%
Air Conditioning	None	100%
Frame	Masonry	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	696	696
F OPN PRCH	0	65
Total SqFt	696	761

Extra Features

Code	Description	BLD	Length	Width	Height	Units
	Residential Fence	0	0	0	0	168

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Multi-Family (Less than 10 Units)	50	100	50	EF	\$109,200

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
12/12/2017	12/12/2017	\$100.00	QC	4475	429	U	I	BAILEY RONALD L	BAILEY RONALD L JR
9/10/1987	8/28/1987	\$0.00	WD	756	1812	U	I	BAILEY CORONA	BAILEY CORONA ***
7/2/1956	8/23/1955	\$0.00	WD	229	190	U	I	DIXON GEORGE LAURA B	BAILEY CORONA

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

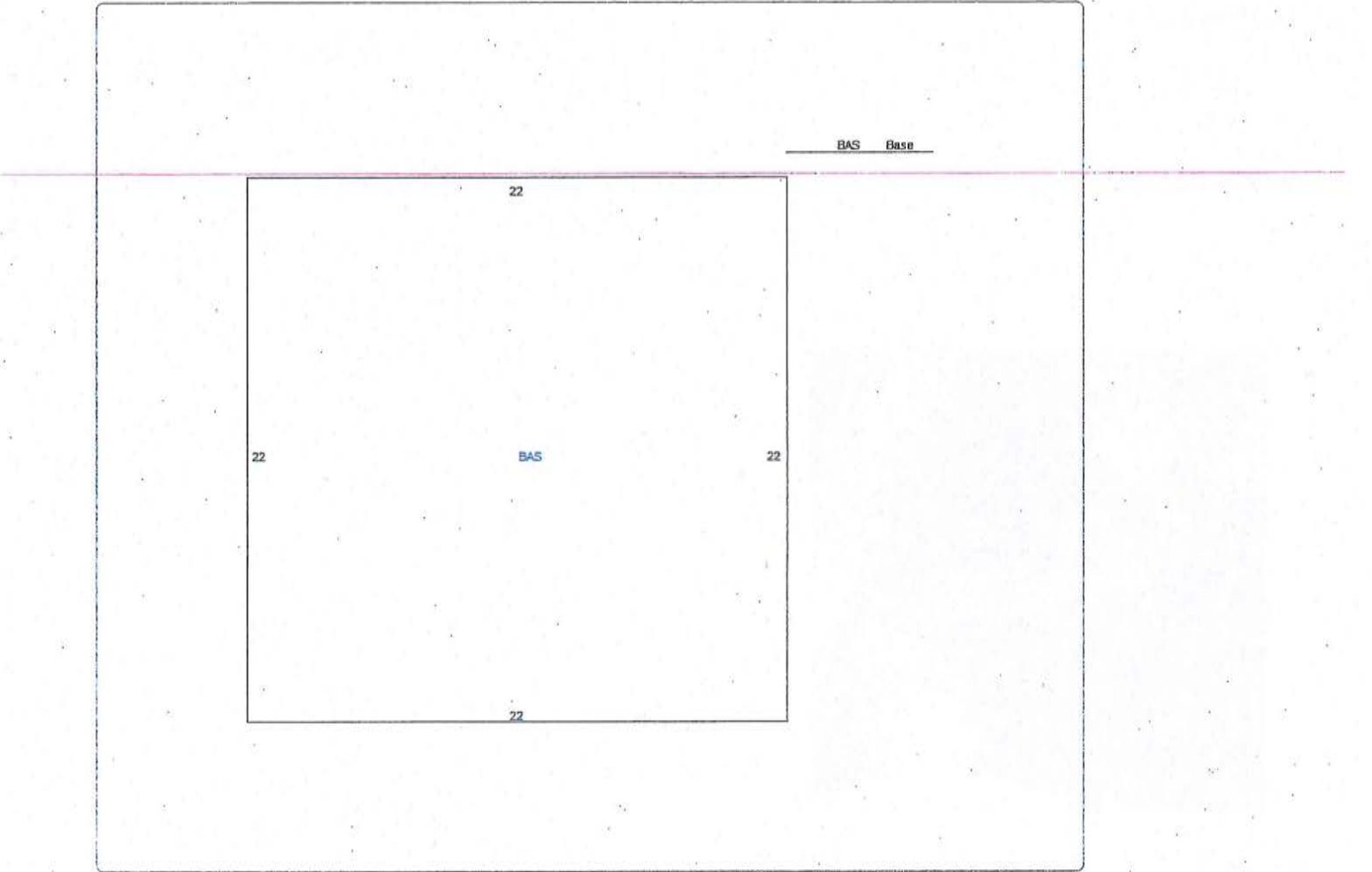
Tax Estimator

[Tax Estimator](#)

Map



Sketches





CITY OF
ST AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0139

Address: 55 Masters Drive

Steven Binnering – Applicant
Green Family Investment LTD – Owner

Project description: To demolish a building constructed between 1905 and 1910 that is recorded in the Florida Master Site File and is not located in a National Register Historic District.

Architectural Style: Frame Vernacular	Florida Master Site File: 8SJ1330
National Register: N/A	Construction date: 1910
Archaeology Zone: N/A	Zoning District: CL-1
Parcel number: 109030 0110	
Agenda Item: 8(c)	Previous Action(s): COD 2017

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Demolition for Frame Vernacular building constructed between 1905 and 1910 which is not located in a district. The Florida Master Site File and the Sanborn Map are attached to provide additional information. A Certificate of Demolition was approved in 2017 but has expired.

The 10 criteria for demolition are evaluated on the preceding pages and should be reviewed for consideration of this application. In summary:

- the building is not designated by the city as a historic building
- the building contributes to the streetscape because it has a similar scale, style, and materials as neighboring buildings developed in the same time period
- at one point the building was home to Halstead J. Manucy, Assistant Chief to Fire Dept. (not to be confused with Halstead 'Hoss' R. Manucy)
- alterations have diminished the architectural integrity of the building, but it still conveys its historic character
- the future use of the property is stated as a commercial building and a site plan was provided although HARB does not have design review authority and a zoning analysis was not performed
- a building condition assessment was not provided and is not required
- conditions will be recommended based on the architectural character of the building

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **approve a Certificate of Demolition for 55 Masters Drive** with the following conditions:

1. The applicant shall provide as-built drawings of all existing exterior elevations and provide a copy to the Florida Master Site File and city staff.
2. The applicant shall salvage reusable, historic materials and features, including the wood windows


Jenny Wolfe
Historic Preservation Officer

Eligibility for Demolition Review (Section 28-87(3), CoSA Code of Ordinances)

The Historic Architectural Review Board (HARB) is responsible for the review of all applications for demolition permits for structures that are fifty (50) years of age or older, listed on the Florida Master Site File, or designated as an historical landmark (as defined by Sec. 28-87.10)

National Register Status (Section 28-89, CoSA Code of Ordinances)

A property currently listed on the National Register of Historic Places individually or as a contributing structure in an historic district is afforded additional scrutiny in the demolition review process by: 1) requiring submittal of a condition assessment report performed by a qualified professional; 2) requiring the applicant to prove "undue economic hardship" to justify demolition; and 3) allowing HARB the option to deny the demolition request if an undue economic hardship is not proven and removal of the building or structure will be detrimental to the historic and architectural character of the city.

Local Landmark Designation (Section 28-87(3) & (10), CoSA Code of Ordinances)

HARB is assigned the authority of reviewing all applications for demolition permits for primary structures... for potential designation as an historical landmark. Local "historical landmarks" are defined as a building, object, site or structure of the highest historical, architectural, cultural or archaeological importance and whose demolition, removal, relocation, or alteration would constitute an irreplaceable loss to the character and quality of the city.

Conditions for Demolition Approval (Section 28-89(2)d, CoSA Code of Ordinances)

HARB has the discretion in its review of an application for Certificate of Demolition to require, as conditions for approval, one or more of the following:

- Design of Replacement Building - *As a condition of issuing a certificate of demolition, the board may require the replacement design be approved by the board and that no permit be issued for the demolition of said structure until drawings sufficient for a building permit and all necessary requirements for the construction of a new building have been submitted for the new construction.*
- Architectural Salvage - *As a condition of issuing a certificate of demolition, the board may require, at the applicant's expense, salvage and preservation of significant building materials, architectural details and ornaments, fixtures, and the like for reuse in restoration of other historic properties.*
- Archival Documentation - *The board may also require at the applicant's expense the recording of the structure for archival purposes prior to demolition. The recording may include, but shall not be limited to, photographs and measured drawings.*

According to the FMSF the building was constructed between 1905 - 1910. The structure is recorded in the Florida Master Site File and not in a district and not a local landmark.

The application requirements are sufficiently met.

DEMOLITION REVIEW CRITERIA (AGHP):

- 1. Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.** Not applicable.
- 2. The contribution of the structure to the mass and scale of the streetscape.** Newer construction across the street creates a visual contrast to the historic streetscape pattern, however it does contribute to the pattern of historic homes to the north and west of the property that were built in the same time period and relate to its scale, style, and materials.
- 3. The impact of the loss of the structure on the streetscape.** There will be a negative impact to the streetscape because it contributes to a concentration of similarly aged and styled buildings on the same side of the street.
- 4. Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.** The applicant states the property will be used for a commercial building and provided a site plan. It appears the structure is a warehouse-type building with a rectangular footprint and flat roof with adjacent parking lot. The plan does not match the area's historic character and does not relate to the scale, form, and site planning of nearby residential properties.
- 5. The historical or cultural merit of the structure.** The structure appears on the updated 1930 to 1957 Sanborn Map with an L-shaped footprint and front and rear porches. The site file documents wood drop siding as the exterior fabric and ornamental details such as jigsawn bargeboards and a porch frieze. Since this time, alterations have occurred, including reduction of the front porch and removal of decorative woodwork, and the addition of vinyl siding, however it still retains its essential form and contributing character. The site file also states that 55 Masters Drive was home to Halstead J. Manucy in the 1920s, who was the Assistant Chief of the City Fire Department. (not to be confused with Halstead 'Hoss' R. Manucy)
- 6. The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood.** There is no district in place at this time and its unclear if this structure would contribute to a district if one were created because it has been altered. However, its loss would impact the neighborhood because it reduces the concentration of similarly scaled and styled structures that contribute the area's historic character.
- 7. Whether or not the structure is representative of a style or type of architecture or a method of construction.** The building is an example of masonry vernacular architecture.
- 8. Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.** There are multiple examples of vernacular architecture in St. Augustine.
- 9. Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The condition of the structure, and the possibility of rehabilitating or relocating the structure.** The structure does not exhibit a level of design and craftsmanship that is difficult to reproduce. The form and style could be replicated however new construction will be easily distinguished from the original historic fabric. No condition assessment was provided because it is not a requirement for non-contributing buildings so a detailed assessment of the rehabilitation and relocation feasibility is not known.
- 10. The justification for the proposed demolition.** The application indicates the property will be used for a commercial building.

UNREASONABLE OR UNDUE ECONOMIC HARDSHIP:

Defined as an onerous and excessive financial burden that would be placed upon a property owner by the denial of a certificate of demolition or a similar burden which would be placed on a property owner by conditions which the Commission seeks to place on the granting of a certificate. (Section 28-2 CoSA Code of Ordinances)

Is applicant entitled to a Certificate of Demolition independent of any hardship? ☒ Yes ☐ No

Did applicant submit evidence of undue economic hardship? ☐ Yes ☒ No

In any instance where an undue economic hardship, as defined in this chapter, is claimed by a property owner, the property owner may submit to the board any or all of the following information before the board makes a decision on the application for certificate of demolition: (Section 28-89(3) b, CoSA Code of Ordinances)

(Materials submitted by applicant noted with a checked box)

- ☐ 1. An estimate of the cost of the proposed construction, alteration, demolition, or removal;
- ☐ 2. The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; and, in the case of a proposed demolition, after renovation of the existing property for continued use;
- ☐ 3. In the case of a proposed demolition, an estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property;
- ☐ 4. The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
- ☐ 5. The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years;
- ☐ 6. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property;
- ☐ 7. Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years;
- ☐ 8. The assessed value of the property according to the two (2) most recent assessments;
- ☐ 9. The real estate taxes for the previous two (2) years;
- ☐ 10. The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other;

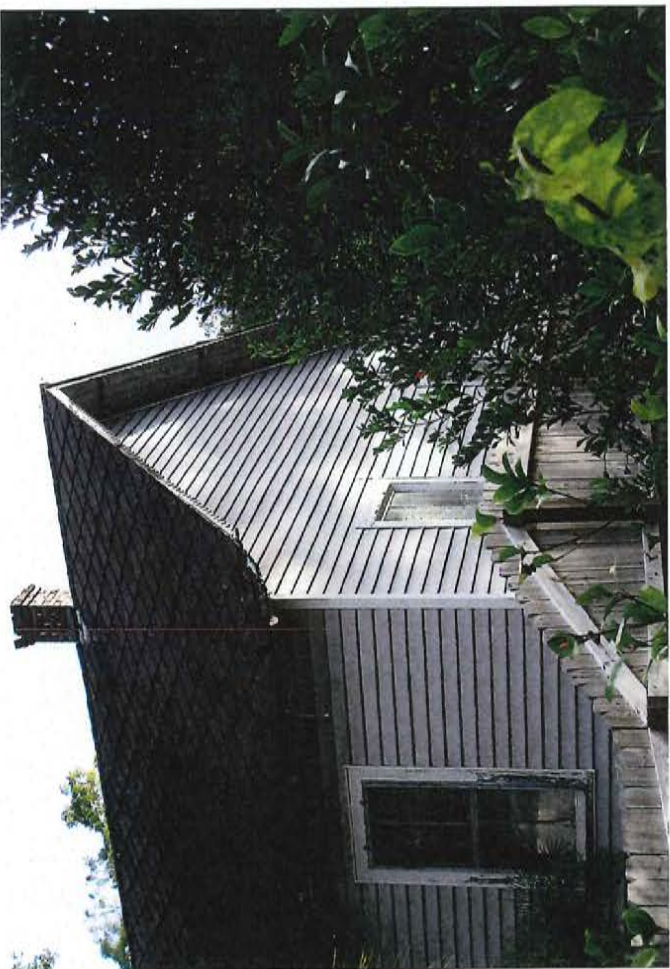
Any other information considered necessary by the board to a determination as to whether the property does yield or may yield a reasonable return to the property owner. The board may require that the property owner furnish such additional information as the board believes is relevant to the board's determination of any alleged undue economic hardship. No decision of the board shall result in undue economic hardship for the property owner. In any case where undue economic hardship is claimed, the board shall make two (2) specific findings. First, the board shall determine if the owner would be entitled to a certificate of demolition without consideration of undue economic hardship. Second, the board shall determine whether the owner demonstrated an undue economic hardship.

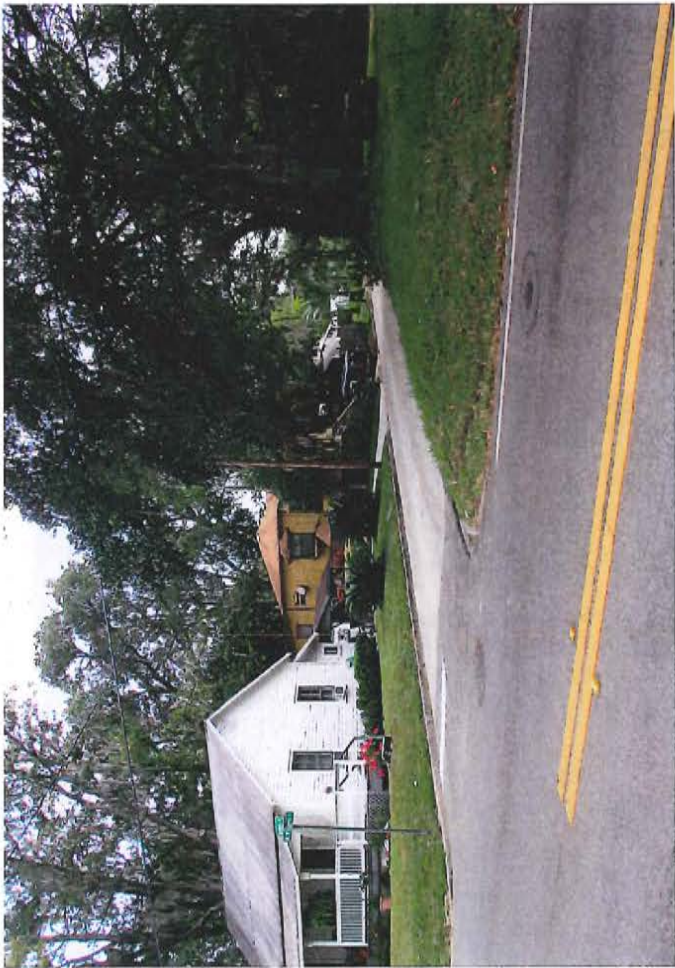
Additional information requested by HARB as per above:

COD F2018-0139
55 Masters Drive
November 15, 2018

LIST OF ATTACHMENTS:

1. Staff Photographs
2. Sanborn Maps
3. Florida Master Site File





ING

1930

HELEN

6" W. PIPE

OH

305

FLORIST
SHOP

D. 2

301

D.

MC WILLIAMS NOT OPEN

MASTERS

DRIVE (HORN RD)

55

307

306

PALMER

DANCING

D.

302

D.

R.

D.

D.

D.

D.

R.

R.

D.

D.

RENO
REP.
NO ME. BT.
LICENS. & REG.

D.

D.

SPRING

70 SPRING 72

1940s Edits

85 SPRING

SPRING

HELEN 90

HELEN

6" W. PIPE

40'

MC WILLIAMS

NOT OPEN

305

301

MASTERS

48 METERS

DRIVE (HORN RD)

55

306

302

PALMER

95 PALMER

PALMER

98

60

DANCING

D.

D.

D.

D.

MS. 30'

D.

D.

N1
1930 with updates
through 1957

C WILLIAMS

NOT OPEN

301

DRIVE (HORN RD)
51
49 1/2
49

HELEN

6" W. PIPE D.H. =

305

MASTERS
48 1/2
48
41
42

306

HALL
C.B.

D

STGE.

C.B.

D.

D.

D
C.B.

D
C.B.

D
C.B.

59

D

C.B.
A.C.B.
21
PR. 22.

D

D

6

4

MCWILL

5

3

MS
WILL

D

D

55

D

R-55
MASTERS.

A
C.B.

302

D

DANCING

S.

D

HEC

HELI

FLORIDA MASTER SITE FILE
HISTORIC ST. AUGUSTINE PRESERVATION BOARD
HISTORIC PROPERTIES INVENTORY FORM

I. LOCATION & LEGAL DESCRIPTION

FDAHRM _____ 802== Site No. 88J 1330 1009==
Site Name: 55 Masters Drive 830== Survey Date: 7907 820==
Address: 55 Masters Drive, St. Augustine, Fla. 32084 905==
Instructions for Locating: _____
_____ 813== County: St. Johns 808==
Location: Ravenswood 34B 7, 9, 11, 13 868==
(subdivision) (block) (lot)

Owner of Site: Name: McQuaig, Benjamin F. Est. ;
Address: 55 Masters Drive
St. Augustine, Fla. 32084 902==
Occupant or Manager: _____ 904==
Type of Ownership: Private 848== Zoning: CN
NR Classification Category: Building 916== Recording Date: _____ 832==
UTM: 17 467998 3307385 890== Location: T07S R29E N41 812==
(zone) (easting) (northing) (T) (R) (S)
Map Reference: USGS St. Augustine 7.5 MIN 1956 (PR 1970) 809==
Recorder: Name & Title: Nolan, David (Historic Sites Specialist) ;
Address: H.S.A.P.B. 818==

II. SITE DESCRIPTION

Condition of Site:

() Excellent 863==
() Good 863==
() Fair 863==
(X) Deteriorated 863==

Integrity of Site:

(X) Altered 858==
() Unaltered 858==
(X) Original Site 858==
() Restored - Date: 858==
() Moved - Date: 858==

Threats to Site:

(X) Zoning 878==
() Development 878==
(X) Deterioration 878==
() Borrowing 878==
(X) Transportation 878==
() Fill 878==
() Dredge 878==
() Other 878==

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

II. SITE DESCRIPTION, continued.

Original Use: Priv. Residence 838== Present Use: Priv. Residence 850==
 Date: +1910 844== Period: 20th Cent 845== Culture: American 840==
 Architect: _____ 872==
 Builder: _____ 874==
 Style: Frame vernacular 964==
 Plan Type: L-shape 966==
 Exterior Fabrics: Wood, dropside, with cornerboards _____ 854==
 Structural Systems: Wood frame _____ 856==
 Features of Structure: (942)
 Window Type: DHS, 2/2 _____ 942==
 Foundation: Brick piers _____ 942==
 Roof Type: Gable _____ 942==
 Secondary Roof Structures: Gable on L; shed porches _____ 942==
 Porches & Balconies: 1 story open front porch _____ 942==
 Chimney Location: Ridge, offset _____ 942==
 Materials: (882)
 Chimney: Brick _____ 882==
 Roof Surfacing: Composition shingles (diamond) _____ 882==
 Ornament Exterior: Jigsawn bargeboards; porch frieze _____ 882==
 Quantitative Data: (950-954)
 Chimneys: 1 952== Dormers: 0 954== Stories: 1 950==
 Other: _____ 956==
 Surroundings: Residential _____ 864==
 Relationship to Surroundings: On corner lot _____
 _____ 859==

III. PHOTOGRAPHY

Photographic Records Numbers: _____ 860==
 Contact Prints

IV. SIGNIFICANCE

Areas of Significance: Architecture, Politics/Government

920==

Statement of Significance: (911==)

ARCHITECTURE

This one-story Frame Vernacular residence was constructed between 1905 and 1910. Significant details include jigsawn bargeboards and a porch frieze.

The Ravenswood area contains one of the more extensive Victorian residential developments in St. Augustine, particularly along Masters Drive and Spring Street. Later infill, on previously vacant land, was largely influenced by the early 20th century Bungalow style. There are a number of post-World War II tract developments on the fringes of older neighborhoods. On the north, the 1920's Florida Boom Period development of Santa Rosa left a number of substantial Mediterranean Revival residences. Because of the sparse early development, many areas were used for agriculture and some of the old buildings still have unusually large lots. The once-famous scenic drive "Around the Horn" went through this part of town. "Ponce de Leon Springs" was a tourist attraction in this area. Ravenswood today is threatened generally by drainage problems, traffic along Masters Drive, some housing deterioration, and the zoning of residential areas into commercial categories.

HISTORY

West Augustine or, as it was earlier called, New Augustine, developed in the late 19th and early 20th centuries as a suburb to the city of St. Augustine and was not incorporated into the municipality until 1922. During the British period [1763-84], all of West Augustine was part of the plantation owned by Anglican minister, John Forbes, which the Spanish governor divided into four separate grants in the late 18th and early 19th century.[1] The northernmost and largest tract was granted in 1785 to Francisco and Juan Triay, two enterprising Minorcan farmers, and extended from Oyster Creek to present-day Theodore Street. Between 1794 and 1822 the land was the property of Corsican Jose Peso de Burgo, a prosperous local merchant, who developed some of the first commercial orange groves in Florida and constructed a plantation home.[2] West Point graduate, Col. Francis Dancy, mayor of St. Augustine from 1838-40

[over]

V. BIBLIOGRAPHY

1. American State Papers; Public Lands, 5 Vols. [Washington: Duff Green, 1834], III, 708.
2. Ibid.; Biographical File, SAHS.
3. St. Johns County Courthouse, Deed Records, Book M, p. 411; Biographical File, SAHS.
4. Deed Records, Book P, p. 343; Book Q, pp. 333-334; Book S, p. 259; Book U, p. 692; St. Augustine Examiner, September 8, 1866; Wanton S. Webb, ed., Webb's Historical, Industrial and Biographical

and son-in-law of Territorial Governor, Robert Reid, acquired the property in 1837.[3] The section of Dancy tract generally north of King Street was purchased in 1870 by John F. Whitney of New York, a relative of Eli Whitney and founder of the St. Augustine Press. Whitney subdivided the land in 1874, thereby creating the first subdivision in West Augustine, but restricted property owners to Northerners only. Whitney's Ravenswood developed much more slowly than planned, with most construction dating from the 20th century, although sections of earlier development remain. Ravenswood has been resubdivided into nine subdivisions between 1888 and 1926, including Greeno and Dancy Tracts and H. L. Fulger, the later bearing the name of a Black employee of the Florida East Coast Railway.[4]

The house at 55 Masters Drive was the home of Halstead J. Man-
ucy, Assistant Chief of the City Fire Department.[5]

Florida, [New York, 1885], p. 200; St. Augustine City Directory, 1924-25.

5. St. Augustine City Directory, 1927-28.



\$300.00

Plans, Photos, Sign



CITY OF ST AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD
APPLICATION



- ☒ CERTIFICATE OF DEMOLITION
☐ CERTIFICATE OF RELOCATION

Application Fee: \$300.00 full / \$150.00 partial (plus advertising costs) BDAC Project No. 2018-0139

Receipt No. 1465599 Meeting Date Nov. 15, 2018

Advertising Costs \$ _____ Paid on 10/12/18 Receipt No. _____

1. NAME OF APPLICANT Stuart Sinner
Business (if applicable) _____
Address c/o Henry Green, P.O. Box 1568
City St. Aug. State FL Zip 32085
Daytime telephone 904 806-2424 Other phone/email 904 829-6858

***Correspondence related to this application will be based on the above information

2. NAME OF PROPERTY OWNER Green Family Investment LTD
Business (if applicable) Same
Address P.O. Box 1568
City St. Aug. State FL Zip 32085-1568
Daytime telephone (required) 904 806-2424 Other phone 904 829-6858

3. PROJECT STREET ADDRESS 55 Masters Dr

4. LEGAL DESCRIPTION OF PROPERTY
Lot 11 Block 34B Subdivision Lavenswood Parcel Number 1040300110

5. DATE OF CONSTRUCTION 1910 Source: SSCFA

6. HISTORIC STATUS (check all that apply)

- ☐ Designated Local Landmark
☐ Property individually listed on the National Register of Historic Places
☐ Contributing building in National Register Historic District
☐ Listed on Florida Master Site File
☒ 50 years of age or older

7. PROPOSED PROJECT WORK (check one)

- ☐ PARTIAL DEMOLITION - Permanent removal of any significant architectural features including porches, dormers, chimneys, walls, additions, etc.
☒ FULL DEMOLITION - The complete razing of a building resulting in its permanent removal.
☐ RELOCATION - The moving of all or part of a building from one property and placing it on a different property. Also the shifting or reorientation of all or part of a building on the same property.

8. PROPOSED REPLACEMENT BUILDING/FEATURE: Commercial Building
This address was approved for demolition. Said approval expired Aug. 2018. Did not realize the city changed their policy to a one year time limit.

Planning / Building Dept

OCT 12 2018

RECEIVED

☒ **FOR PARTIAL DEMOLITION PROJECTS ONLY**

A. Indicate architectural features to be permanently removed (check all that apply):

HISTORIC	NOT HISTORIC	NOT SURE	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building addition
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Outbuilding/Accessory building
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fenestration (arrangement of windows and doors)

B. Required submittals:

- ☐ Photographs and/or drawings of elevations and architectural features to be removed.
- ☒ Drawings of proposed improvements and replacement features as applicable.

10. FOR FULL DEMOLITION PROJECTS ONLY

A. Required submittals for all full demolition projects:

- ☒ Photographs of existing conditions including façades of the building and interior features if applicable.
- ☒ Drawings of proposed replacement buildings and or features if applicable.

B. Required submittals for buildings designated as Local Landmarks, individually listed on the National Register of Historic Places, or a contributing building in a National Register Historic District:

- ☒ *Condition assessment report* - A report from an architect or structural engineer licensed in the State of Florida with demonstrated experience in historic restoration/rehabilitation as to the structural soundness of the building and its adaptability for continued use.
- ☒ *Proof of unreasonable or undue economic hardship* - the property owner may submit to the board any or all of the following information:
- An estimate of the cost of the proposed construction, alteration, demolition, or removal.
 - The estimated market value of the property in its current condition and after completion of the proposed construction, alteration, demolition, or removal.
 - An estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
 - The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any.
 - The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years.
 - All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property.
 - Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years.
 - The assessed value of the property according to the two (2) most recent assessments;
 - The real estate taxes for the previous two (2) years.
 - The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, or joint venture.
 - Any other information deemed appropriate by the applicant as to how the property does not yield or may not yield a reasonable return to the property owner.

11. FOR RELOCATION PROJECTS ONLY

- A. Address or location where building is to be moved: _____
- B. Estimated costs:
- o Purchase price _____
 - o Moving fee (prepared by a licensed and insured building mover) _____
 - o Building rehabilitation _____
- C. Required submittals:
- ☐ Photographs of existing conditions including façade of the building.
 - ☐ If the new location is within the city limits, provide a site plan and drawings of any new improvements. (If the building is to be located in a Historic Preservation zoning district, a Certificate of Appropriateness will also be required.)

12. AGREEMENT – Unless the property owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, all owners of record must sign the application. If the applicant is different than the property owner, the application must be signed by both parties.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if the Certificate of Demolition or Certificate of Relocation is approved that a demolition inspection, archeological review, and building permit from the city are required prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME Steven Bunniger DATE 10-4-18

SIGNATURE OF APPLICANT [Signature]

PRINT 1st OWNER'S NAME Henry F Green III DATE 10-4-18

SIGNATURE OF 1st PROPERTY OWNER [Signature]

PRINT 2nd OWNER'S NAME _____ DATE _____

SIGNATURE OF 2nd PROPERTY OWNER _____

PRINT 3rd OWNER'S NAME _____ DATE _____

SIGNATURE OF 3rd PROPERTY OWNER _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

APPLICATIONS FOR CERTIFICATES OF DEMOLITION AND RELOCATION

The applicant shall submit a completed application on or before the monthly deadline in order for it to be placed on the following month's Historic Architectural Review Board (HARB) agenda. The board meets the third Thursday of each month unless otherwise scheduled. Failure to submit a substantially complete application may result in a continuance of the request.

In the event that the property owner is not a governmental agency; licensed business or company; incorporated organization; or an administered estate, all property owners of record must sign the application.

All Certificate of Demolition applications are reviewed by city staff for consistency and compliance with the 2011, 4th edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. (Copies of this document are available for a fee upon request.) Guidelines include consideration of historic and architectural significance; uniqueness of the building; existing conditions; and potential for relocation.

Within zoning districts HP-1, HP-2 and HP-3, HARB may approve a Certificate of Appropriateness for a replacement structure before approving a Certificate of Demolition. These applications may be reviewed concurrently.

For buildings relocated within any historic preservation zoning district a Certificate of Appropriateness is required for the building's new location.

PUBLIC NOTICE REQUIREMENTS (costs to be assessed to the applicant)

Certificates of Demolition shall meet the following public notice requirements:

1. *Mailed notices* - The applicant shall notify not less than ten (10) days in advance of the date of public hearing, via the United States Postal Service, all adjacent property owners within 150 feet of the boundaries of the subject property. A list of owners is provided by the Planning & Building Department. The applicant shall produce evidence that the mailing was completed by the deadline.
2. *Legal ad* - The city shall publish a legal advertisement for the application in a newspaper of general circulation not less than ten (10) days prior to the public hearing.
3. *Signs* - The city shall post a sign on each street frontage of the property in full view of the public providing notification of the pending hearing not less than seven (7) days in advance of the meeting. The sign shall be maintained by the applicant until final determination has been made.

BOARD REVIEW

Members of HARB review each application at a public hearing where all interested parties have an opportunity to be heard and present evidence. It is the duty of board members to weigh the evidence and render a decision. The board may approve, approve with conditions, continue or deny an application. Conditions that may be stipulated for demolitions include architectural salvage, pre-approval for the design of any new construction, and/or archival documentation of the existing building. Also the board has the option to postpone any demolition for two, 12-month periods. The proposed demolition of any colonial building or designated local landmark requires additional review and approval by the city commission.

After receiving an approval from the HARB and satisfying any stipulated conditions, the applicant may submit a building permit application for demolition based on the approved HARB order of demolition which is effective on the 31st day following the date of the rendered order. Please note that city inspection of the property and a building permit is required before the actual demolition can begin. In certain areas of the city an archeological permit may also be required.

When construction of the new structure is delayed, the site must be cleared and sodded within thirty (30) days of the demolition or relocation. In historic preservation zoning districts (HP-1 through 5) the vacant property must be enclosed by a solid board fence at least 5 ½ feet high.



Owner's Authorization For Agent

Steve Binninger is/are hereby authorized TO ACT ON BEHALF
OF Green Family INC, the owner(s) of those lands described within ☐

the attached application, or ☐ described within the previously filed
Application number: _____, and as described in the attached deed or
other such proof of ownership as may be required, in applying to the City
of St. Augustine's Historic Architectural Review Board, for an application
related to a Certificate of Demolition for the structure located at:

BY: _____

Signature of Owner

Print Name of Owner

Telephone Number

State of _____

County of _____

Signed and sworn before me on this _____ day of _____, 20__.

By _____

Identification verified:

Oath sworn: _____ Yes _____ No

Notary Signature: _____

My Commission expires: _____



RECEIVED
OCT 12 2018
Planning / Building Dept.

2732
②

Public Records of
St. Johns County, FL
Clerk# 02-068977
O.R. 1852 PG 311
02:21PM 11/22/2002
REC \$9.00 SUR \$1.50
Doc Stamps \$420.00

Prepared by and return to:
John Galletta, Jr., Esquire
4100 A1A South
St. Augustine, Florida 32080

Property Identification No. 109030-0110

Warranty Deed

This Indenture, Made this 28th day of May, 2002 between, **WAYNE G. DAVIS, an unmarried man**, grantor*, whose post office address is: 55 Masters Drive, St. Augustine, Florida 32084 and **GREEN FAMILY INVESTMENTS, LTD.**, a Florida Limited Partnership, grantee*, whose post office address is P.O. Box 1568, St. Augustine, Florida 32085-1568.

*"grantor" and "grantee" are used for singular or plural, as context requires

WITNESSETH: That said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold, to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in St. Johns County, Florida, to wit:

**LOTS 11 AND 13 OF BLOCK 34-B OF RAVENSWOOD SUBDIVISION,
ACCORDING TO MAP OR PLAT THEREOF RECORDED IN MAP OF
ST. AUGUSTINE, DATED 1918, OF THE PUBLIC RECORDS OF ST.
JOHNS COUNTY, FLORIDA.**

SUBJECT TO RESTRICTIONS, RESERVATIONS AND LIMITATION OF RECORD, IF ANY,
AND TAXES FOR THE YEAR 2002 AND SUBSEQUENT YEARS.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Witnesses:

Luanne E. Hickey
(witness signature)
Print witness name Luanne E. Hickey

John Galletta, Jr.
(witness signature)
Print witness name John Galletta, Jr.

Wayne G. Davis
Wayne G. Davis

0R1852P6 312

STATE OF FLORIDA
COUNTY OF ST. JOHNS

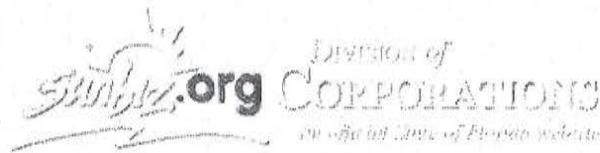
THE FOREGOING instrument was acknowledged before me this 28th day of May,
2002, by WAYNE G. DAVIS, who is personally known to me or who produced
Pers. Known as identification.

Luanne R. Hickey
Notary Public
My commission expires: 10/10/03



Luanne R. Hickey
MY COMMISSION # CC878541 EXPIRES
October 10, 2003
BONDED THRU TROY FAIR INSURANCE, INC.

COPY



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Limited Partnership
GREEN FAMILY INVESTMENTS, LTD.

Filing Information

Document Number A98000000877
FEI/EIN Number 59-3504300
Date Filed 04/07/1998
State FL
Status ACTIVE

Principal Address

2 CHARLES STREET
ST. AUGUSTINE, FL 32084

Changed: 03/06/2009

Mailing Address

P.O. BOX 1568
ST. AUGUSTINE, FL 32085

Registered Agent Name & Address

GREEN, HENRY FRED
2 CHARLES STREET
ST. AUGUSTINE, FL 32095

General Partner Detail

Name & Address

Document Number 239597

C.F. HAMBLIN, INC.
P.O. BOX 1568
ST. AUGUSTINE, FL 32085

Annual Reports

Report Year	Filed Date
2016	03/14/2016
2017	03/13/2017
2018	04/14/2018

Document Images

10/22/2018

Detail by Entity Name

04/14/2018 -- ANNUAL REPORT	View image in PDF format
03/13/2017 -- ANNUAL REPORT	View image in PDF format
03/14/2016 -- ANNUAL REPORT	View image in PDF format
03/19/2015 -- ANNUAL REPORT	View image in PDF format
03/13/2014 -- ANNUAL REPORT	View image in PDF format
02/18/2013 -- ANNUAL REPORT	View image in PDF format
02/14/2012 -- ANNUAL REPORT	View image in PDF format
02/10/2011 -- ANNUAL REPORT	View image in PDF format
02/11/2010 -- ANNUAL REPORT	View image in PDF format
03/06/2009 -- ANNUAL REPORT	View image in PDF format
03/17/2008 -- ANNUAL REPORT	View image in PDF format
03/23/2007 -- ANNUAL REPORT	View image in PDF format
03/03/2006 -- ANNUAL REPORT	View image in PDF format
02/16/2005 -- ANNUAL REPORT	View image in PDF format
03/17/2004 -- ANNUAL REPORT	View image in PDF format
01/23/2003 -- ANNUAL REPORT	View image in PDF format
02/01/2002 -- ANNUAL REPORT	View image in PDF format
03/14/2001 -- ANNUAL REPORT	View image in PDF format
03/31/2000 -- ANNUAL REPORT	View image in PDF format
01/04/1999 -- ANNUAL REPORT	View image in PDF format
04/07/1998 -- Domestic LP	View image in PDF format

Florida Department of State, Division of Corporations

10/16/19 Received





OCT 16 2018

Planning Building Dept.



RECEIVED
OCT 16 2011



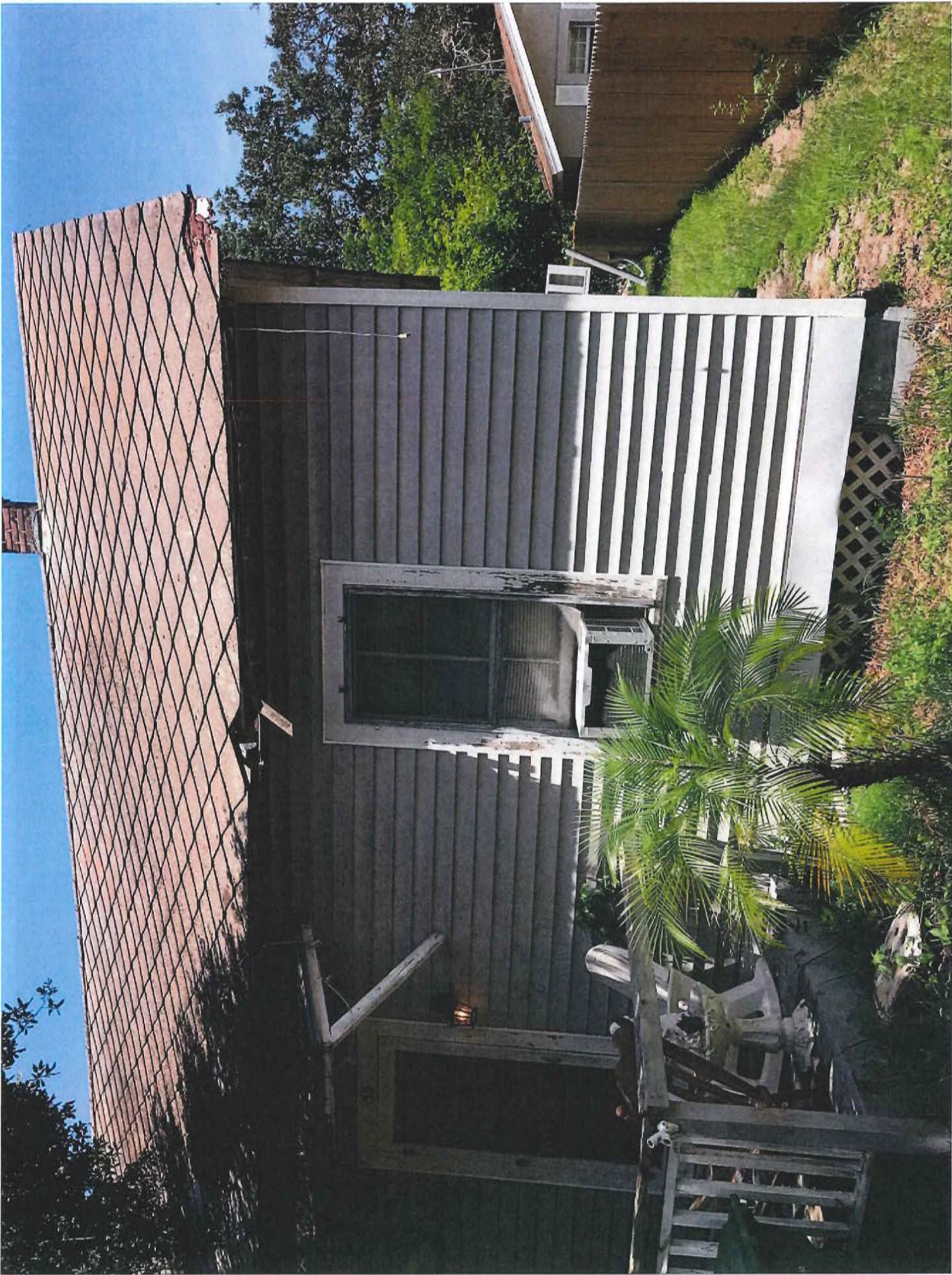
RECEIVED: 10/16/18



Received 10/16/18



11191101 PAVIMENTA





10/16/18



St. Johns County, FL

Quick Links

[My Tax Bill](#)
[Tax Estimator](#)
[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 1090300110
 Location Address 55 MASTERS DR
 SAINT AUGUSTINE 32084-0000
 Neighborhood MASTERS COMMERCIAL (434.01)
 Tax Description* RAVENSWOOD SUB BLK 34-B LOTS 11 & 13 OR1852/311
 *The Description above is not to be used on legal documents.
 Property Use Code Single Family (0100)
 Subdivision Ravenswood Subdivision
 Sec/Twp/Rng 41-7-29
 District City of St Augustine (District 452)
 Millage Rate 20.4933
 Acreage 0.340
 Homestead N

View Map

Owner

Owner Name Green Family Investments Ltd 100%
 Mailing Address PO BOX 1568
 SAINT AUGUSTINE, FL 32085-1568

Valuation

	2018
Building Value	\$27,505
Extra Features Value	\$0
Total Land Value	\$49,500
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$77,005
Total Deferred	\$1,323
Assessed Value	\$75,682
Total Exemptions	\$0
Taxable Value	\$75,682

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$19,302	\$0	\$49,500	\$0	\$0	\$68,802	\$68,802	\$0	\$68,802
2016	\$19,302	\$0	\$49,500	\$0	\$0	\$68,802	\$65,737	\$3,065	\$65,737
2015	\$14,761	\$0	\$45,000	\$0	\$0	\$59,761	\$59,761	\$0	\$59,761
2014	\$13,893	\$0	\$45,000	\$0	\$0	\$58,893	\$58,893	\$0	\$58,893
2013	\$13,893	\$0	\$45,000	\$0	\$0	\$58,893	\$58,893	\$0	\$58,893
2012	\$13,893	\$0	\$45,000	\$0	\$0	\$58,893	\$58,893	\$0	\$58,893
2011	\$13,893	\$0	\$48,750	\$0	\$0	\$62,643	\$62,643	\$0	\$62,643
2010	\$13,893	\$0	\$56,250	\$0	\$0	\$70,143	\$70,143	\$0	\$70,143

Building Information

Building

1

Roof Structure

Gable Hip

Actual Area 1275
 Conditioned Area 1065
 Actual Year Built 1910
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Aluminum Vinyl

Roof Cover Asbestos
 Interior Flooring Carpet, Sheet Vinyl
 Interior Wall Drywall
 Heating Type None
 Heating Fuel
 Air Conditioning Window
 Baths

Category	Type	Pct
Exterior Wall	Aluminum Vinyl	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Asbestos	100%
Interior Walls	Drywall	100%
Interior Flooring	Carpet	80%
Interior Flooring	Sheet Vinyl	20%
Heating Type	None	100%
Air Conditioning	Window	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Average	100%
Foundation	Piers and Posts	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	1065	1065
FINSH DECK	0	140
PATIO	0	70
Total SqFt	1065	1275

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	100	150	15000	SF	\$49,500

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	5/28/2002	\$60,000.00	WD	1852	311	Q	I	DAVIS WAYNE G	GREEN FAMILY INVESTMENTS LTD
	8/27/1996	\$100.00	PR	1192	428	U	I	DAVIS AGNES E ESTATE BY PERS REPS	DAVIS WAYNE G
	2/5/1996	\$0.00	OI	1154	873	U	I	DAVIS AGNES E (DECEASED 12/24/95)	DAVIS AGNES E ESTATE

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

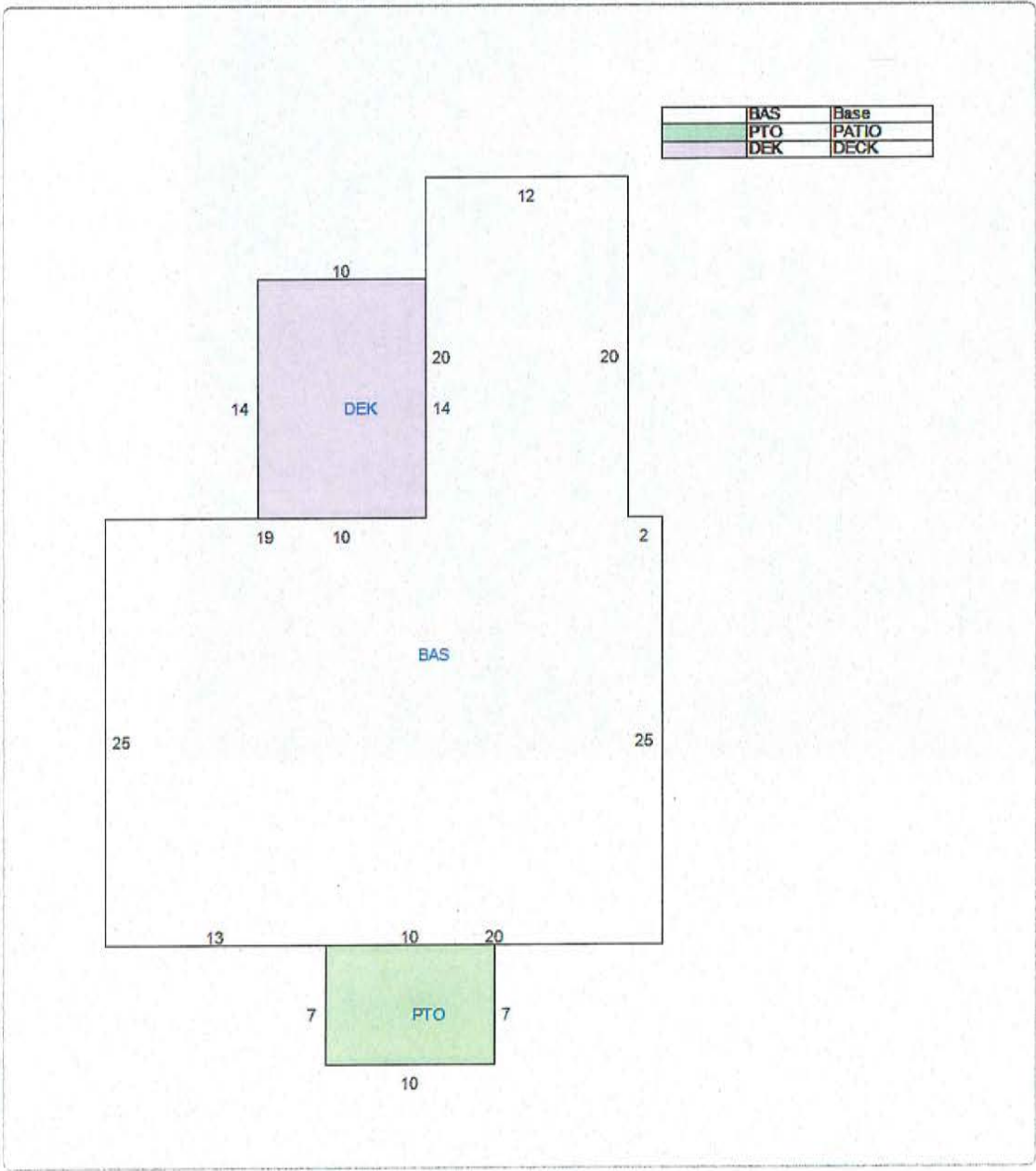
Tax Estimator

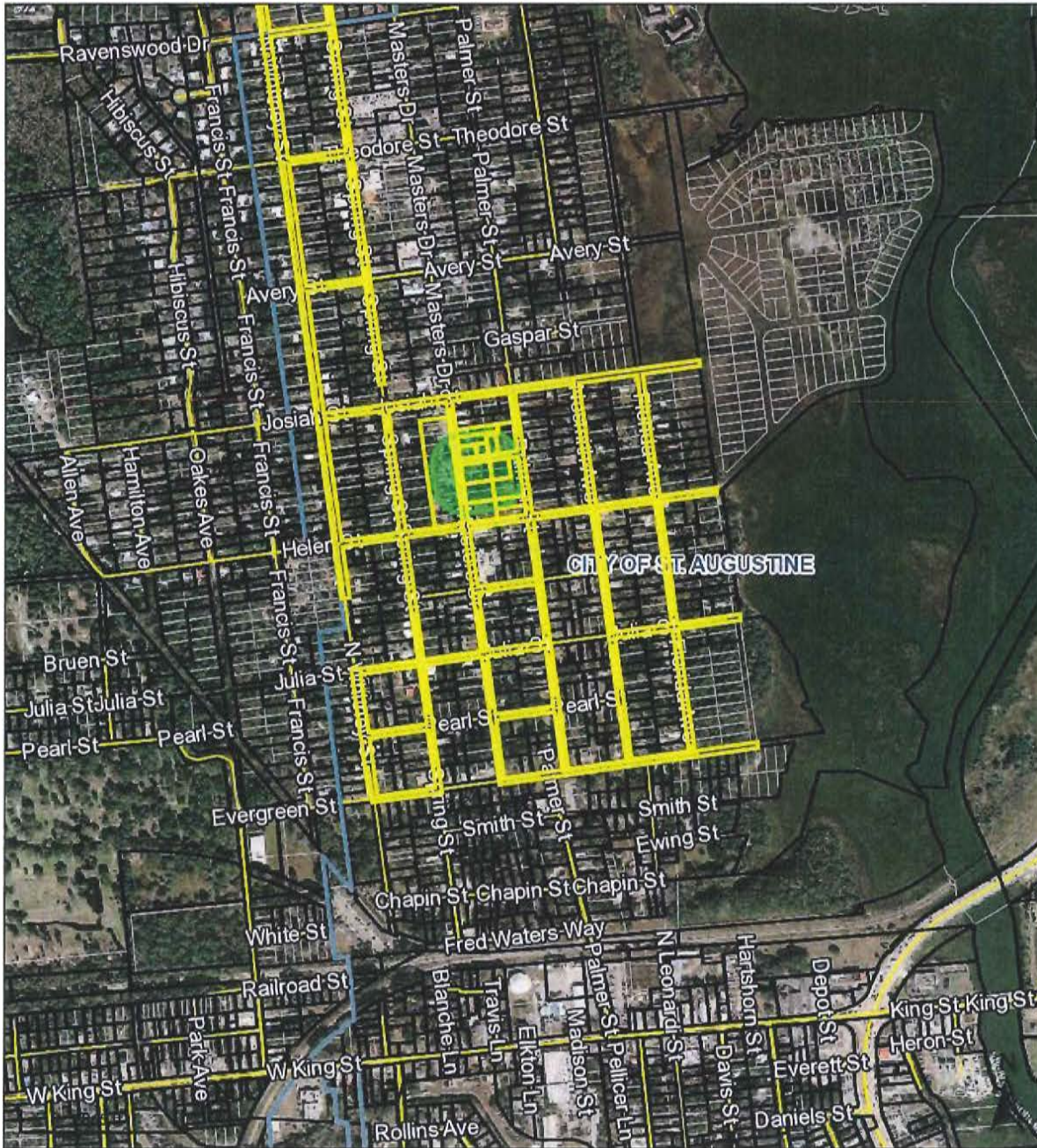
[Tax Estimator](#)

Map



Sketches





Overview



Legend

- Parcels
- Cities

Date created: 10/15/2018

Last Data Uploaded: 10/12/2018 11:33:10 PM

Developed by  Schneider
GEOSPATIAL



St. Johns County, FL

Parcel Results

15 Results

Parcel ID	Owner	Property Address	Legal Description	Map
1066610001	RAVENSWOOD		RAVENSWOOD	Map
1088000000	HANSSON TRUST CALLEN LANCE C CULLEN KRISTON ROBINSON	62 MASTERS DR 48 MASTERS DR 50 MASTERS DR 52 MASTERS DR 54 MASTERS DR 56 MASTERS DR 58 MASTERS DR 60 MASTERS DR 64 MASTERS DR 66 MASTERS DR	RAVENSWOOD SUB LOTS 1 THRU 10	Map
1088900000	ROREX JACQUELINE D	59 MASTERS DR	RAVENSWOOD SUB S63FT OF LOT 1	Map
1088900010	GILBERT JOHN, ROSA L GILBERT ROSA L	61 MASTERS DR	RAVENSWOOD SUB N37FT OF LOTS 1	Map
1089000000	STIPP GEORGE L	8 MC WILLIAMS ST	RAVENSWOOD SUB E10 OF S63FT OF	Map
1089100000	TURNER JOHN W JR	6 MC WILLIAMS ST	RAVENSWOOD SUB LOT 4 BLK 34-A	Map
1089200001	HOBBS CHAS R, DOROTHY A HOBBS DOROTHY A	4 MC WILLIAMS ST	RAVENSWOOD SUB LOTS 5 & 6 & E	Map
1089200070	GILBERT ROSA L, JOHN GILBERT JOHN	63 MASTERS DR	RAVENSWOOD SUB N37FT OF LOT 7	Map
1089200080	SHULER JACK ETAL NELSON SANDRA KAY	MASTERS DR	RAVENSWOOD SUB S13 OF W64FT OF	Map
1090000000	ELLISON KATHI LOUISE	104 PALMER ST	RAVENSWOOD SUB N1/2 OF LOTS 4	Map
1090200000	VILLADONIGA RICHARD, LISETTE VILLADONIGA LISETTE	53 MASTERS DR	RAVENSWOOD SUB BLK 34-B LOTS 7 & 9	Map
1090200020	VILLADONIGA RICHARD VILLADONIGA LISETTE ROBLES	MASTERS DR	RAVENSWOOD SUB BLK 34-B LOTS 1 2 3	Map
1090300000	SERRA KATHERINE	1 MC WILLIAMS ST	RAVENSWOOD SUB LOTS 8 10 & E	Map
1090300110	GREEN FAMILY INVESTMENTS LTD	55 MASTERS DR	RAVENSWOOD SUB BLK 34-B LOTS	Map
1090400000	SANDY ROBERT L JR, DEBORAH JO SANDY DEBORAH JO	3 MC WILLIAMS ST	RAVENSWOOD SUBD W100FT OF LOTS	Map

Field Export

15 Results

Download Format:

Excel (.xlsx)

Download

Mailing Labels

15 Results

Download format:

Address labels (5160)

Additional mailing label options:

☐ Show parcel id on label

Skip labels:

0

For best results, uncheck "Fit to Page" in your print settings.

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CITY OF
ST. AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0140

Address: 478 Arricola Avenue

Shawn and Renee Aunchman – Owners and Applicants

Project description: To demolish a building constructed in 1955 that is recorded in the Florida Master Site File and is not located in a National Register Historic District.

Architectural Style: Ranch	Florida Master Site File: SJ6182
National Register: N/A	Construction date: 1955
Archaeology Zone: N/A	Zoning District: RS-2
Parcel number: 221760 0000	
Agenda Item: 8(d)	Previous Action(s): N/A

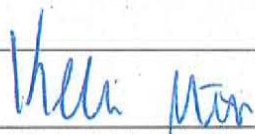
STAFF SUMMARY AND ANALYSIS:

To demolish a building constructed in 1955 that is recorded on the Florida Master Site File and is not located in a National Register Historic District.

- The building was deemed substantially damaged due to a flood event that took place during Hurricane Irma. Interior photographs show that sections of drywall and flooring have been removed, which is consistent with a flooding event.
- A building condition assessment was not provided and is not required since the building is not located in a National Register Historic District.
- Based on the Florida Master Site File, the open garage has been filled in with wood or a material that looks like wood and was made flush with the front porch. It also states that the windows, front entry, and roof, which received a permit to install metal over shingles, have been altered. Based on a 2008 permit application, the screen porch was also a later addition. Even with the alterations, the site file states that the building could contribute to a National Register District if one were to be created.
- There are no known significant historic connections.
- Renderings for the proposed building and a cost estimate for the new building were provided by the applicant.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Approve a Certificate of Demolition for 478 Arricola Avenue.**



Kelli Mitchell, Historic Preservation Planner

COD F2018-0140
478 Arricola Avenue
November 15, 2018

APPLICATION REQUIREMENTS, ELIGIBILITY FOR DEMOLITION REVIEW, CONDITIONS FOR DEMOLITION APPROVAL:

Eligibility for Demolition Review (Section 28-87(3), CoSA Code of Ordinances)

The Historic Architectural Review Board (HARB) is responsible for the review of all applications for demolition permits for structures that are fifty (50) years of age or older, listed on the Florida Master Site File, or designated as an historical landmark (as defined by Sec. 28-87.10)

National Register Status (Section 28-89, CoSA Code of Ordinances)

A property currently listed on the National Register of Historic Places individually or as a contributing structure in an historic district is afforded additional scrutiny in the demolition review process by: 1) requiring submittal of a condition assessment report performed by a qualified professional; 2) requiring the applicant to prove "undue economic hardship" to justify demolition; and 3) allowing HARB the option to deny the demolition request if an undue economic hardship is not proven and removal of the building or structure will be detrimental to the historic and architectural character of the city.

Local Landmark Designation (Section 28-87(3) & (10), CoSA Code of Ordinances)

HARB is assigned the authority of reviewing all applications for demolition permits for primary structures... for potential designation as an historical landmark. Local "historical landmarks" are defined as a building, object, site or structure of the highest historical, architectural, cultural or archaeological importance and whose demolition, removal, relocation, or alteration would constitute an irreplaceable loss to the character and quality of the city.

Conditions for Demolition Approval (Section 28-89(2)d, CoSA Code of Ordinances)

HARB has the discretion in its review of an application for Certificate of Demolition to require, as conditions for approval, one or more of the following:

- Design of Replacement Building - *As a condition of issuing a certificate of demolition, the board may require the replacement design be approved by the board and that no permit be issued for the demolition of said structure until drawings sufficient for a building permit and all necessary requirements for the construction of a new building have been submitted for the new construction.*
- Architectural Salvage - *As a condition of issuing a certificate of demolition, the board may require, at the applicant's expense, salvage and preservation of significant building materials, architectural details and ornaments, fixtures, and the like for reuse in restoration of other historic properties.*
- Archival Documentation - *The board may also require at the applicant's expense the recording of the structure for archival purposes prior to demolition. The recording may include, but shall not be limited to, photographs and measured drawings.*

According to the Florida Master Site File, the building was constructed in 1955. The structure is recorded on the Florida Master Site File and is not located in a National Register Historic District.

The application requirements are sufficiently met.

DEMOLITION REVIEW CRITERIA (AGHP):

- 1. Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.** Not applicable.
- 2. The contribution of the structure to the mass and scale of the streetscape.** The building contributes to the streetscape which includes buildings of similar mass and scale.
- 3. The impact of the loss of the structure on the streetscape.** Demolition of the structure will reduce the visual continuity in the immediate vicinity.
- 4. Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.** The applicant provided estimates for and renderings of the new structure.
- 5. The historical or cultural merit of the structure.** The building is recorded on the Florida Master Site File. Former residents include Joseph D. Free (1959, 1960, and 1960 City Directories), Revered William C. Collins (1970 City Directories), Lloyd Trumpower (1975 City Directory), Shirley Trumpower (1980 City Directory), Dean C. Mann (1990, 1995, and 2000 City Directories), and Margaret and Dean Mann (Dec. 2006 City Directory).
- 6. The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood.** The building is not located in a National Register Historic District, but the Florida Master Site File states that it could contribute to a district if one were created. If the building is demolished, it will reduce the number of buildings that could contribute to a district if one were created.
- 7. Whether or not the structure is representative of a style or type of architecture or a method of construction.** The home was built in the Ranch Style, which is common in St. Augustine.
- 8. Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.** The building is an example of the Ranch Style, which is a common style in St. Augustine.
- 9. Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The condition of the structure, and the possibility of rehabilitating or relocating the structure.** There is not a high degree of craftsmanship that would make reproduction of the building difficult.
- 10. The justification for the proposed demolition.** The building official deemed the building substantially damaged due to a flood event that took place during Hurricane Irma. Interior photographs show that sections the interior walls and the flooring have been removed, which suggests that the home was impacted by flooding.

COD F2018-0140
478 Arricola Avenue
November 15, 2018

UNREASONABLE OR UNDUE ECONOMIC HARDSHIP:

Defined as an onerous and excessive financial burden that would be placed upon a property owner by the denial of a certificate of demolition or a similar burden which would be placed on a property owner by conditions which the Commission seeks to place on the granting of a certificate. (Section 28-2 CoSA Code of Ordinances)

Is applicant entitled to a Certificate of Demolition independent of any hardship? ☒ Yes ☐ No

Did applicant submit evidence of undue economic hardship? ☐ Yes ☒ No

In any instance where an undue economic hardship, as defined in this chapter, is claimed by a property owner, the property owner may submit to the board any or all of the following information before the board makes a decision on the application for certificate of demolition: (Section 28-89(3) b, CoSA Code of Ordinances)

(Materials submitted by applicant noted with a checked box)

- ☐ 1. An estimate of the cost of the proposed construction, alteration, demolition, or removal;
- ☐ 2. The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; and, in the case of a proposed demolition, after renovation of the existing property for continued use;
- ☐ 3. In the case of a proposed demolition, an estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property;
- ☐ 4. The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
- ☐ 5. The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years;
- ☐ 6. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property;
- ☐ 7. Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years;
- ☐ 8. The assessed value of the property according to the two (2) most recent assessments;
- ☐ 9. The real estate taxes for the previous two (2) years;
- ☐ 10. The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other;

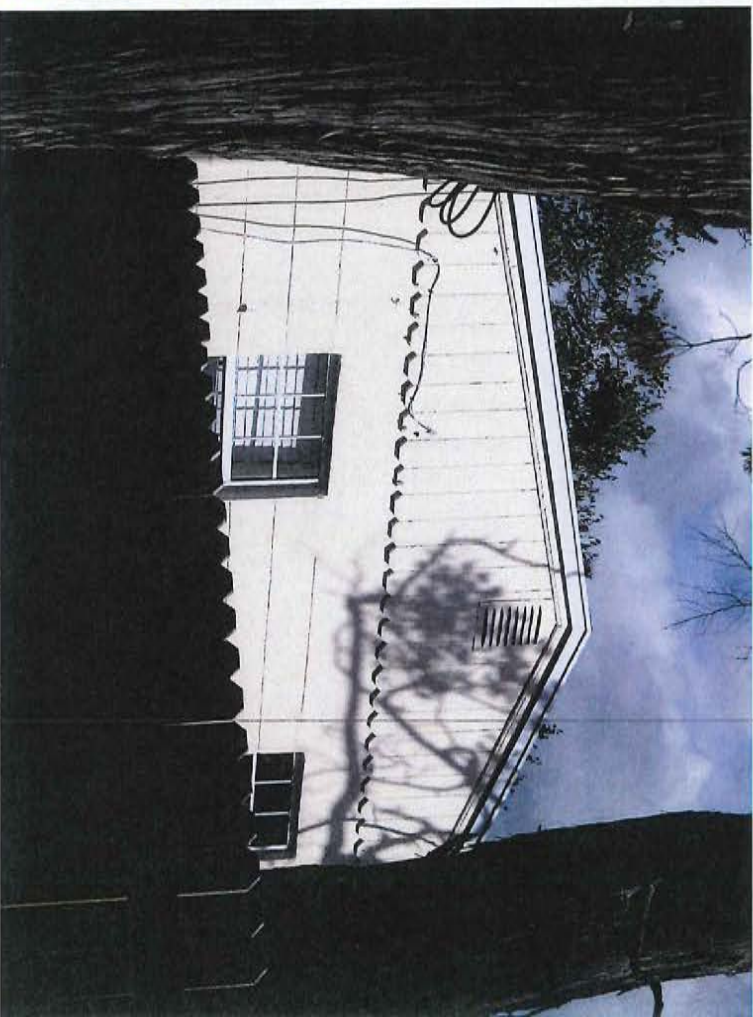
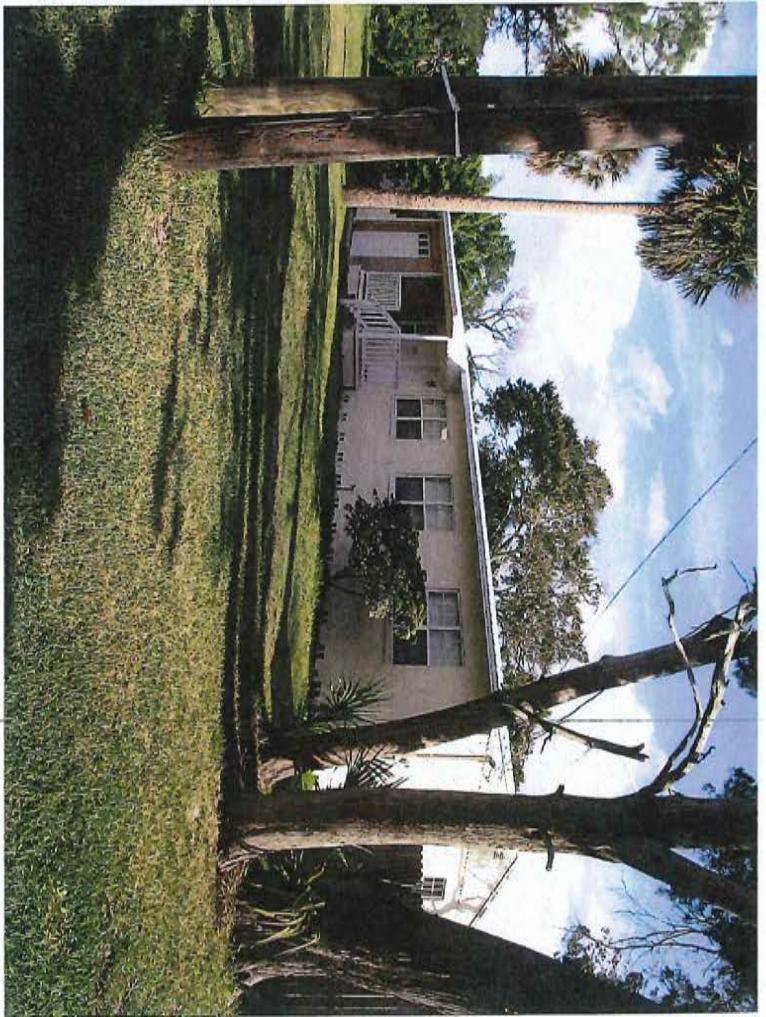
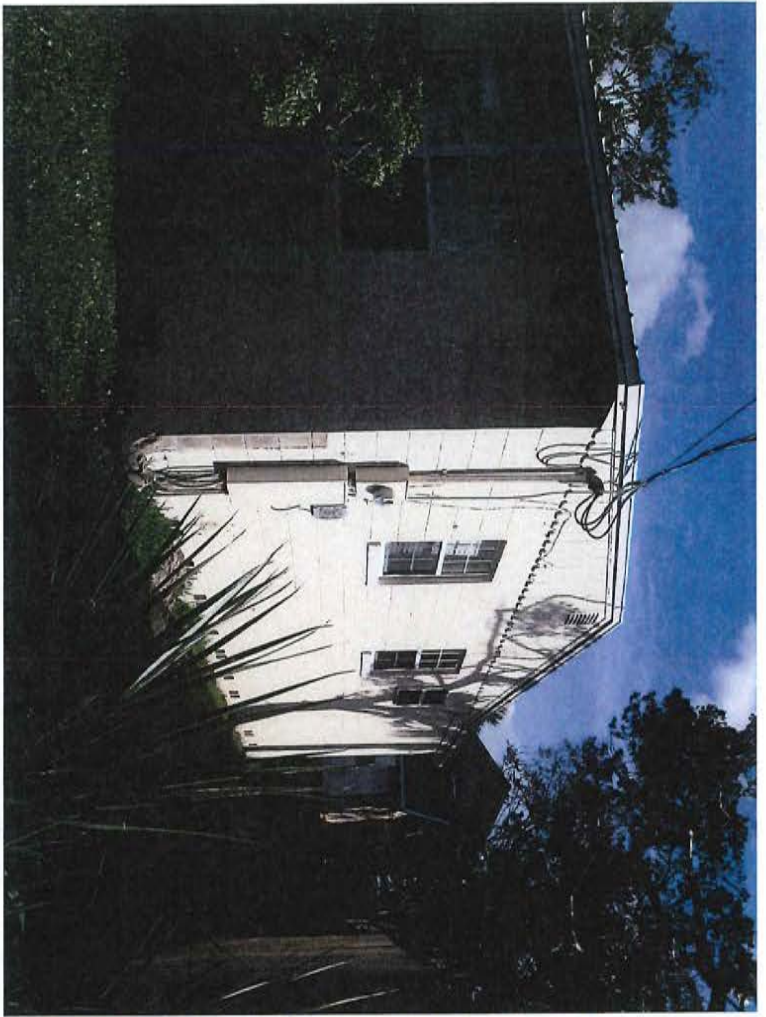
Any other information considered necessary by the board to a determination as to whether the property does yield or may yield a reasonable return to the property owner. The board may require that the property owner furnish such additional information as the board believes is relevant to the board's determination of any alleged undue economic hardship. No decision of the board shall result in undue economic hardship for the property owner. In any case where undue economic hardship is claimed, the board shall make two (2) specific findings. First, the board shall determine if the owner would be entitled to a certificate of demolition without consideration of undue economic hardship. Second, the board shall determine whether the owner demonstrated an undue economic hardship.

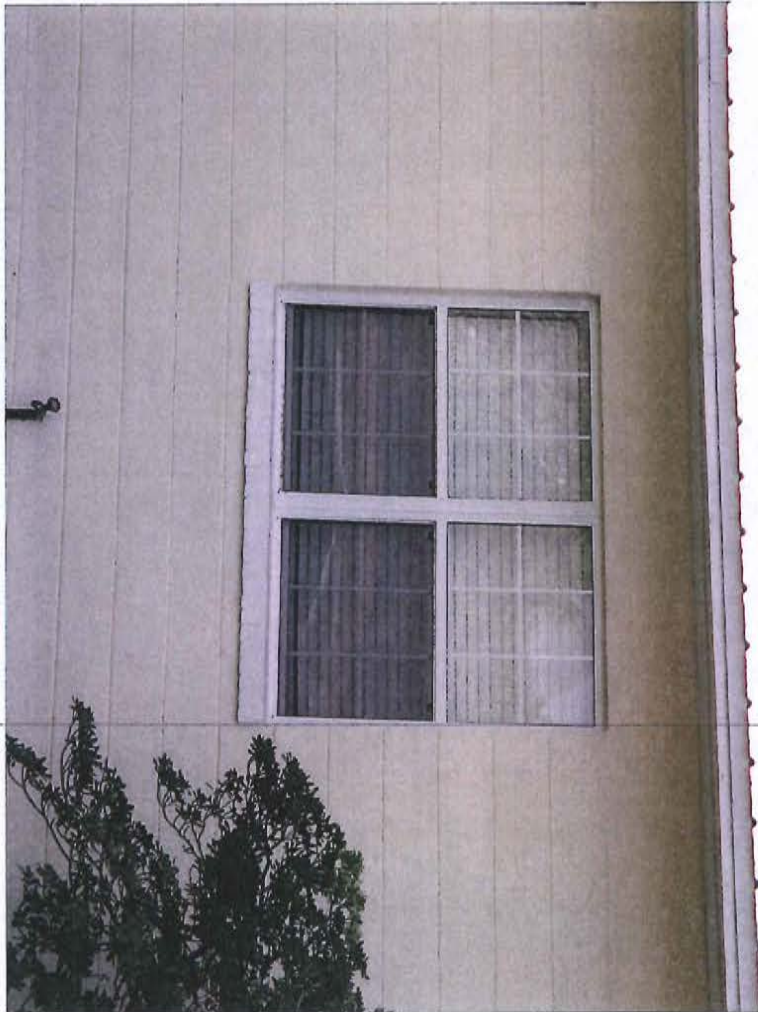
Additional information requested by HARB as per above:

COD F2018-0140
478 Arricola Avenue
November 15, 2018

LIST OF ATTACHMENTS:

1. Staff Photographs
2. Sanborn Maps
3. City Directory Research
4. Florida Master Site File





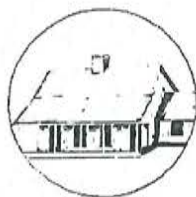


SAHS POLK CITY DIRECTORY RESEARCH

111 Zorafora

DATE(S)	NAME	PROFESSION
1951	John R. Halford	Contractor for a company in Palatka
1955	Not Listed	
1959	John Hooker	
1960	Mrs. Clara A. Hale	
1965	Not Listed	
1970	Not Listed	
1975	Ray Battell	Acctg. Tech Supervisor, State Arsenal
1980	Ray Battell	
1984-1985	Ray Battell	
1990	Ray Battell	
1995	Kristen Klinge	Klinge Group
2000	James Philcox	
Dec. 2006	James and Isle Philcox	

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site #8 SJ06182
 Field Date 5-4-2015
 Form Date 5-4-2015
 Recorder # _____

Site Name(s) (address if none) 478 Arricola Avenue Multiple Listing (DHR only) _____
 Survey Project Name Architectural Survey of Anastasia Is. Structure Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☒ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 478 Direction _____ Street Name Arricola Street Type Avenue Suffix Direction _____
 Address: 478
 Cross Streets (nearest / between) _____
 USGS 7.5 Map Name ST. AUGUSTINE USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) St. Augustine In City Limits? ☒ yes ☐ no ☐ unknown County St. Johns
 Township 7S Range 30E Section 20 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 2217600000 Landgrant _____
 Subdivision Name Davis Shores Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting Northing
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1955 ☐ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Cabin) From (year): _____ To (year): _____
 Current Use Private Residence (House/Cottage/Cabin) From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: _____ Nature Windows roof / front entry
 Additions: ☒ yes ☐ no ☐ unknown Date: _____ Nature Screen porch
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☐ unknown Describe _____

DESCRIPTION

Style Ranch Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Concrete block 2. Wood siding 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Sheet metal: corrugated 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Single and paired 6/6 vinyl replacement with inset muntin brick sills

Distinguishing Architectural Features (exterior or interior ornaments) MD, SP, LPR, SC Carport

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) attached rear screen porch
detached shed mature cedars and carport shade trees - concrete drive

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date

SHPO - Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info

Date

Init.

KEEPER - Determined eligible: ☐ yes ☐ no

Date

☐ Owner ObjectionNR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

HISTORICAL STRUCTURE FORM

Site #8 SJ06182

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) Single wood paneled with storm door flushed with exterior

Porch Descriptions (types, locations, roof types, etc.) Rear screen porch small rect front porch/stoop with extended man roof with dec metal supports and brick steps raised concrete brick and slabb

Condition (overall resource condition): ☐ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource concrete MH carport different material and could have been inset front stoop

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input checked="" type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input checked="" type="checkbox"/> newspaper files | <input checked="" type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input type="checkbox"/> cultural resource survey (CRAS) | <input checked="" type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Windshield Survey</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) _____

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------|--------------------------------|
| 1) Document type _____ | Maintaining organization _____ |
| Document description _____ | File or accession #s _____ |
| 2) Document type _____ | Maintaining organization _____ |
| Document description _____ | File or accession #s _____ |

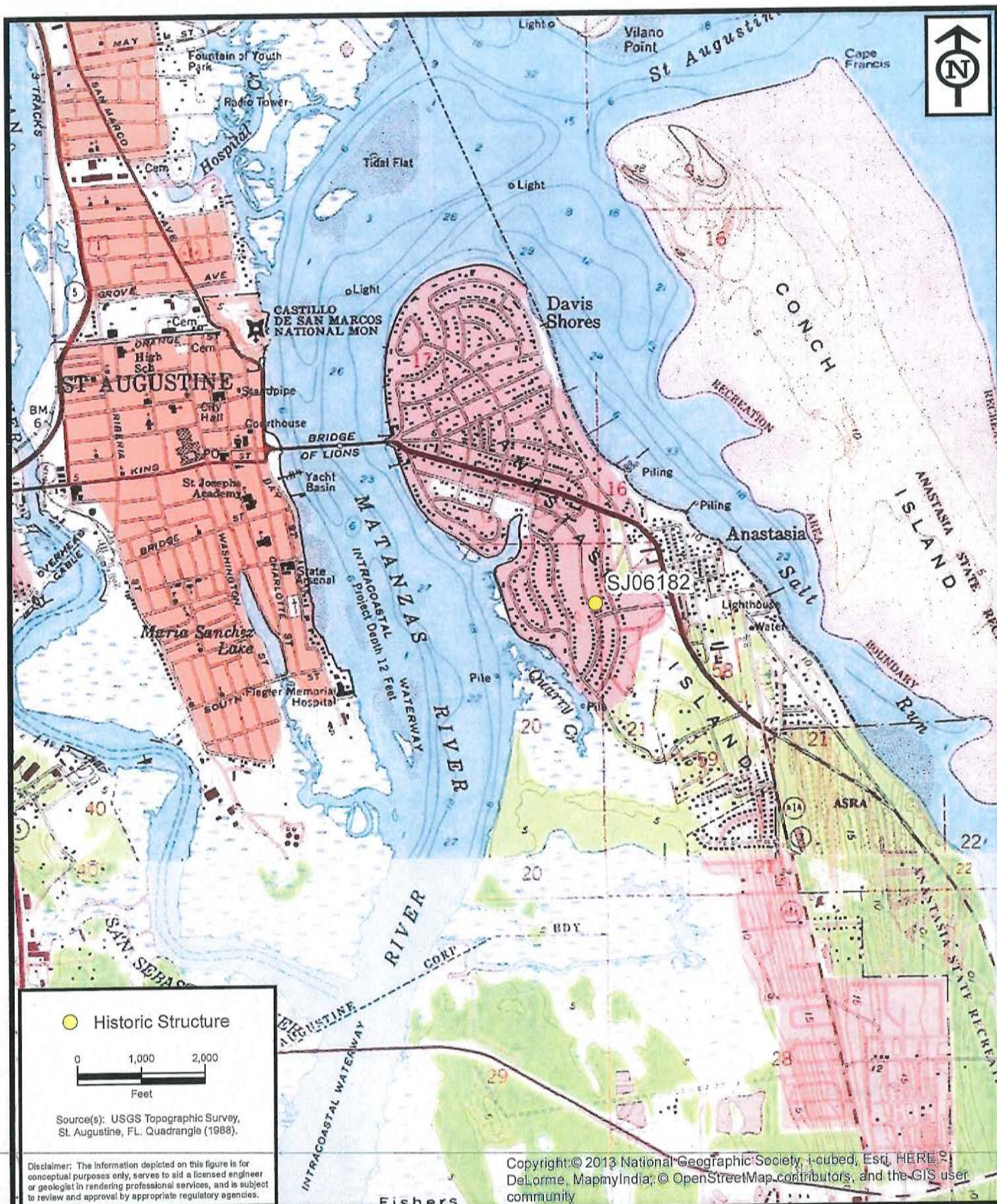
RECORDER INFORMATION

Recorder Name Patricia Davenport Affiliation Environmental Services, Inc.
 Recorder Contact Information 7220 Financial Way, Ste. 100 Jacksonville, FL 32256/ 904-470-2200/pdavenport@esinc.net
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

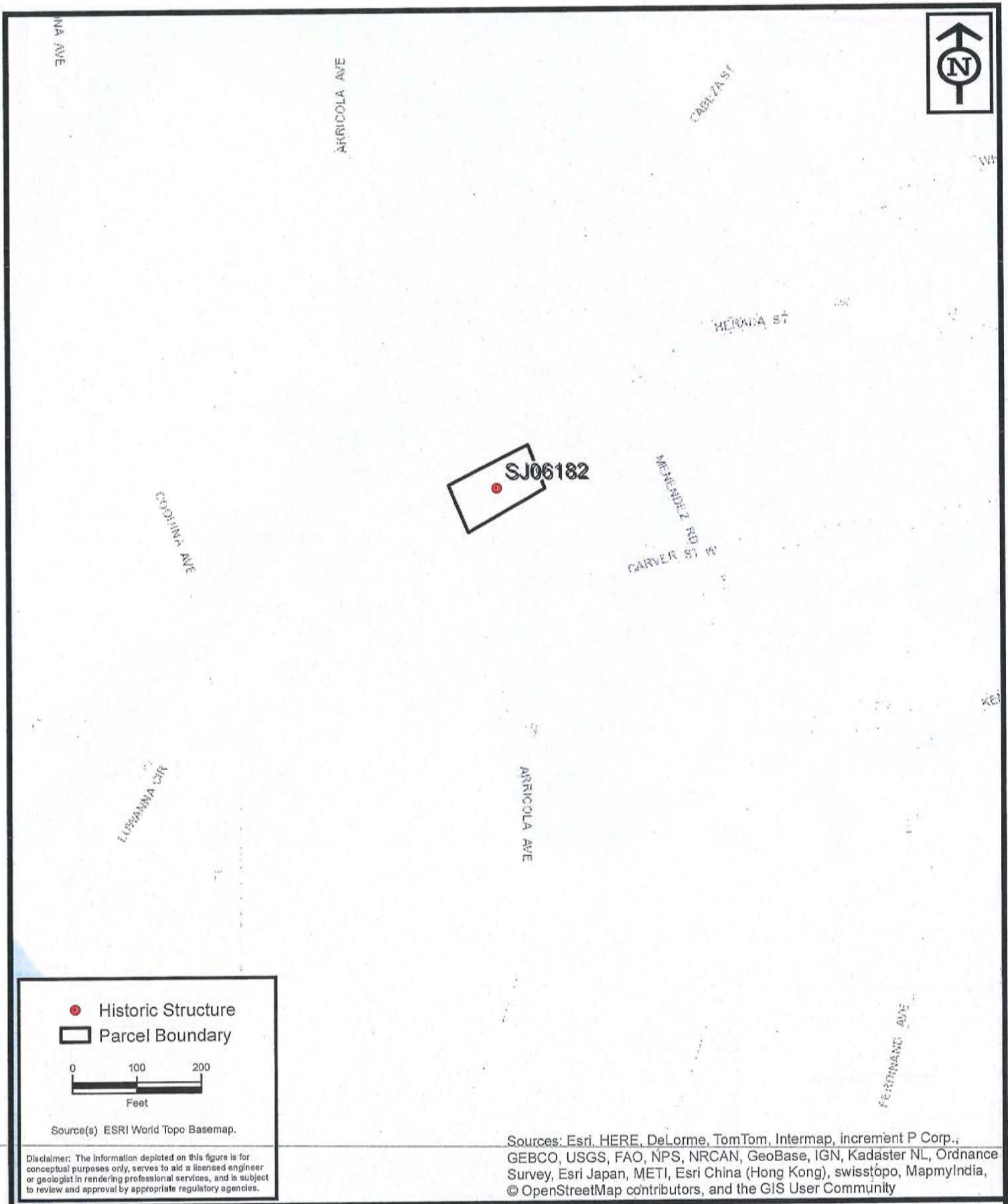


**ENVIRONMENTAL
SERVICES, INC.**

7220 Financial Way, Suite 100
Jacksonville, Florida 32256
(904) 470-2200
(904) 470-2112 Fax
www.environmentalservicesinc.com

Project Location - SJ06182
City of St. Augustine
Historic Structure Survey
St. Johns County, Florida

Project:	AJ15055.00
Date:	May. 2015
Drwn/Chkd:	KWB/JRN
Figure:	1



**ENVIRONMENTAL
SERVICES, INC.**

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City of St. Augustine
Historic Structure Survey
St. Johns County, Florida

Project: AJ15055.00

Date: May. 2015

Drwn/Chkd: KWB/JRN

Figure: 2



ST06782 IMG-1

RECEIVED

OCT 15 2018

Planning/Building Dept.

CITY OF ST AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD
APPLICATION



- ☒ CERTIFICATE OF DEMOLITION
☐ CERTIFICATE OF RELOCATION

Application Fee: \$300.00 full/\$150.00 partial (plus advertising costs) BDAC Project No. 2018-0140

Receipt No. 1466768 Meeting Date Nov. 15, 2018

Advertising Costs \$ _____ Paid on ADD Oct. 15, 2018 Receipt No. _____

1. NAME OF APPLICANT Sham + Renee Aurchman

Business (if applicable) _____

Address 478 Arricola Avenue

City St. Augustine State FL Zip 32080

Daytime telephone (904) 377-4896 Other phone/email (904) 377-4093

***Correspondence related to this application will be based on the above information

2. NAME OF PROPERTY OWNER As Above

Business (if applicable) _____

Address 478 Arricola Ave

City St. Augustine State FL Zip 32080

Daytime telephone (required) (904) 377-4896 Other phone (904) 377-4093

3. PROJECT STREET ADDRESS 478 Arricola Avenue

4. LEGAL DESCRIPTION OF PROPERTY
Lot 26 Block 52 Subdivision Davis Shores Parcel Number 2217600000
& 5 1/2 of 27

5. DATE OF CONSTRUCTION 1955 Source: _____

6. HISTORIC STATUS (check all that apply)

- ☐ Designated Local Landmark
☐ Property individually listed on the National Register of Historic Places
☐ Contributing building in National Register Historic District
☐ Listed on Florida Master Site File
☒ 50 years of age or older

7. PROPOSED PROJECT WORK (check one)

- ☐ PARTIAL DEMOLITION - Permanent removal of any significant architectural features including porches, dormers, chimneys, walls, additions, etc.
☒ FULL DEMOLITION - The complete razing of a building resulting in its permanent removal.
☐ RELOCATION - The moving of all or part of a building from one property and placing it on a different property. Also the shifting or reorientation of all or part of a building on the same property.

8. PROPOSED REPLACEMENT BUILDING/FEATURE: _____

9. FOR PARTIAL DEMOLITION PROJECTS ONLY

A. Indicate architectural features to be permanently removed (check all that apply):

HISTORIC	NOT HISTORIC	NOT SURE	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building addition
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Outbuilding/Accessory building
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fenestration (arrangement of windows and doors)

B. Required submittals:

- ☐ Photographs and/or drawings of elevations and architectural features to be removed.
- ☐ Drawings of proposed improvements and replacement features as applicable.

10. FOR FULL DEMOLITION PROJECTS ONLY

A. Required submittals for all full demolition projects:

- ☒ Photographs of existing conditions including façades of the building and interior features if applicable.
- ☒ Drawings of proposed replacement buildings and or features if applicable.

B. Required submittals for buildings designated as Local Landmarks, individually listed on the National Register of Historic Places, or a contributing building in a National Register Historic District:

- ☒ ☐ *Condition assessment report* - A report from an architect or structural engineer licensed in the State of Florida with demonstrated experience in historic restoration/rehabilitation as to the structural soundness of the building and its adaptability for continued use.
- ☒ ☐ *Proof of unreasonable or undue economic hardship* - the property owner may submit to the board any or all of the following information:
 - ☐ An estimate of the cost of the proposed construction, alteration, demolition, or removal.
 - ☐ The estimated market value of the property in its current condition and after completion of the proposed construction, alteration, demolition, or removal.
 - ☐ An estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
 - ☒ The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any.
 - ☐ The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years.
 - ☐ All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property.
 - ☐ Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years.
 - ☐ The assessed value of the property according to the two (2) most recent assessments;
 - ☐ The real estate taxes for the previous two (2) years.
 - ☐ The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, or joint venture.
 - ☐ Any other information deemed appropriate by the applicant as to how the property does not yield or may not yield a reasonable return to the property owner.

OCT 20 2018

City Building Dept.

11. FOR RELOCATION PROJECTS ONLY

- A. Address or location where building is to be moved: _____
- B. Estimated costs:
- o Purchase price _____
 - o Moving fee (prepared by a licensed and insured building mover) _____
 - o Building rehabilitation _____
- C. Required submittals:
- ☐ Photographs of existing conditions including façade of the building.
 - ☐ If the new location is within the city limits, provide a site plan and drawings of any new improvements. (If the building is to be located in a Historic Preservation zoning district, a Certificate of Appropriateness will also be required.)

12. AGREEMENT – Unless the property owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, all owners of record must sign the application. If the applicant is different than the property owner, the application must be signed by both parties.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if the Certificate of Demolition or Certificate of Relocation is approved that a demolition inspection, archeological review, and building permit from the city are required prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME _____ DATE _____

SIGNATURE OF APPLICANT _____

PRINT 1st OWNER'S NAME Shaun J. Aunchman DATE 10-10-18

SIGNATURE OF 1st PROPERTY OWNER [Signature]

PRINT 2nd OWNER'S NAME Renee Aunchman DATE 10-10-18

SIGNATURE OF 2nd PROPERTY OWNER [Signature]

PRINT 3rd OWNER'S NAME _____ DATE _____

SIGNATURE OF 3rd PROPERTY OWNER _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

APPLICATIONS FOR CERTIFICATES OF DEMOLITION AND RELOCATION

Planning/Building Dept.

The applicant shall submit a completed application on or before the monthly deadline in order for it to be placed on the following month's Historic Architectural Review Board (HARB) agenda. The board meets the third Thursday of each month unless otherwise scheduled. Failure to submit a substantially complete application may result in a continuance of the request.

In the event that the property owner is not a governmental agency; licensed business or company; incorporated organization; or an administered estate, all property owners of record must sign the application.

All Certificate of Demolition applications are reviewed by city staff for consistency and compliance with the 2011, 4th edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. (Copies of this document are available for a fee upon request.) Guidelines include consideration of historic and architectural significance; uniqueness of the building; existing conditions; and potential for relocation.

Within zoning districts HP-1, HP-2 and HP-3, HARB may approve a Certificate of Appropriateness for a replacement structure before approving a Certificate of Demolition. These applications may be reviewed concurrently.

For buildings relocated within any historic preservation zoning district a Certificate of Appropriateness is required for the building's new location.

PUBLIC NOTICE REQUIREMENTS (costs to be assessed to the applicant)

Certificates of Demolition shall meet the following public notice requirements:

1. *Mailed notices* - The applicant shall notify not less than ten (10) days in advance of the date of public hearing, via the United States Postal Service, all adjacent property owners within 150 feet of the boundaries of the subject property. A list of owners is provided by the Planning & Building Department. The applicant shall produce evidence that the mailing was completed by the deadline.
2. *Legal ad* - The city shall publish a legal advertisement for the application in a newspaper of general circulation not less than ten (10) days prior to the public hearing.
3. *Signs* - The city shall post a sign on each street frontage of the property in full view of the public providing notification of the pending hearing not less than seven (7) days in advance of the meeting. The sign shall be maintained by the applicant until final determination has been made.

BOARD REVIEW

Members of HARB review each application at a public hearing where all interested parties have an opportunity to be heard and present evidence. It is the duty of board members to weigh the evidence and render a decision. The board may approve, approve with conditions, continue or deny an application. Conditions that may be stipulated for demolitions include architectural salvage, pre-approval for the design of any new construction, and/or archival documentation of the existing building. Also the board has the option to postpone any demolition for two, 12-month periods. The proposed demolition of any colonial building or designated local landmark requires additional review and approval by the city commission.

After receiving an approval from the HARB and satisfying any stipulated conditions, the applicant may submit a building permit application for demolition based on the approved HARB order of demolition which is effective on the 31st day following the date of the rendered order. Please note that city inspection of the property and a building permit is required before the actual demolition can begin. In certain areas of the city an archeological permit may also be required.

When construction of the new structure is delayed, the site must be cleared and sodded within thirty (30) days of the demolition or relocation. In historic preservation zoning districts (HP-1 through 5) the vacant property must be enclosed by a solid board fence at least 5 ½ feet high.



RECEIVED
OCT 15 2018
Planning/Building Dept.

Owner's Authorization For Agent

_____ is/are hereby authorized TO ACT ON BEHALF
OF _____, the owner(s) of those lands described within ☐
the attached application, or ☐ described within the previously filed
Application number: _____, and as described in the attached deed or
other such proof of ownership as may be required, in applying to the City
of St. Augustine's Historic Architectural Review Board, for an application
related to a Certificate of Demolition for the structure located at:

BY: _____

Signature of Owner

Print Name of Owner

Telephone Number

State of _____

County of _____

Signed and sworn before me on this _____ day of _____, 20__.

By _____

Identification verified:

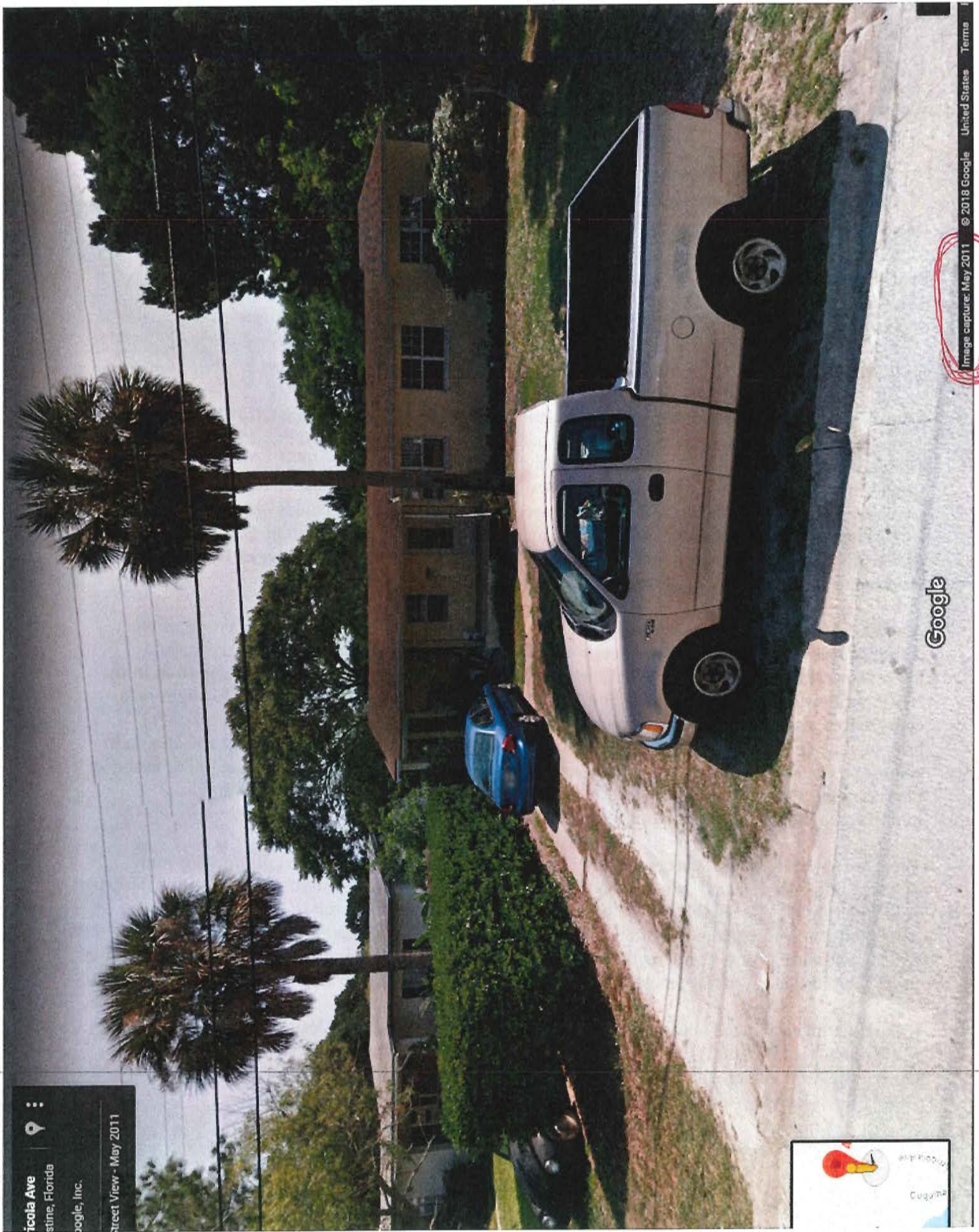
Oath sworn: _____ Yes _____ No

Notary Signature: _____

My Commission expires: _____

ficola Ave
stine, Florida
oogle, Inc.

Street View - May 2011



Google



**CITY OF ST. AUGUSTINE
PLANNING & BUILDING DEPARTMENT
P.O. BOX 210
ST. AUGUSTINE, FL 32085
PHONE: 904-825-1065**

RECEIVED
OCT 15 2018
Planning/Building Dept.

December 19, 2017

Shaun Aunchman
478 Arricola Avenue St.
Augustine, FL 32080

Dear Property Owner:

The City of St. Augustine participates in the National Flood Insurance Program (NFIP). All communities that participate in the NFIP have adopted locally enforced flood hazard area regulations. These regulations contain standards for new, substantially damaged and/or substantially improved structures in identified Special Flood Hazard Areas (SFHA, or the 1% annual chance floodplain, commonly known as 100-year floodplain). In accordance with these regulations, the City of St. Augustine conducted substantial damage determinations for all structures built in the SFHA. **Based on this inspection, your property has been determined to be substantially damaged by the Hurricane Irma flooding event that occurred on September 11, 2017.**

A substantially damaged structure is one that has damage that equals or exceeds 50 percent of the market value of the structure. The damage estimate would be made regardless of the repairs and improvements that may be planned at this time. **To maintain our community's participation in the NFIP, and ensure that your future flood risk is reduced, your structure must be brought into compliance with local flood hazard area regulations.** Please contact me to discuss options for bringing the structure into compliance and to obtain a building permit for this work. If you choose to contest this determination, please provide an Elevation Certificate showing the finished floor is above the Base Flood Elevation, a Florida state licensed contractor's estimate of all repairs and improvements and/or a recent appraisal of the market value of your structure from the past.

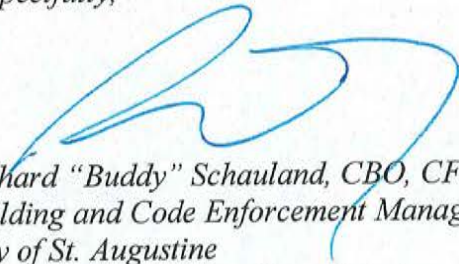
There are several funding sources that may be available to help pay for the cost of bringing your structure into compliance. If you have a flood insurance policy and your structure is located in a SFHA, your structure may be eligible for Increased Cost of Compliance (ICC) funds. ICC provides up to \$30,000 to relocate, elevate or demolish structures or dry-floodproof non-residential structures that must comply with local flood hazard regulations after substantial damage determination. Please contact your flood insurance agent to learn more about whether or not your structure may be eligible for ICC funds.

If the event that damaged your structure results in a Presidential disaster declaration, Hazard Mitigation Grant Program (HMGP) funds may become available to mitigate flood-prone structures. Other FEMA mitigation grants programs may also be available, including: Flood Mitigation Assistance (FMA), Pre-Disaster Mitigation (PDM), and Repetitive Flood Claims (RFC).

Failure to bring this structure into compliance is a violation of local flood hazard area regulations. Section 8-458 contains possible ramifications for failure to comply. Failure to comply will also result in much higher flood insurance premiums for you and/or future owners of the property.

Please contact me at 904.825.1060 to discuss this matter further. Thank you for your cooperation during this difficult recovery period.

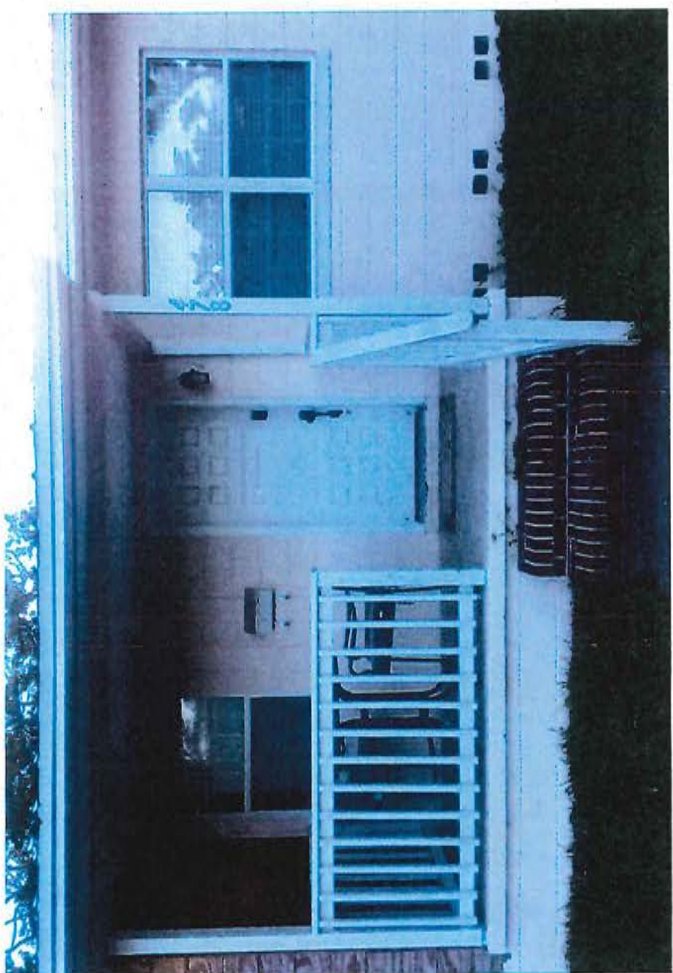
Respectfully,



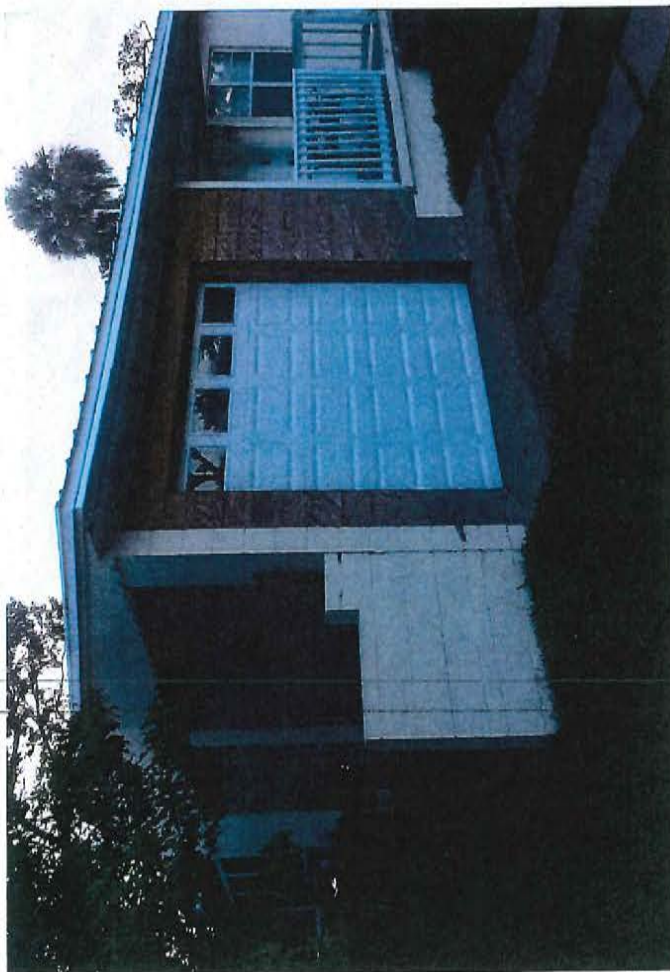
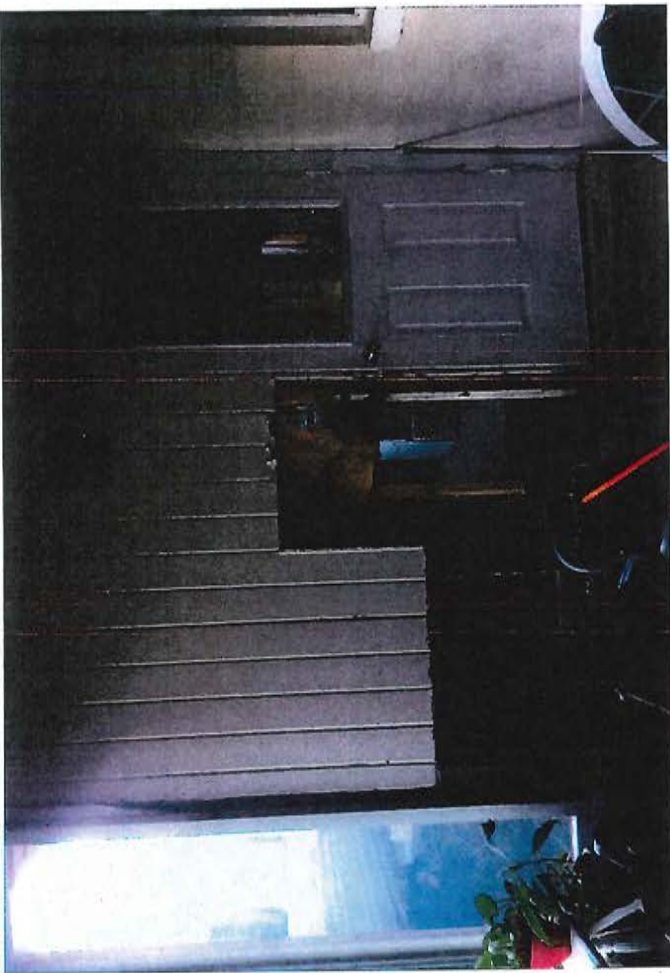
*Richard "Buddy" Schauland, CBO, CFM
Building and Code Enforcement Manager
City of St. Augustine
Planning and Building Department
75 King St. P.O. Box 210
St. Augustine, FL 32085
(904)825-1065*

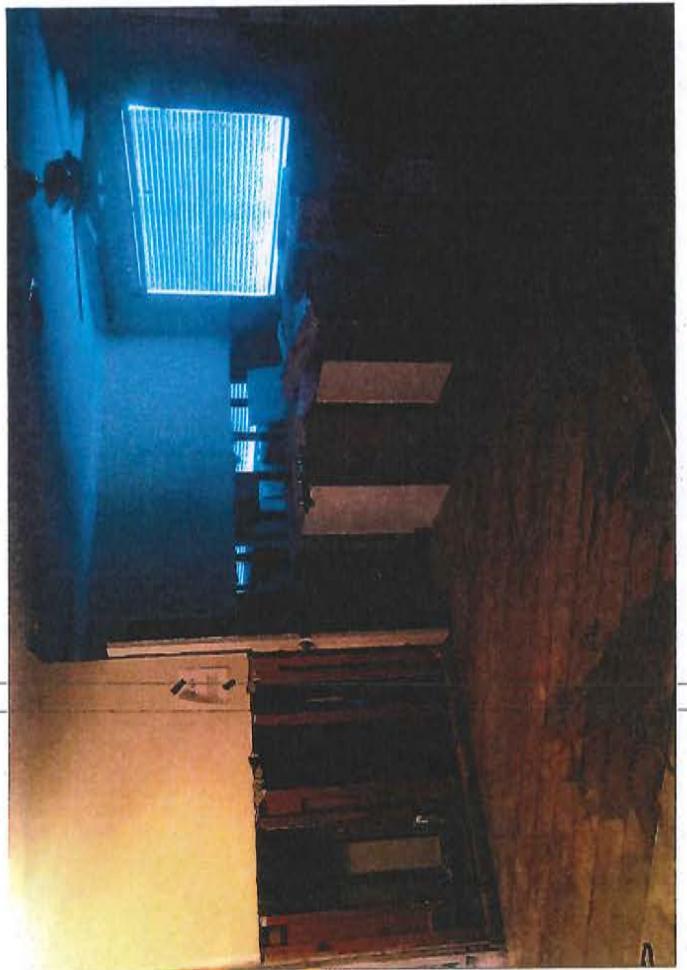
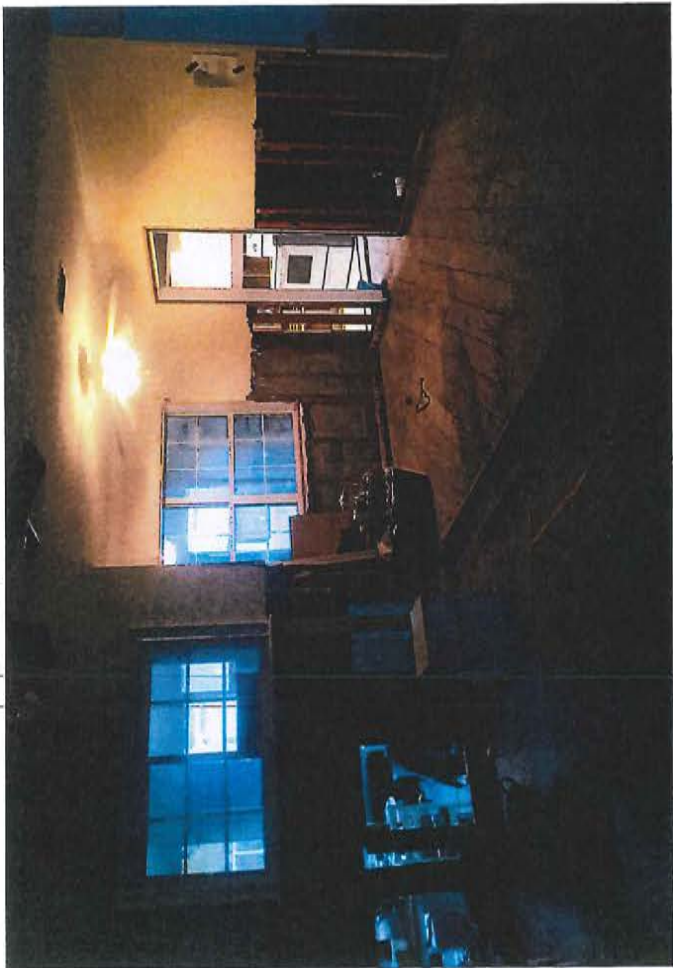
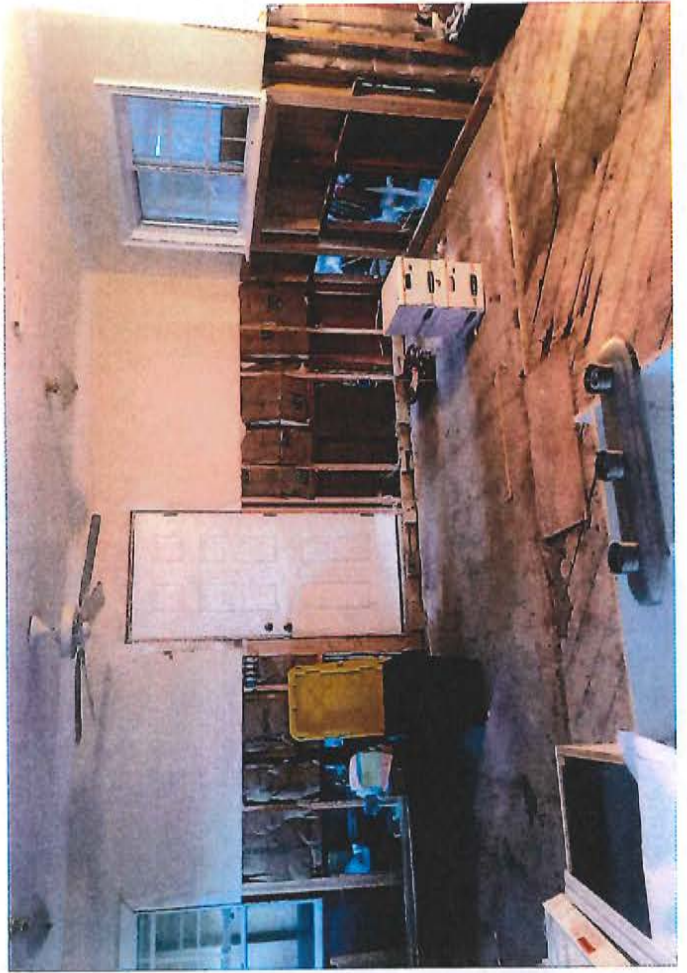
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OCT 15 2018
Planning/Building Dept.



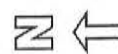








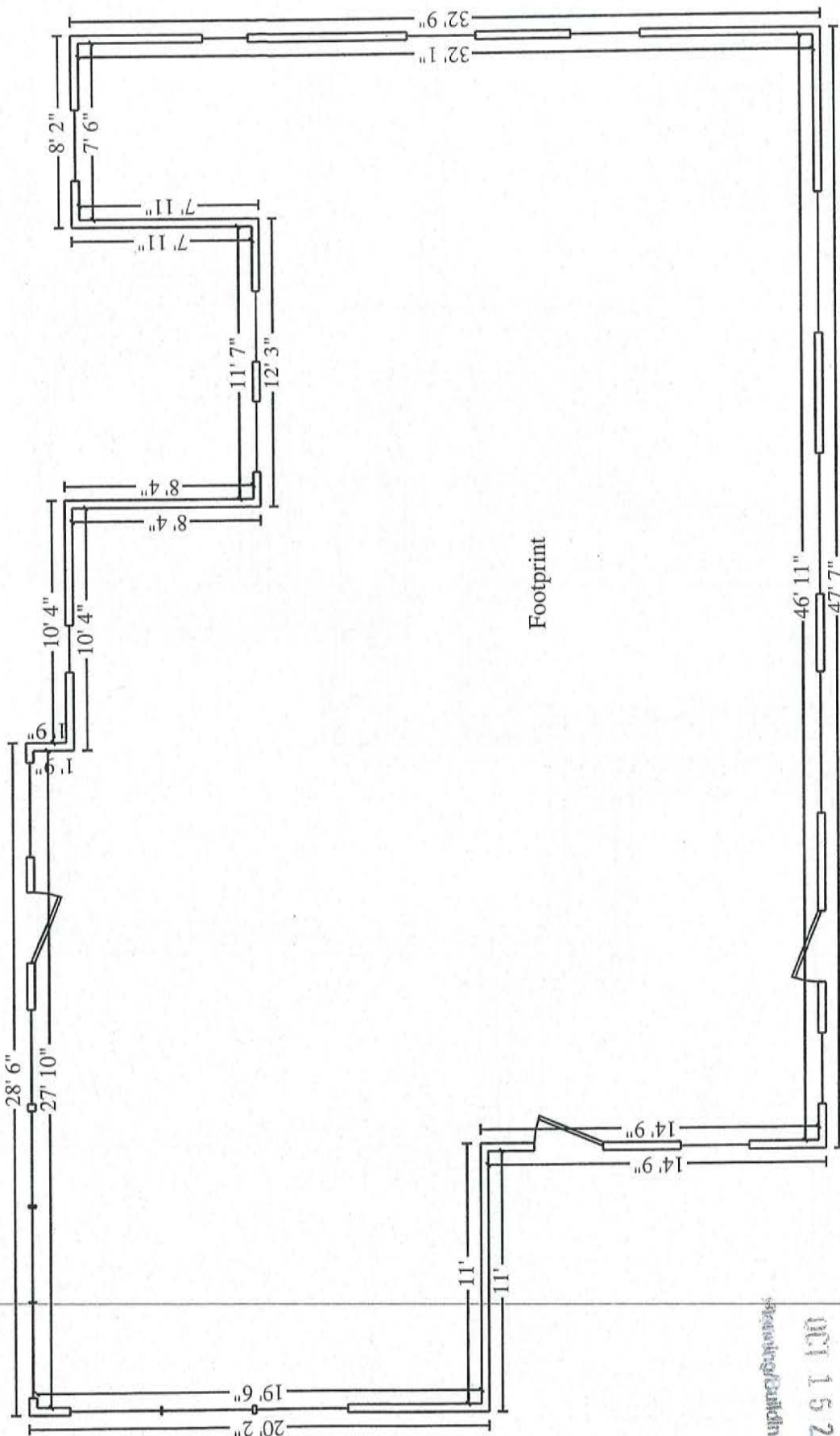
Main Level



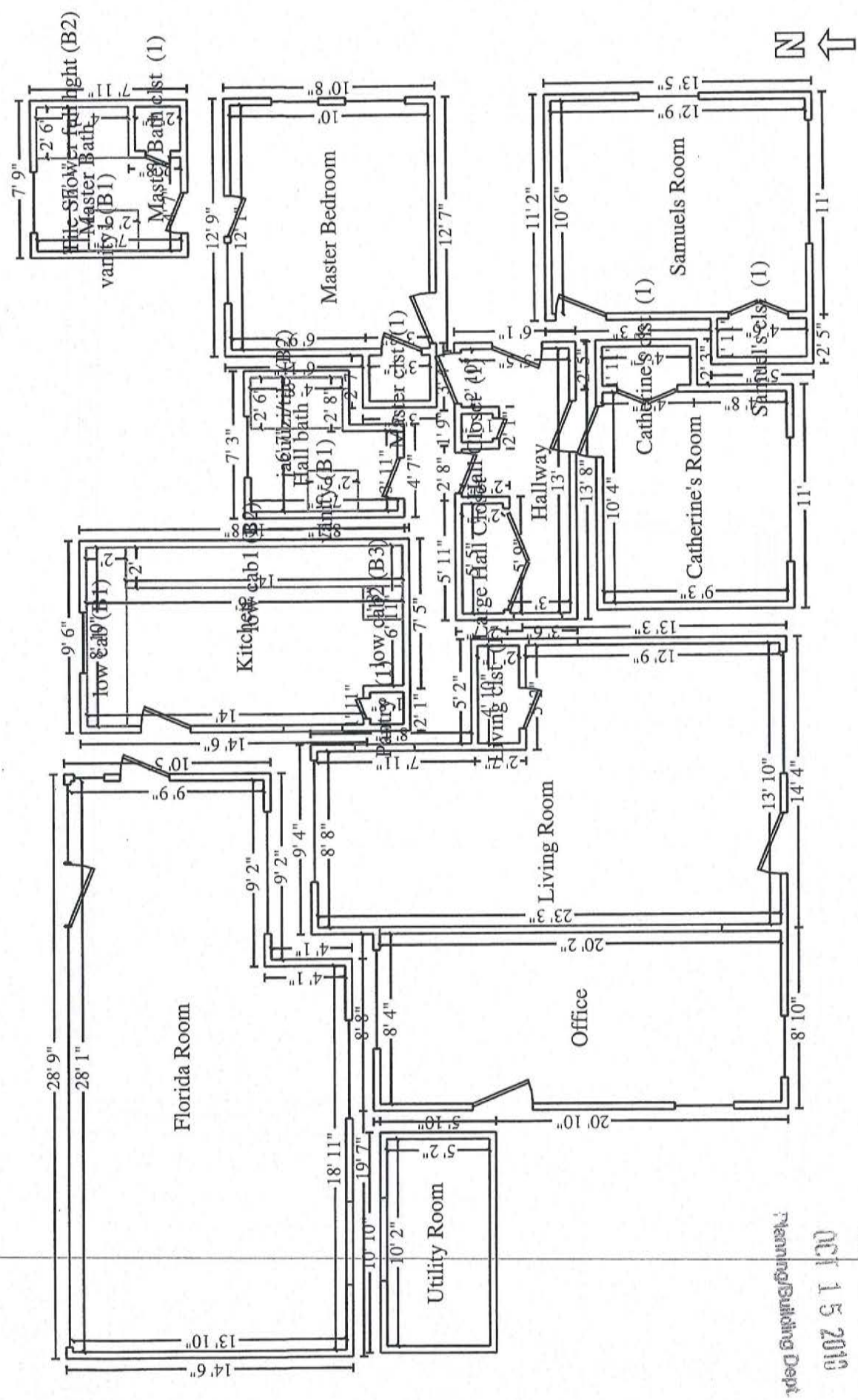
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2015-15

Engineering Building Dept.



Main Level

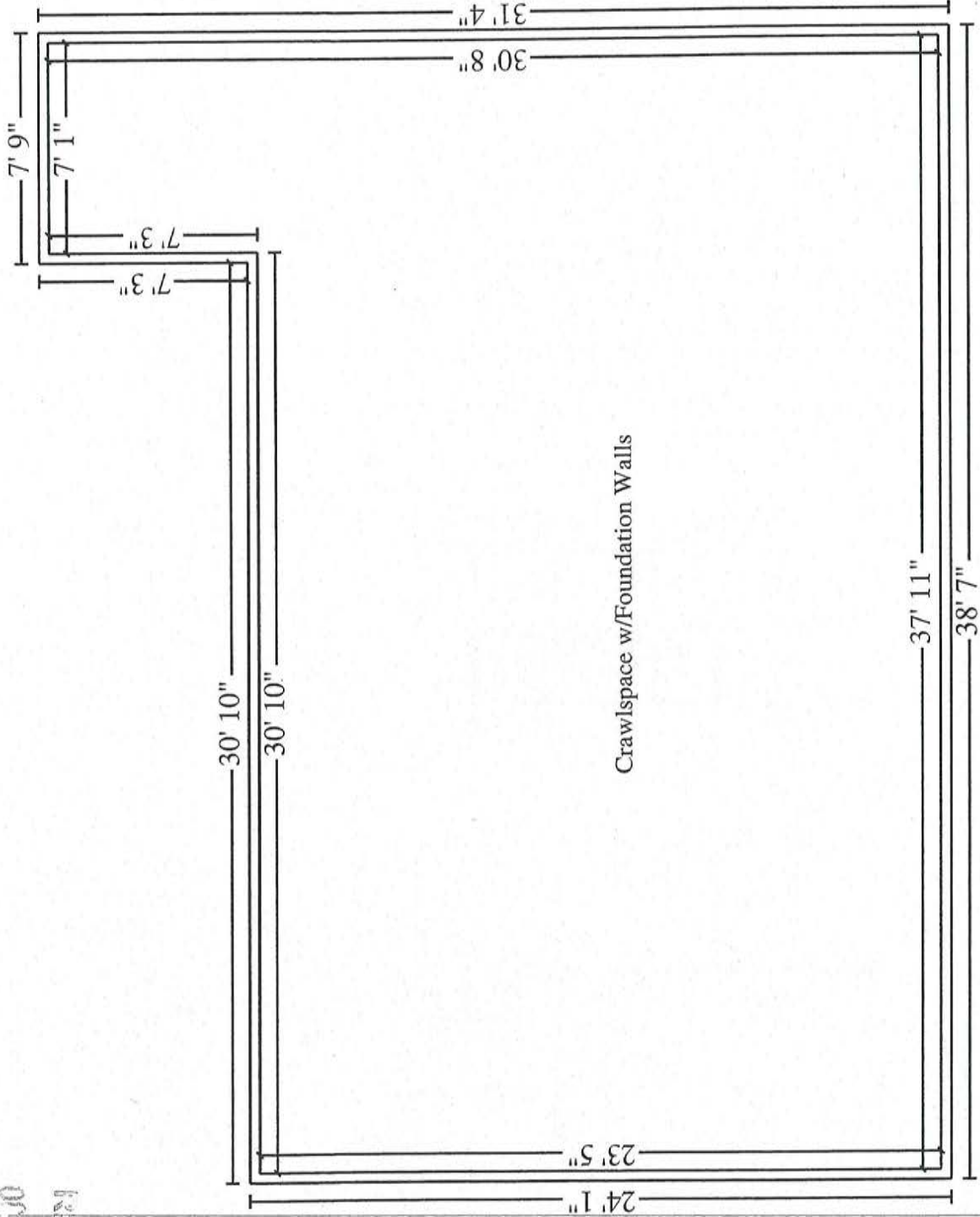


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07/15/2018

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Crawlspace

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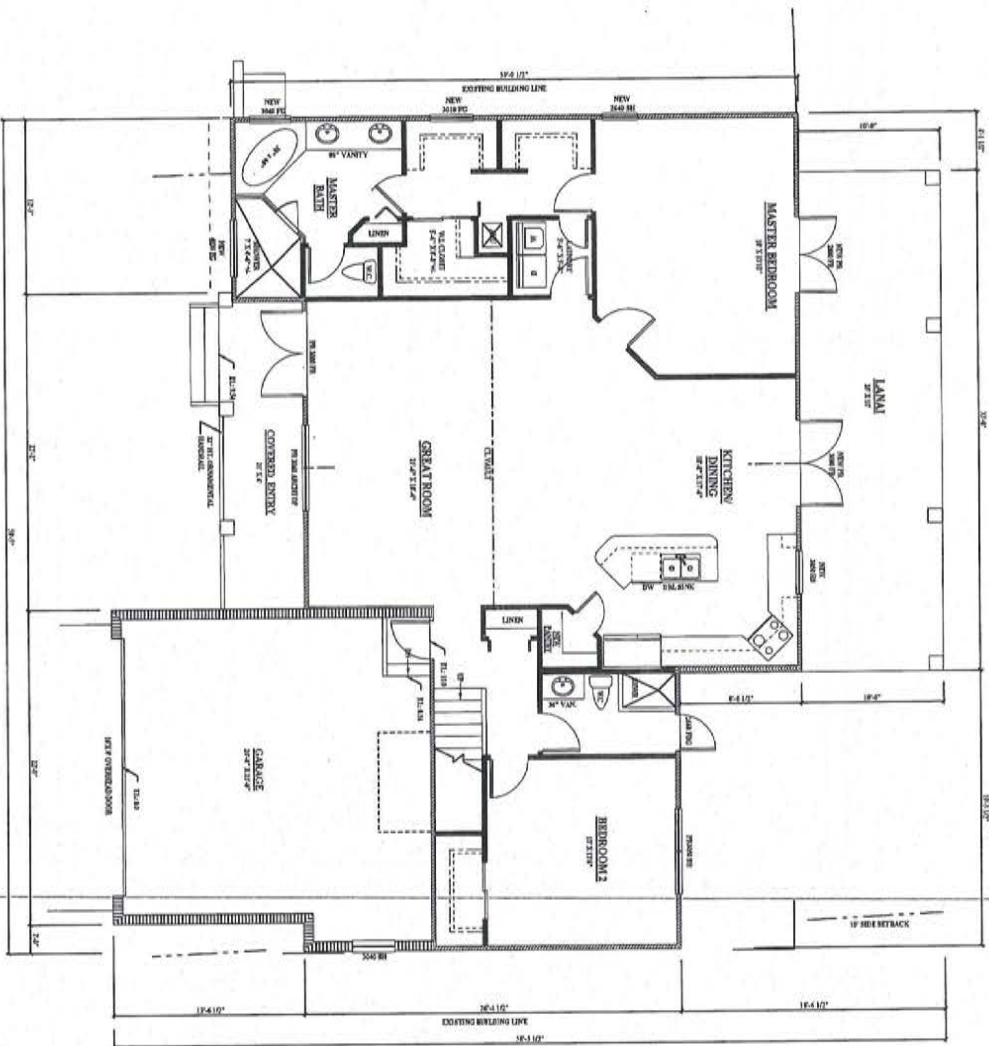


DAVE MANCINO
ARCHITECT
1400 Old Manatee Road St. Augustine Florida
PHONE/FAX: (904) 797-8850

David A. Mancino
AR 0010455

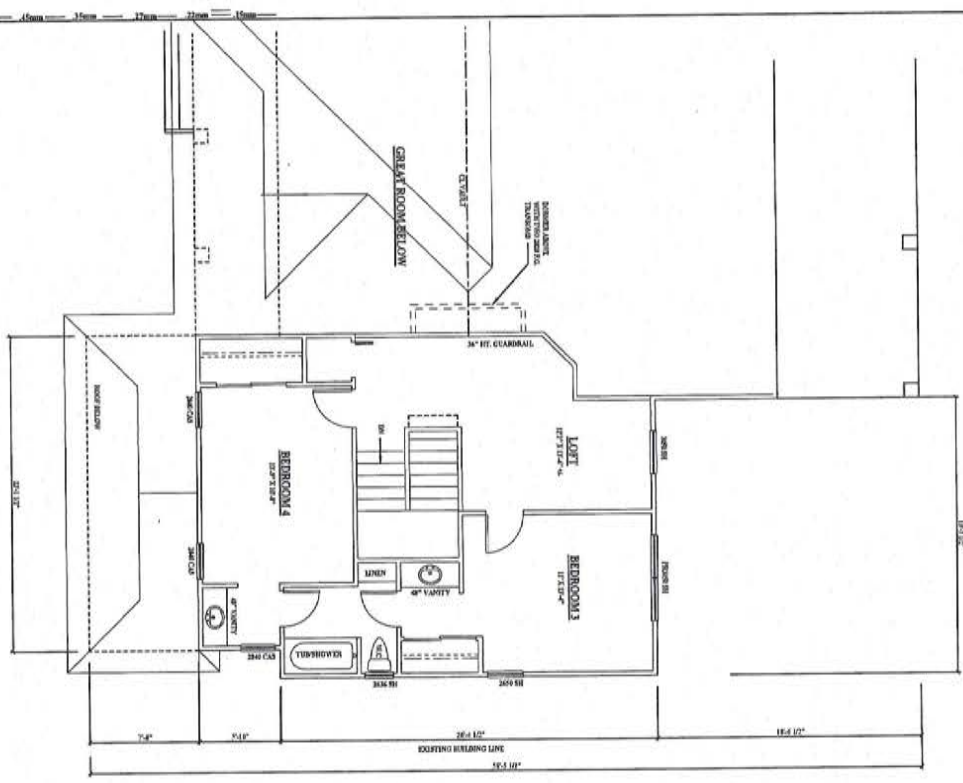
ADDITIONS & RENOVATIONS FOR:
RENEE & SHAUN AUNCHMAN
478 ARRICOLA AVENUE
CITY OF ST. AUGUSTINE FLORIDA

DATE: 09-13-18
SCALE: AS SHOWN
DRAWN: JMM
CHECKED: DMC
PROJECT: A-1.1



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

1.200 SQ. FT. GROUND FLOOR AREA
2.200 SQ. FT. PORCH AREA
3.200 SQ. FT. GARAGE AREA
4.200 SQ. FT. COVERED PORCH AREA
5.200 SQ. FT. TOTAL LOT AREA - 1.200 SQ. FT. COVERED PORCH AREA



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

1/8" = 1'-0"

[illegible][illegible]

SHORELAND HOME BUILDERS

794 Cypress Rd
St Augustine, FL 32086
Phone 904.347.7652

ESTIMATE

DATE: 9.15.18
ESTIMATE # 495
FOR: NEW HOME

Bill To:

Renee and Shaun Aunchman
478 Arricola Ave
St Augustine, FL 32084

DESCRIPTION	AMOUNT
PERMITTING	\$2,605.00
City permit and doc filing fees	
County notice of commencement	
DEMOLITION	\$13,240.00
See 'M E P' for trade disconnects	
Removal and on-site storage of interior finishes	
Includes cabinets, doors, counters, etc	
Disassembly and removal of the aluminum patio enclosure	
Removal and on-site storage of roof panels	
Removal and on-site storage of overhead door	
Removal and on-site storage of windows and entry doors	
Demolition and removal of the remaining structure	
Includes roof framing, interior finishes and block walls	
Saw cut and remove all slabs and footings	
Complete site clean-up, grading and debris removal	
MASONRY	\$63,615.00
Excavate for new foundation	
Includes perimeter, patio and interior (bearing) footers	
Install (2) rows of #5 steel in the footers	
Install #5 vertical reinforcements at each corner, opening and on 48" centers	
Pour new continuous house footings and pads	
Install block house stem walls to plan with a finished floor height of 11'0"	
(estimated at 8 courses of block)	
Install block patio stem walls to plan with a finished slab height of 10'8"	
Install 'chair' block around the perimeter of the stem wall	
Install #5 steel in the chair block and vertical reinforcements for new walls	
See 'SITE WORK' for fill dirt and compaction	
Install 6 MIL vapor barrier	
Termite pre-treat on all new slabs	
Pour a 4" slab with a minimum 3000PSI	
Includes house, patio, entry and garage	
Construct block walls and porch columns to plan	
Install pre-cast lintel beams above all window and door openings	
Install lintel steel along the top course of block and tie to vertical steel	
Pour the lintel beam and reinforced cells solid	
Includes pump truck services for foundation, slabs and lintel pours	

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SITE WORK	\$10,800.00
Place clean fill inside of the new block walls to plan Installed in 12" 'lifts' (thickness) and compacted for density Max. depth to 72", based on current elevation and proposed FFE FFE or Finished Floor Elevation of 11' per owner Garage elevation, per plan, at 8'	
Furnish engineered soil density tests for both the foundation and house slab	
ROUGH CARPENTRY	\$38,125.14
Install pressure treated window and door bucks on all masonry openings Install sill seal and treated sill plates Construct walls and floor system to plan Includes interior wall framing throughout Includes 2 nd floor trusses and sheathing Includes 2 nd floor exterior wall framing and sheathing Construct garage and interior stairs Install ¾" rigid foam board and furring strips on masonry walls Includes conditioned space only Set engineered roof truss package Install ½" OSB roof deck Install 2x sub-fascia and soffit/porch blocking Construct pressure treated front porch and stair rails Apply protective house wrap on all exterior sheathing Install complete tie-down package Includes complete fastener package	
ROOFING	\$12,000.00
Estimated based on the renderings (style and dimensions to be verified) Install peel and stick rigid underlayment on all eaves and valleys Install felt underlayment on the remaining roof deck Install white OR galv-alum drip edge Install galv-alum wall flashing Install plumbing and mechanical vents Install new galv-alum metal roof system to plan Includes continuous ridge vent system	
WINDOWS	\$7,364.06
Installation of new vinyl non-impact windows, per plan Combination of sing hung, sliding, casement and fixed units Insulated, low E, energy efficient glass	
ENTRY DOORS	\$8,636.41
Installation of new patio and entry doors, per plan Includes (2) fiberglass - full view - French patio doors Includes (1) fiberglass - fire rated - garage service door Includes (1) fiberglass - full view - single entry door Includes integrated blinds in the glass Includes (1) fiberglass - full view - front entry door INCLUDES \$2500 unit allowance with decorative glass Includes stainless hinges and thresholds Installation of OWNER SUPPLIED door handles	
SIDING	\$9,300.00
Install composite (Hardie or comparable) trim boards Includes window, frieze and band detail Install gal-alum drip edge on all lower band and window header detail Install fiber cement panels in choice of smooth or woodgrain Install 1x3 fiber cement batten strips	
SOFFIT and FASCIA	\$2,6313.80
Install vinyl vented soffit and aluminum fascia trim throughout Install solid vinyl soffit material on both the entry and back porch ceilings	
STUCCO	\$9,906.00
Install rigid foam window and door banding (casing)	

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Apply bonding agent to all new masonry finishes	
Install composite control joints, starter strips and corner bead	
Apply scratch, brown and synthetic finish in choice of texture	
INSULATION	\$3,436.00
Install R-13 wall insulation on the 2 nd floor (exterior) walls	
Install R-13 between the master suite and living area for soundproofing	
Install R-30 ceiling insulation in all attic space	
Draft and fire foam to code	
Includes all exterior receptacles, windows and doors	
Includes all points of vertical penetration	
See 'ROUGH CARPENTRY' for first floor wall insulation	
MECHANICAL	\$12,929.00
Pump down and remove the existing condenser and air handler	
Draft energy calculations on the home for permitting	
Complete mechanical rough (duct plan to be determined)	
Estimated as 21 supplies and 6 returns	
Install new 1.5 ton 14 SEER Carrier system for the second floor	
Reinstall existing 3 ton system for the first floor	
Venting for cooktop, dryer and (3) bath exhaust fans	
Includes \$200 allowance for final (independent) leak test	
New 2018 code requirement	
ELECTRICAL	\$14,500.00
Estimate is rough, based, on square footage, pending a final electrical plan	
Install temporary service pole for construction and camper power	
Owner to pay for FPL temp power connection fees	
Disconnect existing service to the dwelling and remove all wiring	
Install new 200 A main service panel and disconnect	
Complete standard electrical rough (layout to be determined)	
Includes 220 water heater, stove, dryer and mechanical service	
Includes 110 standard receptacle and lighting service	
Includes can and fluorescent lighting fixtures (attic, garage and closet)	
Install hard-wired / battery backup smoke and CO2 detectors to code	
Install basic low voltage coax package	
Upgraded cable, phone or cat-5 service available	
Install fixture trim upon the completion of general construction	
Includes \$2500 allowance for fans, sconces, pendants and vanity lights	
Install standard exterior motion spot lights	
Re-installation of kitchen appliances	
Trench and install new underground lateral service	
Includes estimated \$650 FPL service connection fee	
Disconnect and remove temporary service pole	
Includes FPL removal of temp service line	
PLUMBING	\$14,400.00
Install temporary water service for construction and camper	
Install sewer lateral and clean out for the camper	
Disconnect and remove all remaining fixtures, water lines and waste pipes	
Complete plumbing rough to plan	
Includes new CPVC water and PVC waste lines throughout	
Reinstall existing 50 G electric high efficiency water heater	
Install new master bath garden soak tub	
Includes \$1200 tub allowance	
Install master and guest bath rigid shower pan liners	
Install Standard Sterling (Kohler) deep soak guest bath tub	
Install Standard Sterling (Kohler) drop in master bath tub	
Install (3) exterior frost-free hose bibs	
Install fixture trim upon the completion of general construction	
Includes (3) ADA comfort height toilets	
Includes (5) sink faucets at \$150/each	

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	Includes DELTA valves and trim throughout	
	Includes \$200 kitchen sink faucet allowance	
	Install under-slab PVC chase for air conditioning lines	
	Install appliances (disposal, ice maker and dishwasher)	
	Includes reinstallation of existing appliances	
	Trench and install new underground lateral service	
DRYWALL		\$10,670.00
	Install ½" sheetrock in all conditioned spaces	
	Install ½" green board in all bathroom common areas	
	Install ½" durock on all tub and shower surrounds	
	Install 5/8" fire rated sheetrock in the garage to code	
	Includes the ceiling only and areas adjoining conditioned space	
	Finish smooth and prep for paint	
CABINETRY		\$6,495.00
	Install kitchen cabinet package	
	Includes repurposing the existing cabinets and adding more as needed	
	Includes \$2500 allowance for additional cabinetry and hardware	
	Install (2) guest bath vanity packages	
	Includes \$1300 allowance for (2) vanity packages (base, top and mirror)	
	Install 80" master bath vanity	
	Includes \$1200 cabinet allowance for 2 sinks bases and 1 drawer base	
	Install owner supplied handles	
COUNTERTOPS		\$5,735.00
	Install new solid surface tops in the kitchen	
	Includes \$3965 allowance for countertop	
	Includes \$250 allowance for undermount sink	
	Install new solid surface top and coordinating trim in the master bath	
	Includes \$1360 allowance	
	Includes \$160 allowance for (2) undermount sinks	
	Includes top, splash and shower curbing	
FINISH CARPENTRY		\$13,812.35
	Install 5 ½" colonial pine base trim throughout	
	Install pine quarter round throughout	
	Install 3 ½" Delta-Howe door casing throughout	
	Includes all interior and entry doors	
	Fabricate and install 5/4" pine window sills and aprons	
	Wrap (4) by-pass closets with pine jamb stock	
	Bi-fold closets to have simply drywall wraps / no casing	
	Install interior door package	
	Includes repurposing several pre-hung doors and slabs	
	Furnish additional pre-hung, bi-fold and by-pass doors to match	
	Includes total door allowances of \$2035.00	
	Includes tracks for (4) by-pass closets	
	Install owner supplied interior door handles	
	Install white wire shelving throughout	
	Includes 2 tiers of 12" shelving in all bedroom closets	
	Includes 4 tiers of 16" shelving in all linen and pantry closets	
	Install stair rail components per plan	
	Includes single newel posts, rails and spindles as drawn	
	Includes all hardware	
	See 'FLOORING' for stair treads, nosing and riser trim	
TILE		\$9,088.00
	Install ½" cement underlayment on the 2 nd story bath floor	
	Install, grout and seal floor tile in (3) bathrooms	
	Includes \$826 tile allowance	
	Fabricate (2) masonry shower pans and framed curbs	
	Install, grout and seal shower floor tile in (2) bathrooms	
	Includes \$530 mosaic floor tile allowance	

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Install, grout and seal master shower walls and adjoining tub deck	
Includes \$984 wall tile and deck allowance	
ADD \$95 (each) for recessed wall nooks, if required	
Install grout and seal lower guest bath shower wall tile	
Includes \$280 wall tile allowance	
Includes solid surface pre-cast curb	
Install, grout and seal upstairs tub surround	
Includes \$300 wall tile allowance	
Install, grout and seal kitchen and island backsplash	
Includes \$400 splash material allowance	
Thresholds, if required, to be additional	
FLOORING	\$13,567.50
Install, grout and seal 6x36 (or comparable) plank tile on the lower level	
See 'TILE' for bathroom floor allowances	
Includes \$4694 tile allowance	
Install engineered laminate bamboo flooring on the stairs and upper level	
See 'TILE' for bathroom floor allowance	
Includes \$2253 bamboo floor and nosing allowance	
Install matching bamboo flooring on the stairs and stair landings	
Install white risers on all stairs	
Install matching bamboo stair nosing on (18) treads	
INTERIOR PAINT	\$6,912.00
Caulk and prep millwork for paint	
Prime all interior wallboard and paint ceilings flat white	
Flat or eggshell paint (2 coats) on all interior and garage walls	
Additional charge may apply for multiple colors	
Semi-gloss paint (2 coats) on interior doors and millwork	
Entry doors are pre-finished - charge may apply to paint	
EXTERIOR PAINT	\$5,422.00
Prime all raw masonry finishes	
Caulk and prep siding for paint	
Flat or eggshell paint (2 coats) on all exterior finishes	
Includes choice of 2 colors for body and trim	
Entry and overhead doors are pre-finished - charge may apply to paint	
FINAL SITE	\$4,900.00
Place clean fill to the foundation at an elevation of 8'	
Create a slope, to code, for proper drainage	
Includes small swales on the North and South property lines	
Backfill and grade along the drive, steps, patio and walks	
Place (St Augustine) sod in the front, side and back yard	
Front and side yard side to the lot line and street	
Back yard sod out 15' from the dwelling	
Removal of remaining construction debris	
GARAGE DOORS	TBD
Owner to furnish and install overhead doors and openers	
DRIVEWAY	\$4,950.00
Estimated at 1100 SF of drive, apron and front walkway	
ADD \$4,400 for standard Tremron (or comparable) paver finish	
INCIDENTALS	\$2,370.00
Dumpsters for general construction debris	
Portable toilet rental	

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SUB TOTAL	\$307,092.26
TAX	N/A
CONTRACTOR	\$46,063.84
TOTAL	\$353,156.10

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Instr #2017047390 BK: 4401 PG: 1899, Filed & Recorded: 7/11/2017 8:36 AM #Pgs:2

Hunter S. Conrad, Clerk of the Circuit Court St. Johns County FL Recording \$18.50 Doc. D \$1,918.00

Prepared by and return to:

Sunshine Dillard-Andriano, Esq.

Lion Title, LLC

770 A1A Beach Blvd. Suite A

Saint Augustine, FL 32080

904-342-7095

File Number: 17R-76

Will Call No.:

Parcel Identification No. 221764-0000

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 30th day of June, 2017 between **Dean L. Mann and Margaret R. Mann, husband and wife** whose post office address is 478 Arricola Ave., St. Augustine, FL 32080 of the County of Saint Johns, State of Florida, grantor*, and **Shaun Aunchman and Renee Aunchman, husband and wife**, whose post office address is 85 Riberia St., Saint Augustine, FL 32084 of the County of Saint Johns, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Saint Johns County, Florida, to-wit:

Lot 26 and the South 1/2 of Lot 27, Block 52, Davis Shores, according to the map or plat thereof as recorded in Plat Book 3, Page 97, Public Records of Saint Johns County, Florida.

Subject to taxes for 2017 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Name: Jay Lloyd

Witness Name: Sunshine Dillard-Andriano

Witness Name: Jay Lloyd

Witness Name: Sunshine Dillard-Andriano

Dean L. Mann

Margaret R. Mann

DoubleTimes

BK: 4401 PG: 1900

State of Florida
County of Saint Johns

The foregoing instrument was acknowledged before me this 30th day of June, 2017 by Dean L. Mann and Margaret R. Mann, who ☐ are personally known or ☒ have produced a driver's license as identification.

[Notary Seal]



Notary Public

Printed Name: _____

My Commission Expires: _____

COPY



St. Johns County, FL

Quick Links

[My Tax Bill](#)
[Tax Estimator](#)
[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 2217600000
 Location Address 478 ARRICOLA AVE
 SAINT AUGUSTINE 32080-0000
 Neighborhood DAVIS SHRS S ANASTAS (590)
 Tax Description* 3-100 DAVIS SHORES LOT 26 & S 1/2 OF LOT 27 BLK 52 OR988/1487 & 3793/439(Q/C) & 4401/1899
 *The Description above is not to be used on legal documents.
 Property Use Code Single Family (0100)
 Subdivision Davis Shores Ocean View Section
 Sec/Twp/Rng 20-7-30
 District City of St Augustine (District 452)
 Millage Rate 20.4933
 Acreage 0.240
 Homestead Y

View Map

Owner

Owner Name Aunchman Shaun, Renee 100%
 Aunchman Renee 100%
 Mailing Address 478 ARRICOLA AVE
 SAINT AUGUSTINE, FL 32084-0000

Valuation

	2018
Building Value	\$89,854
Extra Features Value	\$0
Total Land Value	\$141,750
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$231,604
Total Deferred	\$0
Assessed Value	\$231,604
Total Exemptions	\$50,000
Taxable Value	\$181,604

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$36,831	\$785	\$127,969	\$0	\$0	\$165,585	\$165,585	\$0	\$165,585
2016	\$61,142	\$785	\$127,969	\$0	\$0	\$189,896	\$86,749	\$153,147	\$36,749
2015	\$63,180	\$785	\$98,438	\$0	\$0	\$162,403	\$86,146	\$126,257	\$36,146
2014	\$60,423	\$785	\$82,688	\$0	\$0	\$143,896	\$85,462	\$108,434	\$35,462
2013	\$62,342	\$785	\$66,938	\$0	\$0	\$130,065	\$84,199	\$95,866	\$34,199
2012	\$63,300	\$785	\$59,003	\$0	\$0	\$123,088	\$82,792	\$90,296	\$32,792
2011	\$65,218	\$785	\$65,559	\$0	\$0	\$131,562	\$80,381	\$101,181	\$30,381
2010	\$66,178	\$785	\$72,844	\$0	\$0	\$139,807	\$79,193	\$110,614	\$29,193

Exemptions

Exemption Type	Amount
Homestead	\$25,000
Homestead Band	\$25,000

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	2004	Roof Cover	Metal
Conditioned Area	1287	Interior Flooring	Ceramic Tile
Actual Year Built	1955	Interior Wall	Drywall
Use	Single Family Residence	Heating Type	Air Duct
Style	01	Heating Fuel	
Class	N	Air Conditioning	Central
Exterior Wall	Concrete Block, Wood	Baths	2

Category	Type	Pct
Exterior Wall	Concrete Block	80%
Exterior Wall	Wood	20%
Roofing Structure	Gable Hip	100%
Roofing Cover	Metal	100%
Interior Walls	Drywall	100%
Interior Flooring	Ceramic Tile	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Masonry	100%
Plumbing	8 Fixtures	100%
Electrical	Average	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	1207	1207
MASN UTILI	0	66
HSCRN PORC	0	366
FRAME ADDI	80	80
FOPN PRCH	0	65
F CARPORT	0	220
Total SqFt	1287	2004

Extra Features

Code Description	BLD	Length	Width	Height	Units
Residential Fence	0	0	0	0	245

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	75	140	75	EF	\$141,750

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
7/11/2017	6/30/2017	\$274,000.00	WD	4401	1899	Q	I	MANN DEAN L,MARGARET R	AUNCHMAN SHAUN, RENEE
9/23/2013	9/23/2013	\$100.00	QC	3793	439	U	I	MANN DEAN L	MANN DEAN L,MARGARET R
	4/23/1993	\$100.00	QC	988	1487	U	I	MANN DEAN L	MANN DEAN L
	9/1/1987	\$55,000.00		758	1544	Q	I		MANN DEAN L
	9/1/1987	\$56,900.00		758	1544	Q	I		
	10/1/1982	\$0.00		558	433	U	I		
	5/1/1981	\$0.00		497	144	U	I		

Area Sales Report

Recent Sales in Area

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

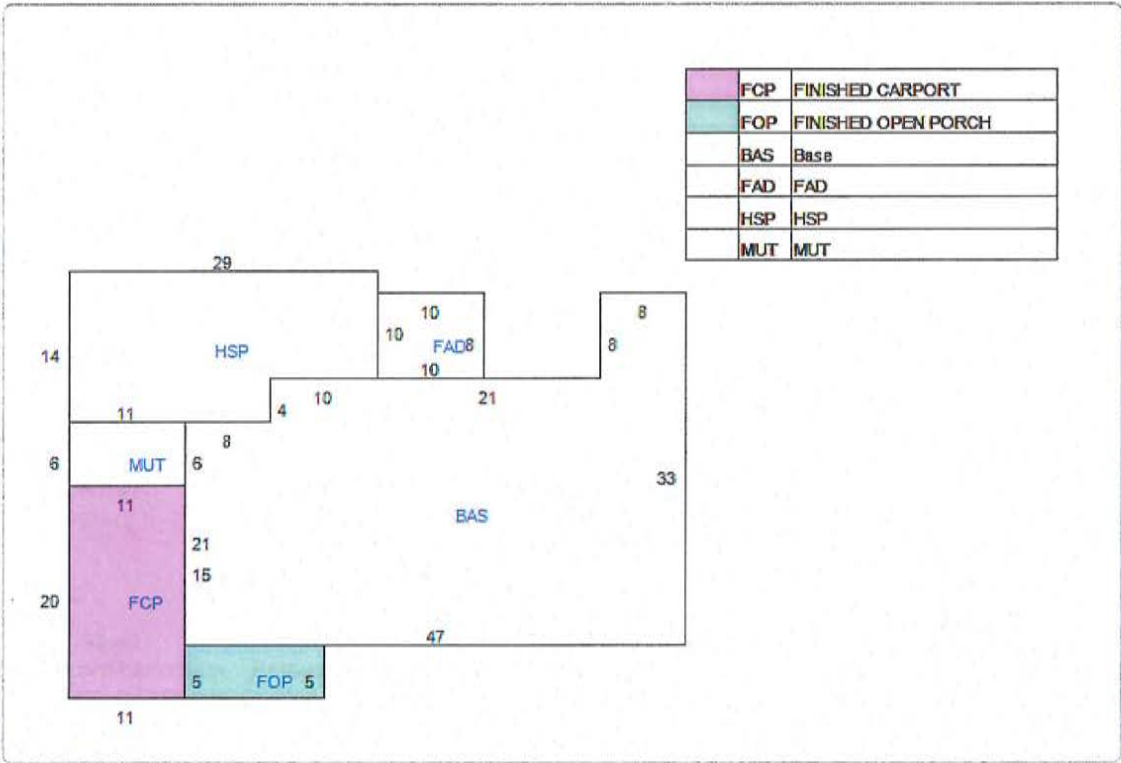
Tax Estimator

[Tax Estimator](#)

Map



Sketches



The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

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 Schneider
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Last Data Upload: 10/12/2018, 11:33:10 PM



CITY OF
ST AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0143

Address: 111 Zoratoa Avenue

James Philcox – Owner and Applicant

Project description: To demolish a building constructed in 1922 that is recorded on the Florida Master Site File and is not located in a National Register Historic District.

Architectural Style: Ranch	Florida Master Site File: SJ6035
National Register: N/A	Construction date: 1922
Archaeology Zone: N/A	Zoning District: RS-1
Parcel number: 219660 0000	
Agenda Item: 8(e)	Previous Action(s): N/A

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Demolition to demolish a building constructed in 1922 that is recorded on the Florida Master Site File and is not located in a National Register Historic District.

- The St. Johns' County Property Assessor states that the building was constructed in 1922. There is no substantiating evidence, however, that confirms when the home was built. A 1942 USDA aerial map shows the land as vacant, and the Florida Master Site File states that the building does not fit into the 1922 character.
- No condition assessment was provided and is not required since the building is not located in a National Register Historic District.
- Based on the Sanborn Map, the floorplan has been heavily altered. Since the map was created in 1960, rear and side additions, a rear porch, a garage, and an open front porch have been added. According to permits, the garage and side and front addition appears to have been added in 1987. New windows have been added.
- The building first appears in the 1951 City Directory. Earlier directories have the street name listed but do not list individual street numbers. The only available Sanborn Map for the area was completed in 1960. The lack of directory and map information makes it difficult to verify the age of the building.
- The applicant provided photographs that were taken after Hurricanes Matthew and Irma that show the impact of the storms on the building. He also provided plans for the replacement building as well as the cover letter for a loan from the U.S. Small Business Administration.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Approve a Certificate of Demolition for 111 Zoratoa Avenue.**



Kelli Mitchell, Historic Preservation Planner

**APPLICATION REQUIREMENTS, ELIGIBILITY FOR DEMOLITION REVIEW,
CONDITIONS FOR DEMOLITION APPROVAL:**

Eligibility for Demolition Review (Section 28-87(3), CoSA Code of Ordinances)

The Historic Architectural Review Board (HARB) is responsible for the review of all applications for demolition permits for structures that are fifty (50) years of age or older, listed on the Florida Master Site File, or designated as an historical landmark (as defined by Sec. 28-87.10)

National Register Status (Section 28-89, CoSA Code of Ordinances)

A property currently listed on the National Register of Historic Places individually or as a contributing structure in an historic district is afforded additional scrutiny in the demolition review process by: 1) requiring submittal of a condition assessment report performed by a qualified professional; 2) requiring the applicant to prove "undue economic hardship" to justify demolition; and 3) allowing HARB the option to deny the demolition request if an undue economic hardship is not proven and removal of the building or structure will be detrimental to the historic and architectural character of the city.

Local Landmark Designation (Section 28-87(3) & (10), CoSA Code of Ordinances)

HARB is assigned the authority of reviewing all applications for demolition permits for primary structures... for potential designation as an historical landmark. Local "historical landmarks" are defined as a building, object, site or structure of the highest historical, architectural, cultural or archaeological importance and whose demolition, removal, relocation, or alteration would constitute an irreplaceable loss to the character and quality of the city.

Conditions for Demolition Approval (Section 28-89(2)d, CoSA Code of Ordinances)

HARB has the discretion in its review of an application for Certificate of Demolition to require, as conditions for approval, one or more of the following:

- Design of Replacement Building - *As a condition of issuing a certificate of demolition, the board may require the replacement design be approved by the board and that no permit be issued for the demolition of said structure until drawings sufficient for a building permit and all necessary requirements for the construction of a new building have been submitted for the new construction.*
- Architectural Salvage - *As a condition of issuing a certificate of demolition, the board may require, at the applicant's expense, salvage and preservation of significant building materials, architectural details and ornaments, fixtures, and the like for reuse in restoration of other historic properties.*
- Archival Documentation - *The board may also require at the applicant's expense the recording of the structure for archival purposes prior to demolition. The recording may include, but shall not be limited to, photographs and measured drawings.*

According to the Florida Master Site File, the building was constructed in 1922. The structure is recorded on the Florida Master Site File and is not located in a National Register District.

The application requirements are sufficiently met.

DEMOLITION REVIEW CRITERIA (AGHP):

- 1. Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.** Not applicable.
- 2. The contribution of the structure to the mass and scale of the streetscape.** The building contributes to the streetscape which includes buildings of similar mass and scale.
- 3. The impact of the loss of the structure on the streetscape.** Demolition of the structure will reduce the visual continuity in the immediate vicinity.
- 4. Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.** The applicant provided renderings of the proposed replacement building.
- 5. The historical or cultural merit of the structure.** The building is recorded on the Florida Master Site File. Former residents include John R. Halford (1951 City Directory), John Hooker (1959 City Directory), Mrs. Clara A. Hale (1960 City Directory), Ray Battell (1975, 1980, 1984-1985, and 1990 City Directories), Kristen Klinge (1995 City Directory), James Philcox (2000 City Directory), and James and Isle Philcox (Dec. 2006 City Directory).
- 6. The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood.** The building is not located in a National Register District, and the Florida Master Site File states that there is insufficient information to determine if it could contribute to a National Register District. There is no known historic or cultural significance for the building individually.
- 7. Whether or not the structure is representative of a style or type of architecture or a method of construction.** The home was built in the Ranch Style, which is common in St. Augustine.
- 8. Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.** The building is an example of the Ranch Style, which is a common style in St. Augustine.
- 9. Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The condition of the structure, and the possibility of rehabilitating or relocating the structure.** There is not a high degree of craftsmanship that would make reproduction of the building difficult.
- 10. The justification for the proposed demolition.** Based on the photos provided, it appears that the building was damaged in both Hurricane Irma and Hurricane Matthew.

UNREASONABLE OR UNDUE ECONOMIC HARDSHIP:

Defined as an onerous and excessive financial burden that would be placed upon a property owner by the denial of a certificate of demolition or a similar burden which would be placed on a property owner by conditions which the Commission seeks to place on the granting of a certificate. (Section 28-2 CoSA Code of Ordinances)

Is applicant entitled to a Certificate of Demolition independent of any hardship? ☒ Yes ☐ No

Did applicant submit evidence of undue economic hardship? ☐ Yes ☒ No

In any instance where an undue economic hardship, as defined in this chapter, is claimed by a property owner, the property owner may submit to the board any or all of the following information before the board makes a decision on the application for certificate of demolition: (Section 28-89(3) b, CoSA Code of Ordinances)

(Materials submitted by applicant noted with a checked box)

- ☐ 1. An estimate of the cost of the proposed construction, alteration, demolition, or removal;
- ☐ 2. The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; and, in the case of a proposed demolition, after renovation of the existing property for continued use;
- ☐ 3. In the case of a proposed demolition, an estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property;
- ☐ 4. The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
- ☐ 5. The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years;
- ☐ 6. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property;
- ☐ 7. Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years;
- ☐ 8. The assessed value of the property according to the two (2) most recent assessments;
- ☐ 9. The real estate taxes for the previous two (2) years;
- ☐ 10. The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other;

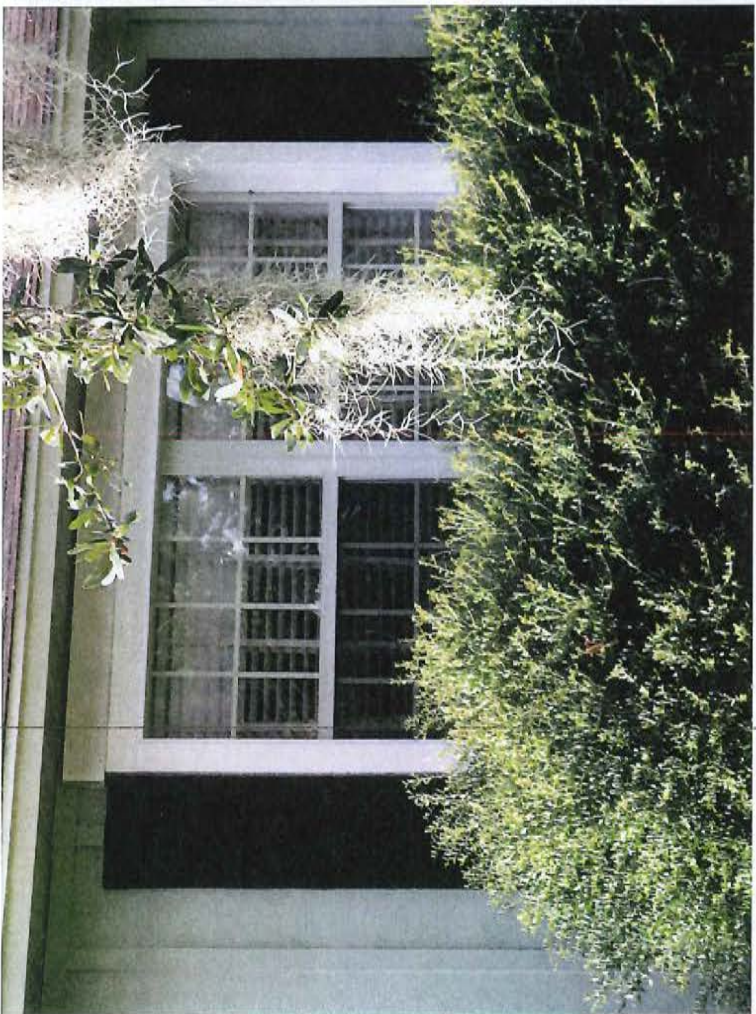
Any other information considered necessary by the board to a determination as to whether the property does yield or may yield a reasonable return to the property owner. The board may require that the property owner furnish such additional information as the board believes is relevant to the board's determination of any alleged undue economic hardship. No decision of the board shall result in undue economic hardship for the property owner. In any case where undue economic hardship is claimed, the board shall make two (2) specific findings. First, the board shall determine if the owner would be entitled to a certificate of demolition without consideration of undue economic hardship. Second, the board shall determine whether the owner demonstrated an undue economic hardship.

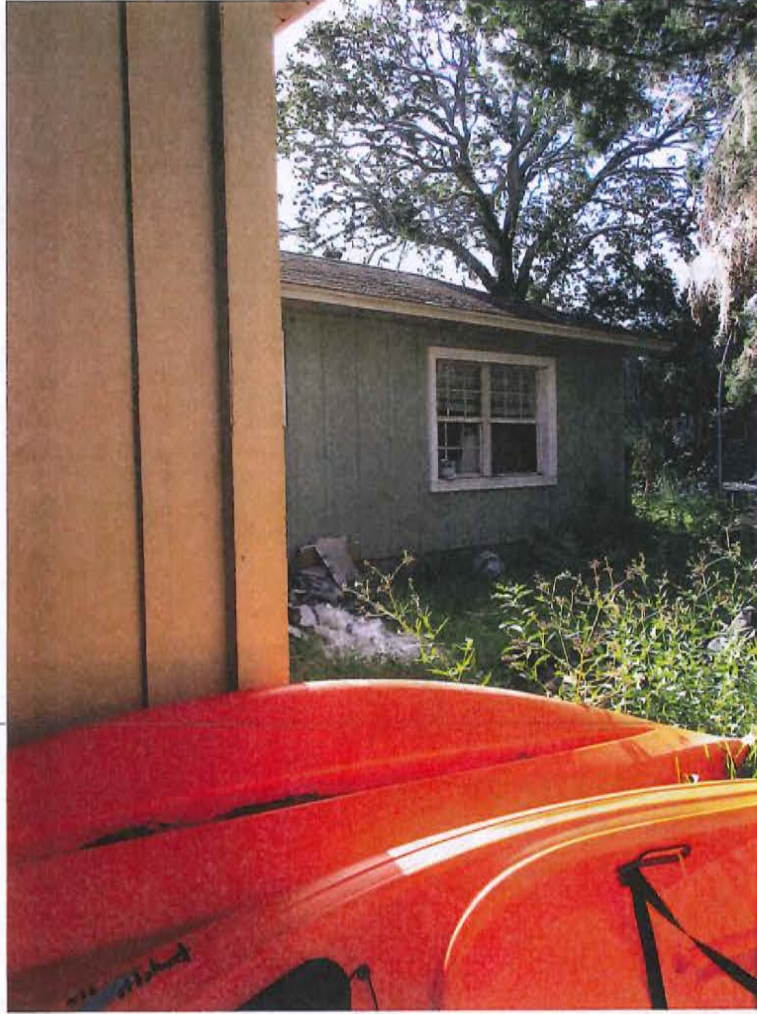
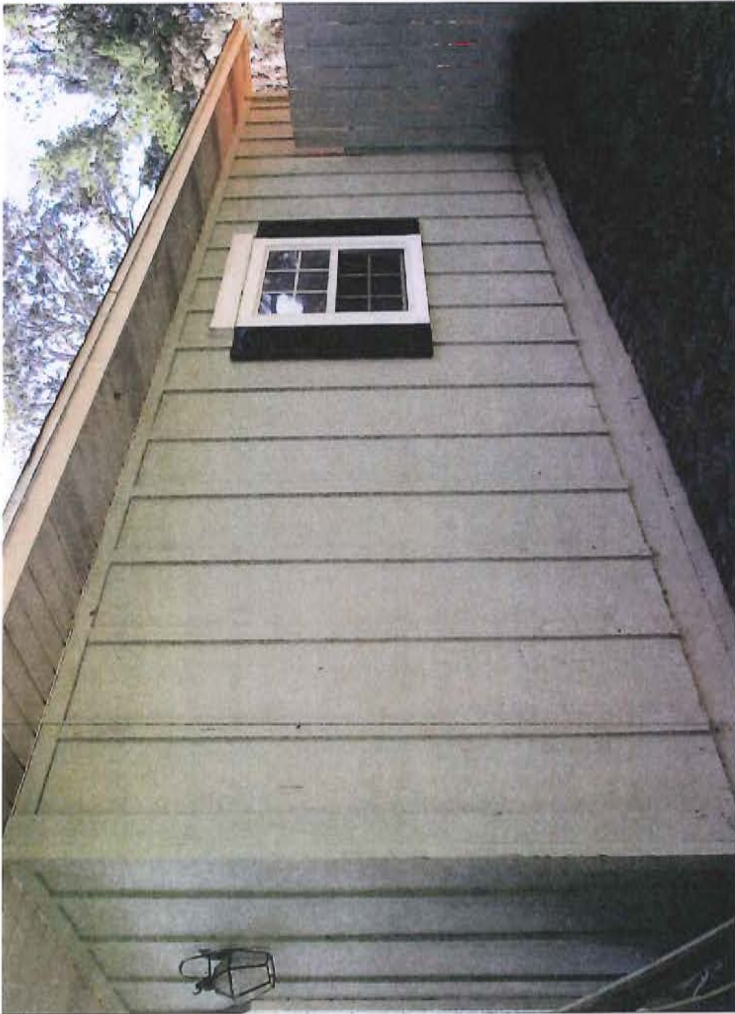
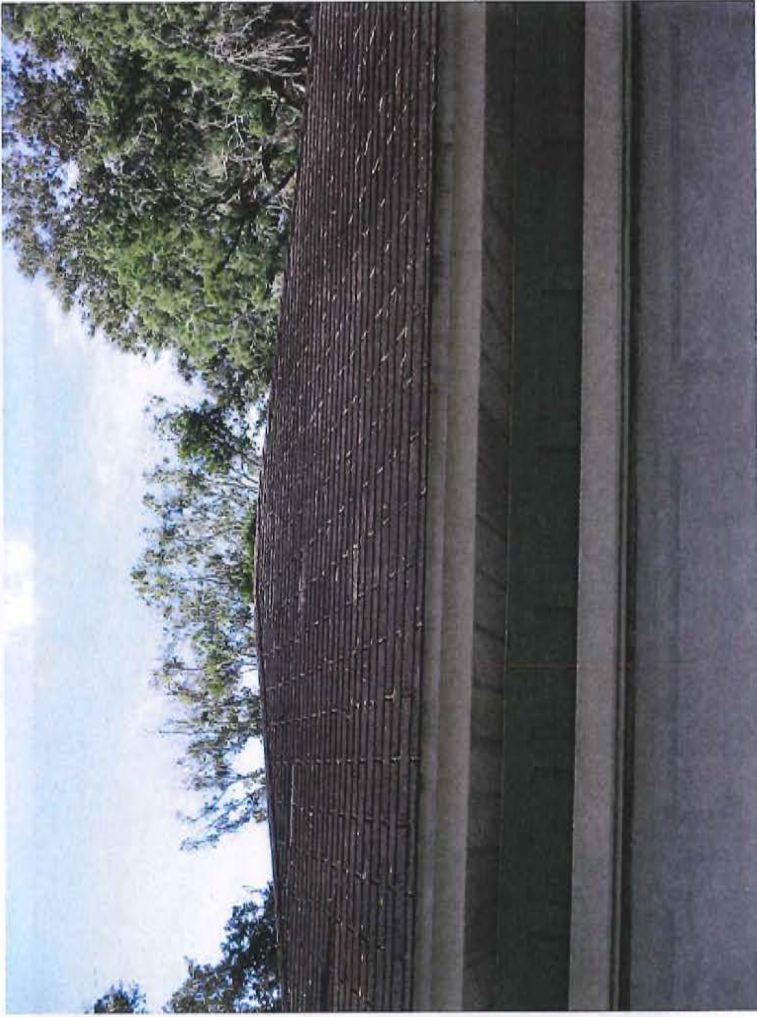
Additional information requested by HARB as per above:

COD F2018-0143
111 Zoratoa Avenue
November 15, 2018

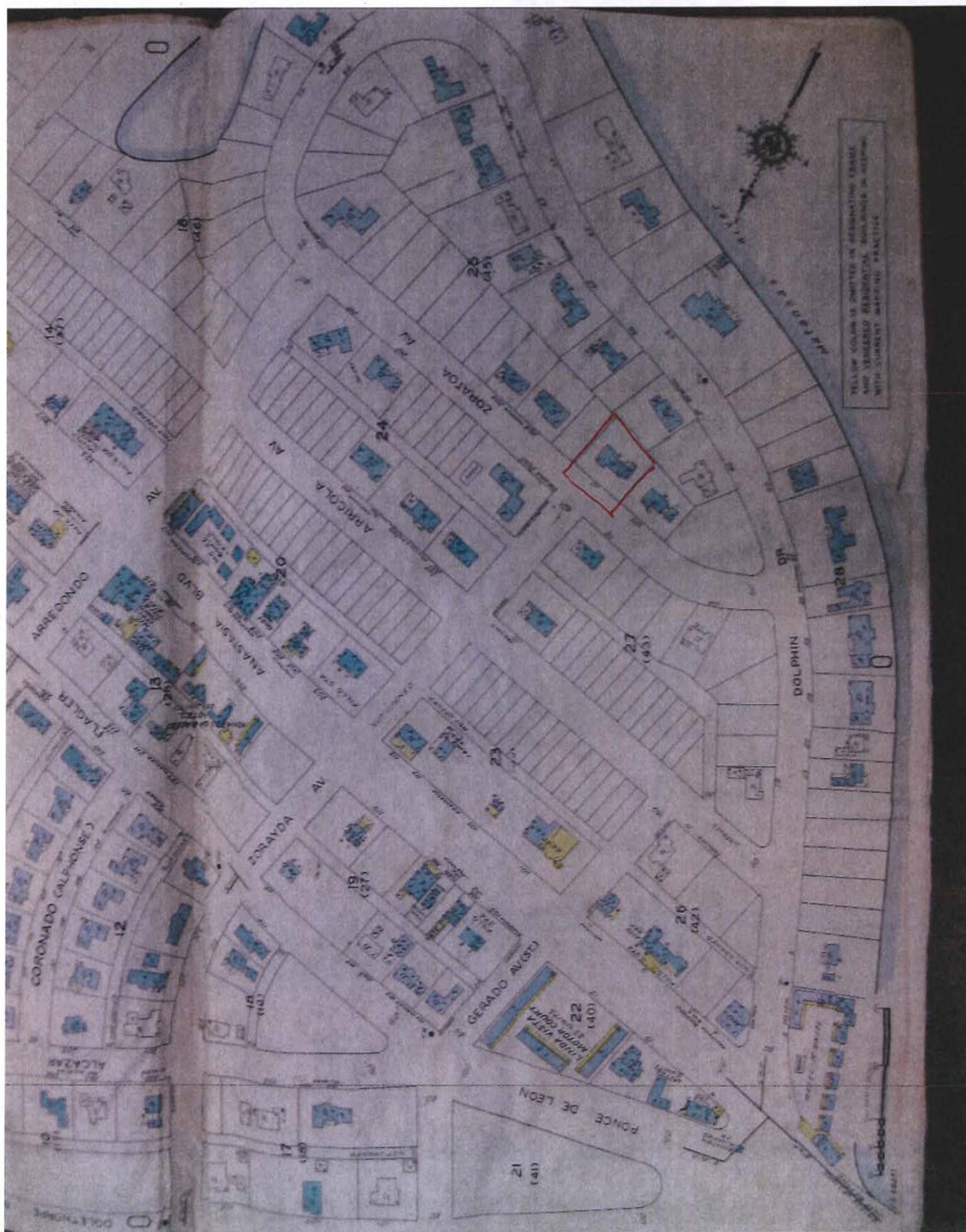
LIST OF ATTACHMENTS:

1. Staff Photographs
2. Sanborn Maps
3. City Directory Research
4. Florida Master Site File









Aerial photographs of St. Johns County - Flight 4C (1942)

THUMBNAIL

DESCRIPTION

ALL 100 LINES

SEARCH RESULTS

THUMBNAILS

PAGE IMAGES

NORMAL DATA

FIRST

PREVIOUS

Go to 15/50

NEXT

LAST



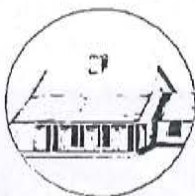
UF Map and
Imagery
Library



Copyright | Permissions | Search | UF Technology | Stories | Internal | Privacy Policy | RSS | Accessibility

Approximate area
of subject property

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 SJ06035Field Date 4-23-2015Form Date 4-23-2015

Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 111 Zoratoa Avenue Multiple Listing (DHR only) _____
 Survey Project Name Architectural Survey of Anastasia Is. Structure Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☒ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 111 Direction _____ Street Name Zoratoa Street Type Avenue Suffix Direction _____
 Address: 111
 Cross Streets (nearest / between) _____
 USGS 7.5 Map Name ST. AUGUSTINE USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) St. Augustine In City Limits? ☒ yes ☐ no ☐ unknown County St. Johns
 Township 7S Range 30E Section 17 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 2196600000 Landgrant _____
 Subdivision Name Davis Shores Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☐ 17 Easting Northing
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1922 ☐ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Cabin) From (year): _____ To (year): _____
 Current Use Private Residence (House/Cottage/Cabin) From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: _____ Nature Windows/ roof / expanded garage
 Additions: ☐ yes ☐ no ☒ unknown Date: _____ Nature _____
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Ranch Exterior Plan Irregular Number of Stories 1
 Exterior Fabric(s) 1. Board and batten 2. _____ 3. _____
 Roof Type(s) 1. Hip 2. _____ 3. _____
 Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Single 6/6 vinyl DHS with heavy wood trim; paired 8/8 vinyl with heavy wood trim
 Distinguishing Architectural Features (exterior or interior ornaments) Sprawling layout med pitch roof inset entryway with boxed eaves- U shape with rear extension.
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Fenced backyard double concrete drive to attach 2 car garage.

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)

HISTORICAL STRUCTURE FORM

Site #8 SJ06035

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Brick 2. _____ 3. _____
 Structural System(s): 1. Unknown 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) Single wood panel and glass door with heavy wood trim and lowered accents panels inset under main roof and brick stoop.
 Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
 Narrative Description of Resource _____

Archaeological Remains _____ ☐ Check If Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☒ library research ☐ building permits ☒ Sanborn maps
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☒ newspaper files ☒ neighbor interview ☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Windshield Survey
 Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
 Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☐ no ☒ insufficient information
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) does not seem to fit the 1922 character.
 Further research recommended. _____

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
 1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type _____ Maintaining organization _____
 Document description _____ File or accession #s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #s _____

RECORDER INFORMATION

Recorder Name Patricia Davenport Affiliation Environmental Services, Inc.
 Recorder Contact Information 7220 Financial Way, Ste. 100 Jacksonville, FL 32256/ 904-470-2200/pdavenport@esinc.com
 (address / phone / fax / e-mail)

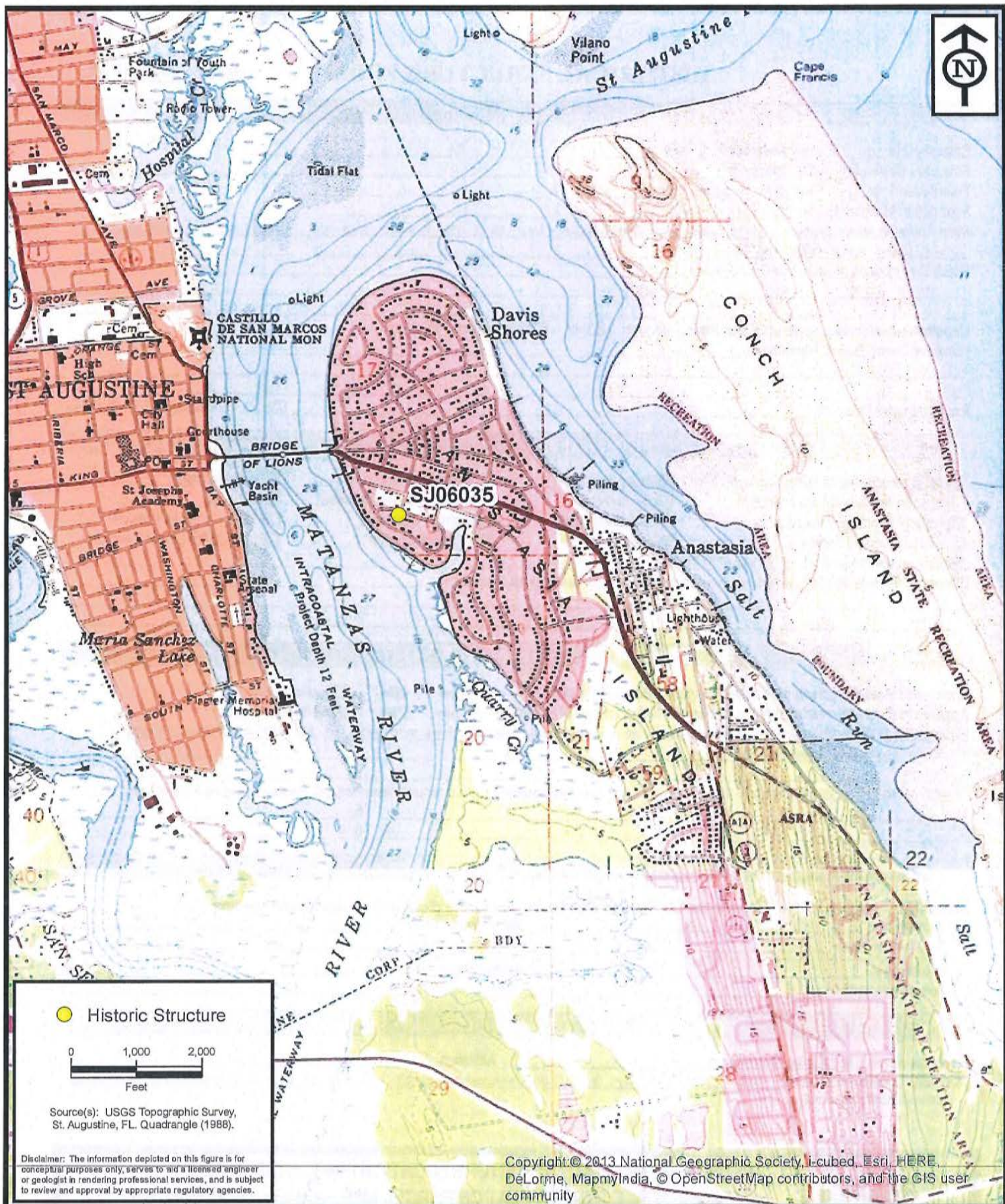
Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

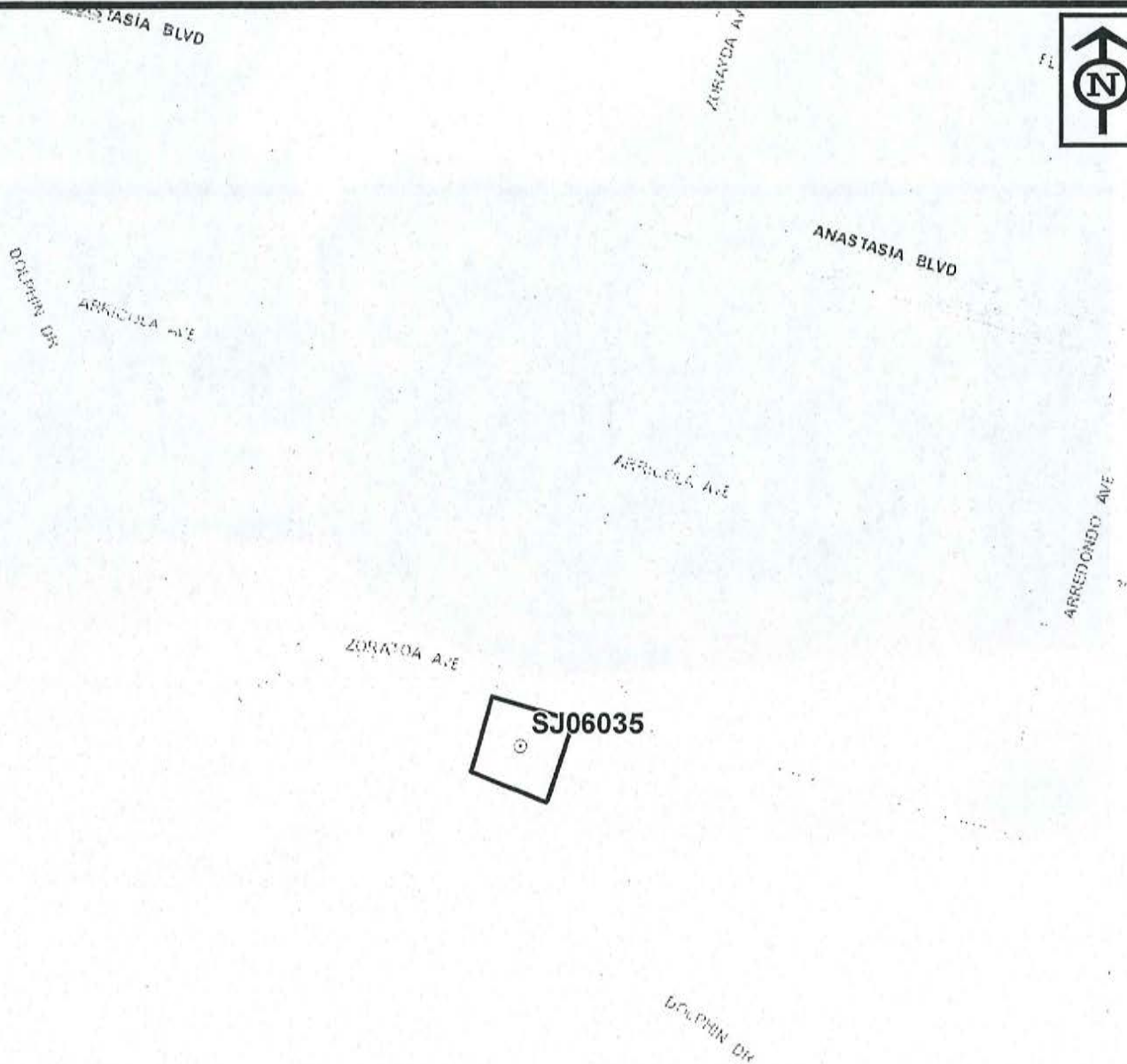


Project Location - SJ06035
City of St. Augustine
Historic Structure Survey
 St. Johns County, Florida

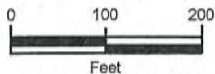
Project: AJ15055.00
 Date: Jun. 2015
 Drwn/Chkd: KWB/JRN
 Figure: 1



**ENVIRONMENTAL
SERVICES, INC.**
 7220 Financial Way, Suite 100
 Jacksonville, Florida 32256
 (904) 470-2200
 (904) 470-2112 Fax
www.environmentalservicesinc.com



- ⊙ Historic Structure
- ▭ Parcel Boundary



Source(s) ESRI World Topo Basemap.

Disclaimer: The information depicted on this figure is for conceptual purposes only, serves to aid a licensed engineer or geologist in rendering professional services, and is subject to review and approval by appropriate regulatory agencies.

Sources: Esri, HERE, DeLorme, TomTom, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



**ENVIRONMENTAL
SERVICES, INC.**
7220 Financial Way, Suite 100
Jacksonville, Florida 32256
(904) 470-2200
(904) 470-2112 Fax
www.environmentalservicesinc.com

Parcel Location - SJ06035
City of St. Augustine
Historic Structure Survey
St. Johns County, Florida

Project:	AJ15055
Date:	Jun. 2015
Drwn/Chkd:	KWB/JRN
Figure:	2



8806035 ME 1

SAHS POLK CITY DIRECTORY RESEARCH

111 Zorafora

DATE(S)	NAME	PROFESSION
1951	John R. Halford	Contractor for a company in Palatka
1955	Not Listed	
1959	John Hooker	
1960	Mrs. Clara A. Hale	
1965	Not Listed	
1970	Not Listed	
1975	Ray Battell	Acctg. Tech Supervisor, State Arsenal
1980	Ray Battell	
1984-1985	Ray Battell	
1990	Ray Battell	
1995	Kristen Klinge	Klinge Group
2000	James Philcox	
Dec. 2006	James and Isle Philcox	



CITY OF ST AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD
APPLICATION



CERTIFICATE OF DEMOLITION
CERTIFICATE OF RELOCATION

Application Fee: \$300.00 full/\$150.00 partial (plus advertising costs) BDAC Project No. 2018-0143

Receipt No. _____ Meeting Date November 15

Advertising Costs \$ MM Paid on N/A Receipt No. _____

1. NAME OF APPLICANT James Philcox

Business (if applicable) _____

Address 111 Zoratoa Ave

City St. Augustine State FL Zip 32080

Daytime telephone 904 315 8581 Other phone/email rndtable@aol.com

***Correspondence related to this application will be based on the above information

2. NAME OF PROPERTY OWNER - Same -

Business (if applicable) _____

Address _____

City _____ State _____ Zip _____

Daytime telephone (required) _____ Other phone _____

3. PROJECT STREET ADDRESS - same -

4. LEGAL DESCRIPTION OF PROPERTY

Lot 4 Block 45 Subdivision Davis Shores Parcel Number 219660-0000

5. DATE OF CONSTRUCTION ~ 1932* Source: County Records

6. HISTORIC STATUS (check all that apply) * Core structure, now surrounded by additions from '70s - '80s

☐ Designated Local Landmark

☐ Property individually listed on the National Register of Historic Places

☐ Contributing building in National Register Historic District

☐ Listed on Florida Master Site File

☒ 50 years of age or older

7. PROPOSED PROJECT WORK (check one)

☐ PARTIAL DEMOLITION - Permanent removal of any significant architectural features including porches, dormers, chimneys, walls, additions, etc.

☒ FULL DEMOLITION - The complete razing of a building resulting in its permanent removal.

☐ RELOCATION - The moving of all or part of a building from one property and placing it on a different property. Also the shifting or reorientation of all or part of a building on the same property.

8. PROPOSED REPLACEMENT BUILDING/FEATURE: _____

9. FOR PARTIAL DEMOLITION PROJECTS ONLY

A. Indicate architectural features to be permanently removed (check all that apply):

HISTORIC	NOT HISTORIC	NOT SURE	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building addition
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Outbuilding/Accessory building
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding)Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fenestration (arrangement of windows and doors)

B. Required submittals:

- ☐ Photographs and/or drawings of elevations and architectural features to be removed.
- ☒ Drawings of proposed improvements and replacement features as applicable.

10. FOR FULL DEMOLITION PROJECTS ONLY

A. Required submittals for all full demolition projects:

- ☒ Photographs of existing conditions including façades of the building and interior features if applicable.
- ☒ Drawings of proposed replacement buildings and or features if applicable.

B. Required submittals for buildings designated as Local Landmarks, individually listed on the National Register of Historic Places, or a contributing building in a National Register Historic District:

- ☒ ☐ *Condition assessment report* - A report from an architect or structural engineer licensed in the State of Florida with demonstrated experience in historic restoration/rehabilitation as to the structural soundness of the building and its adaptability for continued use.
- ☒ ☐ *Proof of unreasonable or undue economic hardship* - the property owner may submit to the board any or all of the following information:
 - ☐ An estimate of the cost of the proposed construction, alteration, demolition, or removal.
 - ☐ The estimated market value of the property in its current condition and after completion of the proposed construction, alteration, demolition, or removal.
 - ☐ An estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
 - ☐ The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any.
 - ☐ The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years.
 - ☐ All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property.
 - ☐ Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years.
 - ☐ The assessed value of the property according to the two (2) most recent assessments;
 - ☐ The real estate taxes for the previous two (2) years.
 - ☐ The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, or joint venture.
 - ☐ Any other information deemed appropriate by the applicant as to how the property does not yield or may not yield a reasonable return to the property owner.

11. FOR RELOCATION PROJECTS ONLY

- A. Address or location where building is to be moved: _____
- B. Estimated costs:
- o Purchase price _____
 - o Moving fee (prepared by a licensed and insured building mover) _____
 - o Building rehabilitation _____
- C. Required submittals:
- ☐ Photographs of existing conditions including façade of the building.
 - ☐ If the new location is within the city limits, provide a site plan and drawings of any new improvements. (If the building is to be located in a Historic Preservation zoning district, a Certificate of Appropriateness will also be required.)

12. AGREEMENT – Unless the property owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, all owners of record must sign the application. If the applicant is different than the property owner, the application must be signed by both parties.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if the Certificate of Demolition or Certificate of Relocation is approved that a demolition inspection, archeological review, and building permit from the city are required prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME James Philcox DATE 10/5/18

SIGNATURE OF APPLICANT [Signature]

PRINT 1st OWNER'S NAME James Philcox DATE 10/5/18

SIGNATURE OF 1st PROPERTY OWNER [Signature]

PRINT 2nd OWNER'S NAME _____ DATE _____

SIGNATURE OF 2nd PROPERTY OWNER _____

PRINT 3rd OWNER'S NAME _____ DATE _____

SIGNATURE OF 3rd PROPERTY OWNER _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

APPLICATIONS FOR CERTIFICATES OF DEMOLITION AND RELOCATION

The applicant shall submit a completed application on or before the monthly deadline in order for it to be placed on the following month's Historic Architectural Review Board (HARB) agenda. The board meets the third Thursday of each month unless otherwise scheduled. Failure to submit a substantially complete application may result in a continuance of the request.

In the event that the property owner is not a governmental agency; licensed business or company; incorporated organization; or an administered estate, all property owners of record must sign the application.

All Certificate of Demolition applications are reviewed by city staff for consistency and compliance with the 2011, 4th edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. (Copies of this document are available for a fee upon request.) Guidelines include consideration of historic and architectural significance; uniqueness of the building; existing conditions; and potential for relocation.

Within zoning districts HP-1, HP-2 and HP-3, HARB may approve a Certificate of Appropriateness for a replacement structure before approving a Certificate of Demolition. These applications may be reviewed concurrently.

For buildings relocated within any historic preservation zoning district a Certificate of Appropriateness is required for the building's new location.

PUBLIC NOTICE REQUIREMENTS (costs to be assessed to the applicant)

Certificates of Demolition shall meet the following public notice requirements:

1. *Mailed notices* - The applicant shall notify not less than ten (10) days in advance of the date of public hearing, via the United States Postal Service, all adjacent property owners within 150 feet of the boundaries of the subject property. A list of owners is provided by the Planning & Building Department. The applicant shall produce evidence that the mailing was completed by the deadline.
2. *Legal ad* - The city shall publish a legal advertisement for the application in a newspaper of general circulation not less than ten (10) days prior to the public hearing.
3. *Signs* - The city shall post a sign on each street frontage of the property in full view of the public providing notification of the pending hearing not less than seven (7) days in advance of the meeting. The sign shall be maintained by the applicant until final determination has been made.

BOARD REVIEW

Members of HARB review each application at a public hearing where all interested parties have an opportunity to be heard and present evidence. It is the duty of board members to weigh the evidence and render a decision. The board may approve, approve with conditions, continue or deny an application. Conditions that may be stipulated for demolitions include architectural salvage, pre-approval for the design of any new construction, and/or archival documentation of the existing building. Also the board has the option to postpone any demolition for two, 12-month periods. The proposed demolition of any colonial building or designated local landmark requires additional review and approval by the city commission.

After receiving an approval from the HARB and satisfying any stipulated conditions, the applicant may submit a building permit application for demolition based on the approved HARB order of demolition which is effective on the 31st day following the date of the rendered order. Please note that city inspection of the property and a building permit is required before the actual demolition can begin. In certain areas of the city an archeological permit may also be required.

When construction of the new structure is delayed, the site must be cleared and sodded within thirty (30) days of the demolition or relocation. In historic preservation zoning districts (HP-1 through 5) the vacant property must be enclosed by a solid board fence at least 5 ½ feet high.



Owner's Authorization For Agent

Mr. Les Thomas is/are hereby authorized TO ACT ON BEHALF
OF James Philcox, the owner(s) of those lands described within ☒
the attached application, or ☐ described within the previously filed
Application number: _____, and as described in the attached deed or
other such proof of ownership as may be required, in applying to the City
of St. Augustine's Historic Architectural Review Board, for an application
related to a Certificate of Demolition for the structure located at:

BY: [Signature]
Signature of Owner
James Philcox
Print Name of Owner
904 315 8581
Telephone Number

State of Florida
County of St. Johns

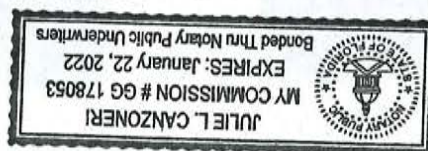
Signed and sworn before me on this 17th day of October, 2018
By James Philcox

Identification verified:

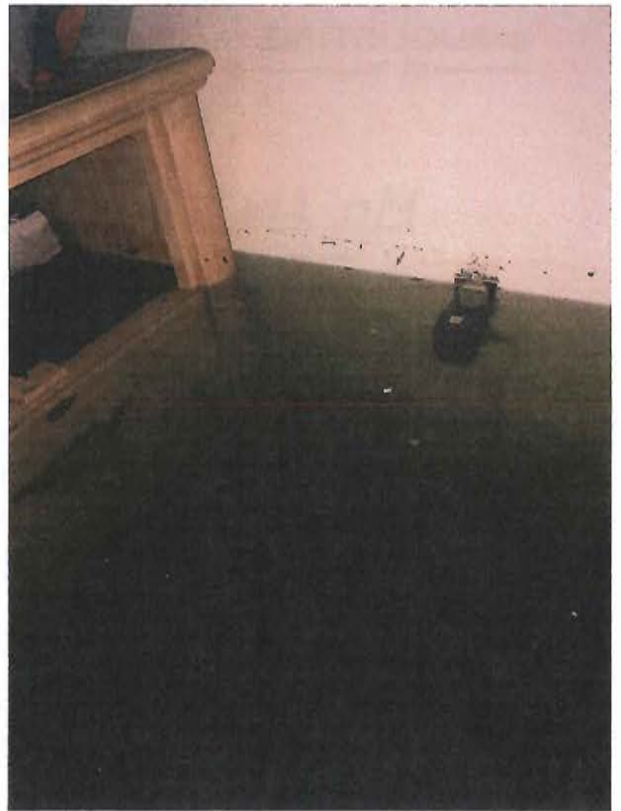
Oath sworn: ☒ Yes ☐ No

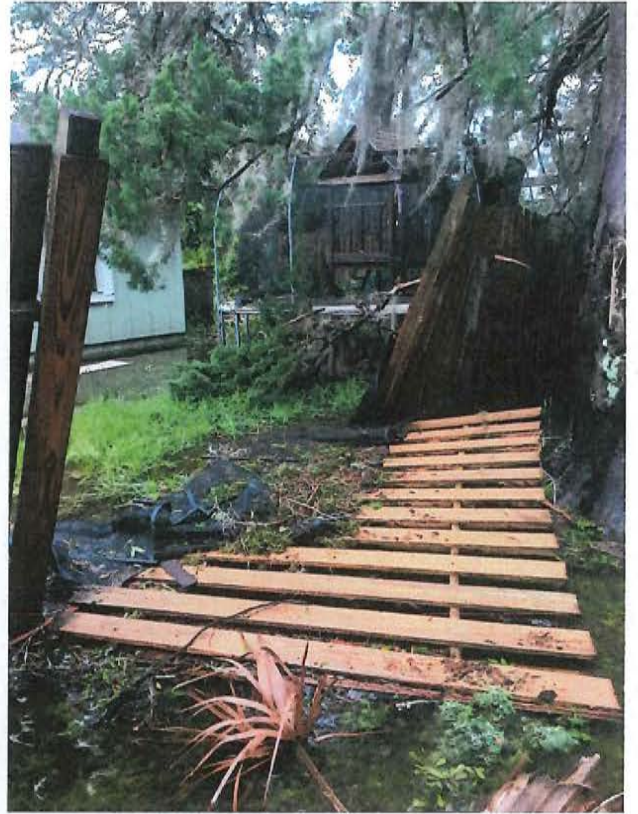
Notary Signature: [Signature]

My Commission expires: January 22, 2022



Irma





Matthew



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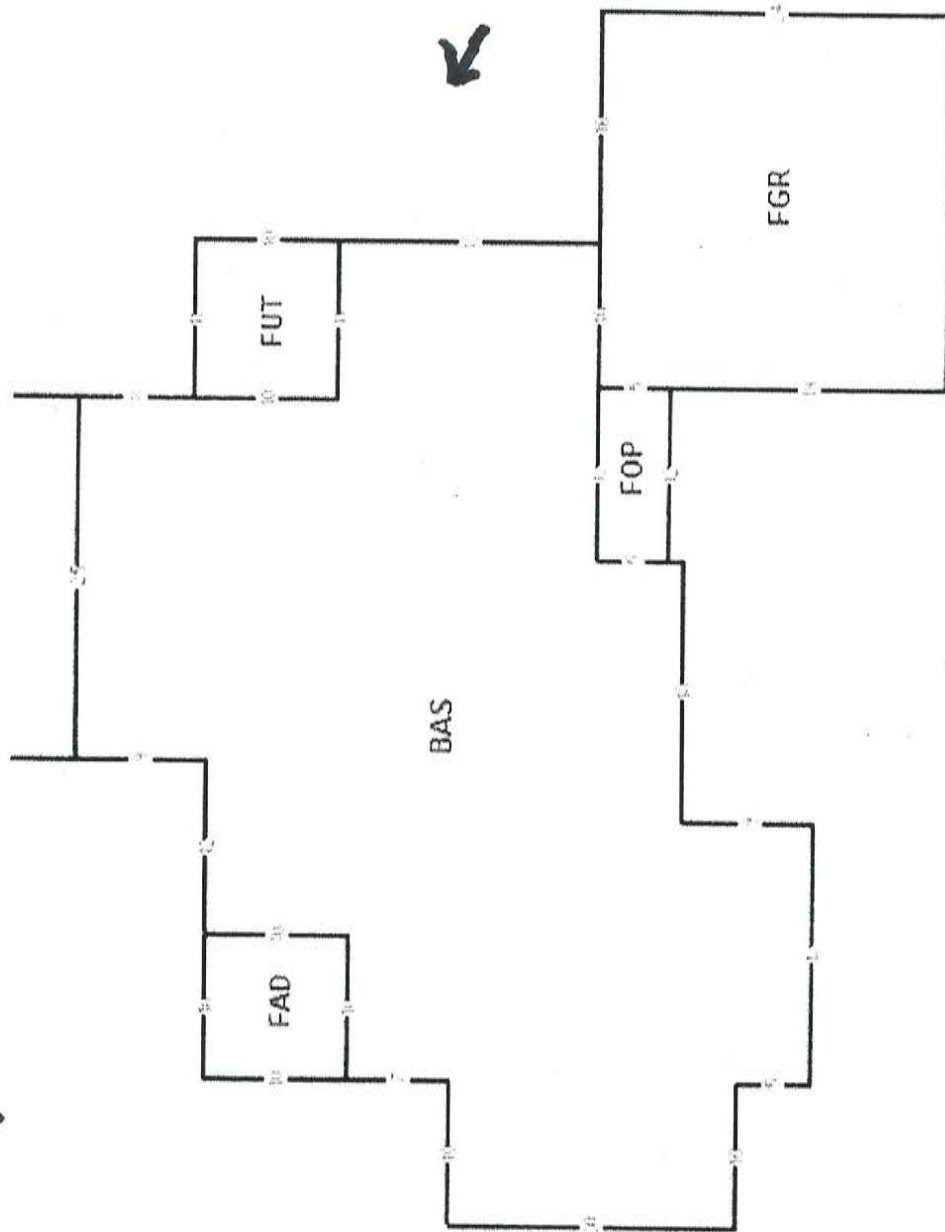
NOV 07 2018

Planning/Building Dept.

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James Philcox
111 Zoratoa Ave



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U.S. SMALL BUSINESS ADMINISTRATION

Disaster Assistance
Processing and Disbursement Center
14925 Kingsport Road
Fort Worth, Texas 76155-2243

817-868-2300
800-366-6303
Hearing Impaired
817-267-4688
Fax 817-868-2332



May 22, 2018

JAMES A. PHILCOX
111 ZORATOA AVE
ST. AUGUSTINE, FL 32080

RE: SBA Disaster Loan No. DLH 2440657004; Application No. 0007003911

Dear Borrower:

We are pleased to inform you that your loan request has been approved in the amount of \$217,000.00 subject to the terms and conditions of the enclosed Loan Authorization and Agreement (LA&A). Please read your LA&A carefully to ensure that you completely understand the terms and conditions of your loan.

We have enclosed your loan documents and instructions for closing your loan. Please follow the instructions carefully, and return your documents as soon as possible.

YOU MUST RETURN THE SIGNED LOAN DOCUMENTS TO SBA WITHIN SIXTY (60) DAYS FROM THE DATE OF YOUR LA&A.

If you have any questions, please contact our Legal Department at the toll free number listed above.

Sincerely,

Legal Department
Enclosures



8-24-18

Mr. James Philcox
111 Zoratoa Ave.
St. Augustine Fl. 32084

Mr. Philcox,

I have completed the preliminary design plans for your new residence at 111 Zorata Ave. See plans included in this email

This is a replacement house for your existing residence that sustained flooding in the two recent hurricane. The new design incorporates the existing swimming pool which we have worked into the new patio. The existing house which has a finish floor height of 6.8 feet NGVD will be removed including the foundations.

The new residence will be built with a finish floor height of 10.5 ft NGVD. This will meet the current requirement of the City of St. Augustine which requires new construction to be at 10ft. NGVD.

The new residence will be a two story with 2200 sq. ft. of heated and cooled area with covered porches and a 2 car garage.

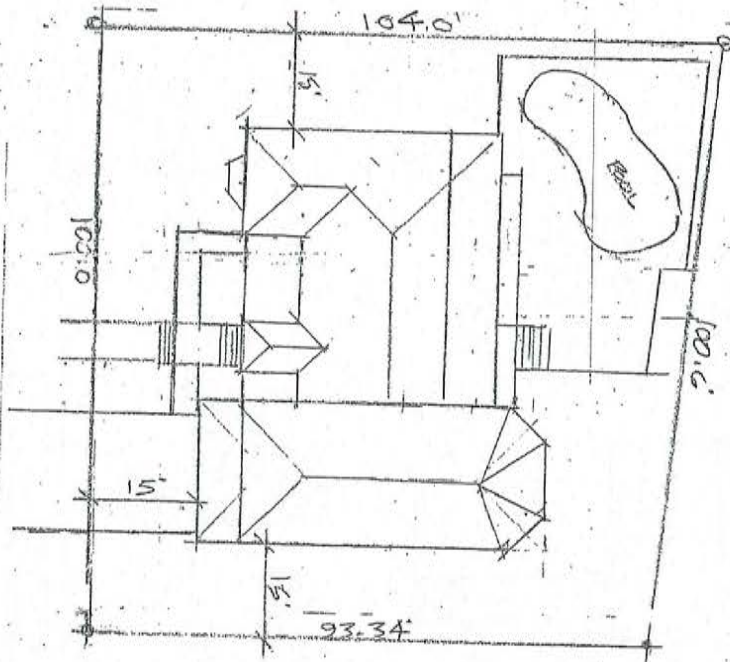
The construction will consist of concrete spread footings, concrete block stem walls, and a poured concrete slab on compacted fill. The walls will be concrete block with stucco finish. The roof will be wood trusses with shingle roofing

The rough estimate of the costs of construction will be about \$175 per sq. ft. x 2200 sq. ft which will be about \$385,000. The cost of the demolition of the existing house will be about \$8,000 bringing the total cost of the project to be about \$393,000. I would estimate the cost for the flood mitigation which would include the concrete footings, 8" concrete block stem walls filled solid with concrete and steel rebar and the concrete slab raised to the 10.5ft. elevation to be about 15% of the cost of the project or about \$58,000.

I look forward to working with you on the completion of your new residence.

Les Thomas, Architect.



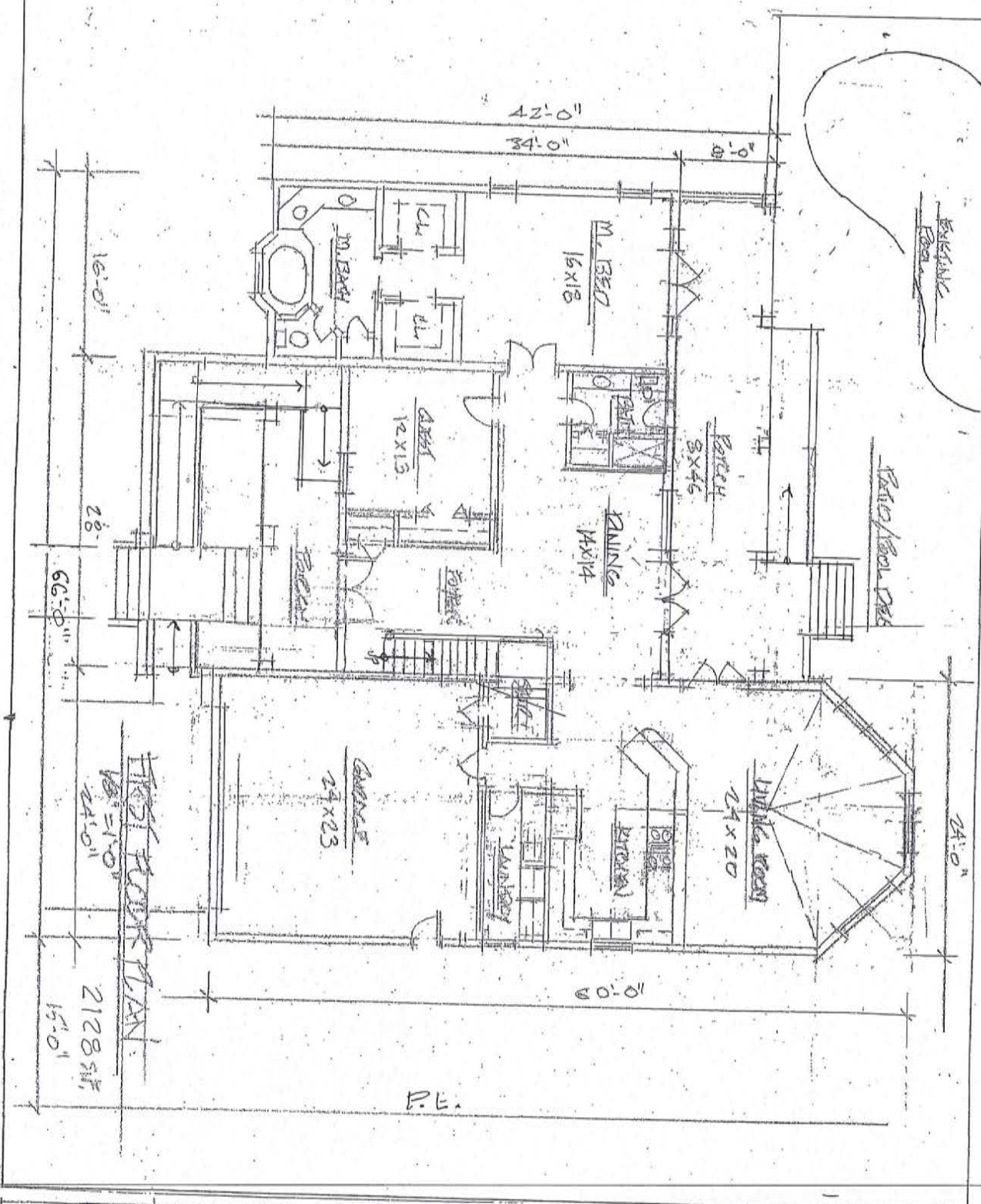


SITE PLAN 1"=20'

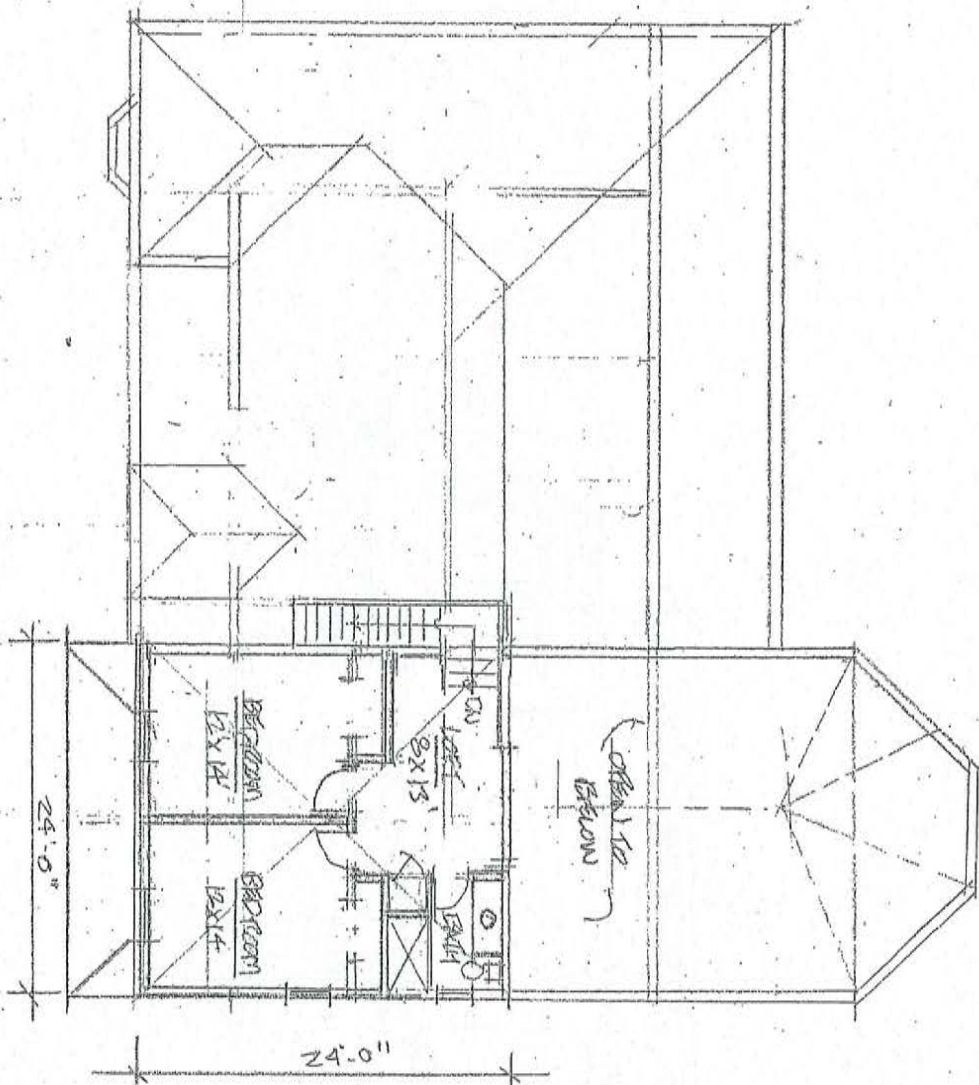
TOT SIZE = 9897 SF
 NEW HOME = 2546 SF (25%)
 (FOR COVERING)

FIRST FLOOR W/C - 2128 SF
 SECOND FLOOR W/C - 576 SF
 PORCH W/C - 1704 SF
 PORCHES - 530 SF
 GARAGE - 624 SF

A-1	8-10-18	NEW RESIDENCE FOR JAMES THILCOX 111 ZORATEA AVE ST AUGUSTINE, FL	LES THOMAS ARCHITECT 32 CORDOVA STREET ST. AUGUSTINE, FLORIDA 32084 AR-0009242 PHONE 854-524-5508 FAX 854-524-5557



A-2	8-10-18	NEW RESIDENCE FOR	LES THOMAS ARCHITECT 32 CORDOVA STREET ST. AUGUSTINE, FLORIDA 32084 PHONE 904-824-9508 FAX 904-824-6667
		JAMES TRILCOX 111 ZORACODA AVE ST. AUG., FL.	



SECOND FLOOR PLAN
 1/8" = 1'-0"
 5/16 5/15

A-3

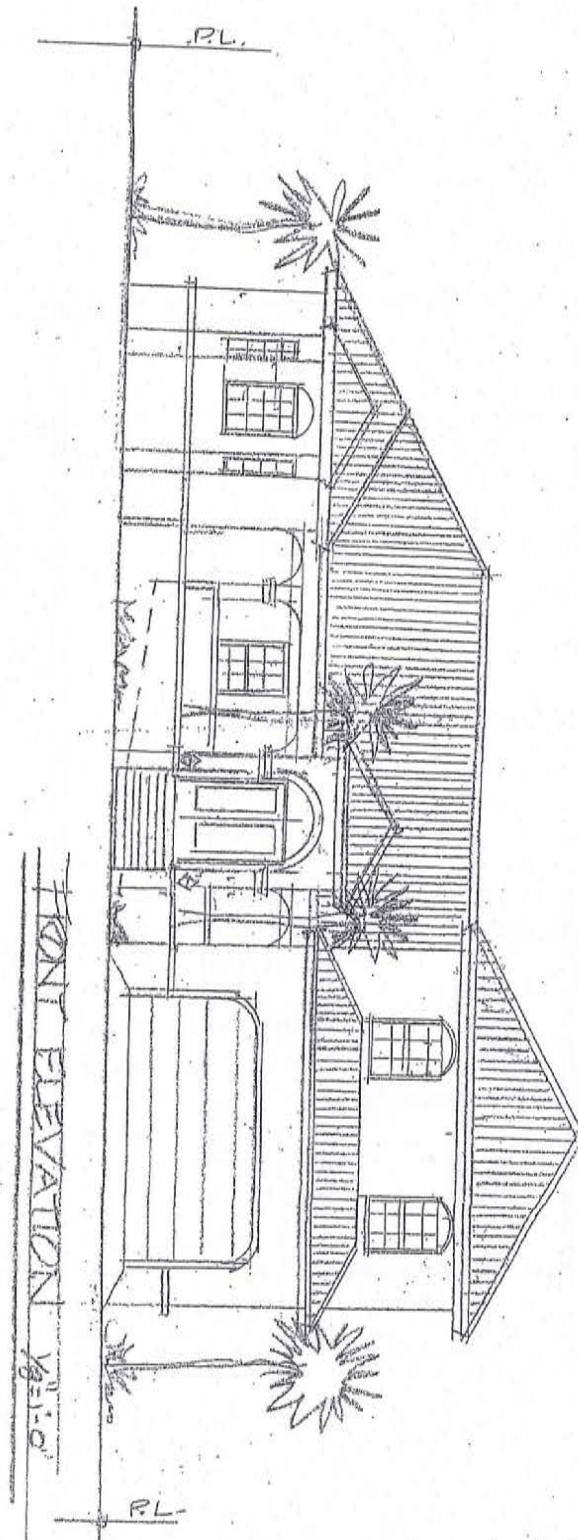
8-10-18

NEW RESIDENCE
 FOR
 JAMES THILCOX
 111 ZORATBA AVE ST. AUG. FL.

LES THOMAS
ARCHITECT

32 CORDOVA STREET
 ST. AUGUSTINE, FLORIDA
 32084

AR-0009242
 PHONE (904) 824-9508
 FAX (904) 824-6667



A-4

8-16-198

NEW RESIDENCE
FOR
JAMES PILCOX
111 ZORATDA AVE ST. AUG. FL.

LES THOMAS
ARCHITECT

32 CORDOVA STREET
ST. AUGUSTINE, FLORIDA
32084

PHONE 904/824-9508
FAX 904/824-6667

AR-0009242

Recorded in Public Records St. Johns County, FL
 Clerk# 97037797 O.R. 1270 PG 1495 03:33PM 10/15/1997
 Recording \$9.00 Surcharge \$1.50 Doc Stamps \$1,260.00

3448 ①
 FOR RECORDER

THIS INSTRUMENT PREPARED BY:
 Della A. Masters
 Anastasia Title Services, Inc.
 2730 U.S. 1 South, Suite G
 St. Augustine, Florida 32086

RECORD AND RETURN TO:
 Anastasia Title Services, Inc.
 2730 U.S. 1 South, Suite G
 St. Augustine, Florida 32086

RE PARCEL ID #: 219660-0000
 BUYER'S TIN:

WARRANTY DEED

THIS WARRANTY DEED made this 13th day of October, 1997 by Kristian W. Klinge and Kristina K. Klinge, husband and wife, hereinafter called Grantor, and whose address is 150 Pelican Reef Drive, St. Augustine, Florida 32084 to James A. S. Philcox AKA James Philcox, a single man, hereinafter called Grantee and whose address is 111 Zoratoa Avenue, St. Augustine, Florida 32084.

(Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

THAT the Grantor, for and in consideration of the sum of Ten and NO/100 Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate, lying and being in St. Johns County, Florida, viz:

Lots 4 and 5, Block 45, DAVIS SHORES SUBDIVISION, according to map or plat thereof as recorded in Map Book 3, Page 99, of the Public Records of St. Johns County, Florida.

SUBJECT TO taxes accruing subsequent to December 31, 1996.

SUBJECT TO covenants, restrictions and easements of record, if any; however, this reference thereto shall not operate to reimpose same.

TOGETHER with all the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

O.R. 1270 PG 1496

Signed, sealed and delivered in our presence:

[Signature]
Witness Signature

Della A Masters
Witness Printed Signature

Trish McCormack
Witness Signature

Trish McCormack
Witness Printed Signature

Kristian W. Klinge
Kristian W. Klinge
Kristina R. Klinge
Kristina R. Klinge

STATE OF FLORIDA
COUNTY OF ST. JOHNS

The foregoing instrument was acknowledged before me this 13th day of October, 1997 by Kristian W. Klinge and Kristina K. Klinge, husband and wife. He/She is personally known to me or has produced Drivers License as identification.

Notary Public, State and County Aforesaid

[Signature]
Notary Signature

(Title or Rank)

Notary Printed Signature

(Serial No., if any)



DELLA A MASTERS
My Commission CC490665
Expires Sep. 17, 1999



St. Johns County, FL

Quick Links

[My Tax Bill](#)
[Tax Estimator](#)
[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 2196600000
Location Address 111 ZORATOA AVE
 SAINT AUGUSTINE 32080-0000
Neighborhood DAVIS SHRS S ANASTAS (590)
Tax Description* 3-99 DAVIS SHORES LOTS 4 & 5 BLK 45 OR1270/1495 & 3932/788(F/J)
 *The Description above is not to be used on legal documents.
Property Use Code Single Family Suspected Environmental Issue (0115)
Subdivision Davis Shores Ocean View Section
Sec/Twp/Rng 17-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.220
Homestead Y

View Map

Owner

Owner Name Philcox James A S 100%
Mailing Address 111 ZORATOA AVE
 SAINT AUGUSTINE, FL 32080-4570

Valuation

	2018
Building Value	\$67,209
Extra Features Value	\$13,652
Total Land Value	\$156,600
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$237,461
Total Deferred	\$53,671
Assessed Value	\$183,790
Total Exemptions	\$50,000
Taxable Value	\$133,790

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$69,342	\$12,404	\$141,375	\$0	\$0	\$223,121	\$180,010	\$93,111	\$130,010
2016	\$140,424	\$11,791	\$141,375	\$0	\$0	\$293,590	\$231,725	\$111,865	\$181,725
2015	\$144,679	\$11,791	\$108,750	\$0	\$0	\$265,220	\$230,114	\$85,106	\$180,114
2014	\$138,171	\$11,791	\$91,350	\$0	\$0	\$241,312	\$228,288	\$63,024	\$178,288
2013	\$142,176	\$11,791	\$73,950	\$0	\$0	\$227,917	\$224,914	\$53,003	\$174,914
2012	\$144,178	\$11,791	\$65,185	\$0	\$0	\$221,154	\$221,154	\$50,000	\$171,154
2011	\$148,183	\$11,791	\$72,428	\$0	\$0	\$232,402	\$225,828	\$56,574	\$175,828
2010	\$150,186	\$11,791	\$80,475	\$0	\$0	\$242,452	\$222,491	\$69,961	\$172,491

Exemptions

Exemption Type	Amount
Homestead	\$25,000
Homestead Band	\$25,000

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	3689	Roof Cover	Composite Shingle
Conditioned Area	2282	Interior Flooring	Sheet Vinyl, Carpet
Actual Year Built	1922	Interior Wall	Drywall
Use	Single Family Residence	Heating Type	Air Duct
Style	01	Heating Fuel	
Class	N	Air Conditioning	Central
Exterior Wall	Wood	Baths	

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	100%
Interior Walls	Drywall	100%
Interior Flooring	Sheet Vinyl	50%
Interior Flooring	Carpet	50%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Masonry	100%
Plumbing	11 Fixtures	100%
Electrical	Good	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Concrete Slab	100%

Description	Conditioned Area	Actual Area
BASE AREA	2182	2182
F OPN PRCH	0	48
F GARAGE	0	624
FRAME UTIL	0	110
FRAME ADDI	100	100
FINSH DECK	0	625
Total SqFt	2282	3689

Extra Features

Code Description	BLD	Length	Width	Height	Units
Pool (Concrete)	0	0	0	0	420
Kool Deck	0	0	0	0	568
Residential Fence	0	0	0	0	205
DECK UNATT	0	0	0	0	279

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	100	90	100	EF	\$156,600

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
9/19/2014	9/16/2014	\$0.00	FJ	3932	788	U	I	PHILCOX JAMES A S	PHILCOX JAMES A S
	10/13/1997	\$180,000.00	WD	1270	1495	Q	I	KLINGE KRISTIAN W,KRISTINA K	PHILCOX JAMES A S
	2/14/1992	\$165,000.00	WD	926	1280	Q	I	BATTELL RAY L,MINERVA	KLINGE KRISTIAN W,KRISTINA K
	8/1/1987	\$0.00		758	488	U	I		BATTELL RAY L,MINERVA

Area Sales Report

Recent Sales in Area

Clerk of Court

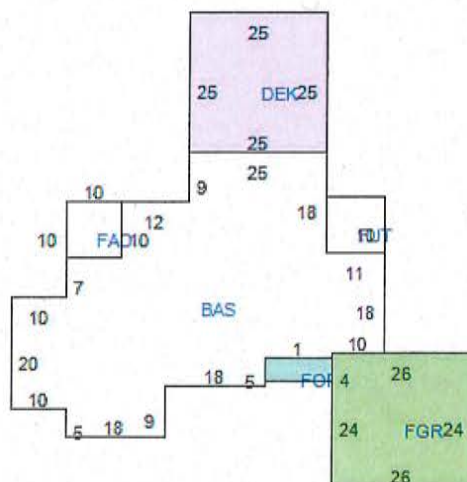
[Clerk of Court](#)

My Tax Bill

Tax Estimator

An aerial photograph of a residential property in St. Augustine, Florida. The property is outlined in blue and contains a large house with a dark roof and a smaller structure. The text 'CITY OF ST. AUGUSTINE' is overlaid on the image. The street 'Zoraida Ave' is visible in the top right corner.

	DEK	DECK
	FAD	FAD
	FUT	FUT
	FGR	FINISHED GARAGE
	FOP	FINISHED OPEN PORCH
	BAS	Base



Developed by
 **Schneider**
GEOSPATIAL

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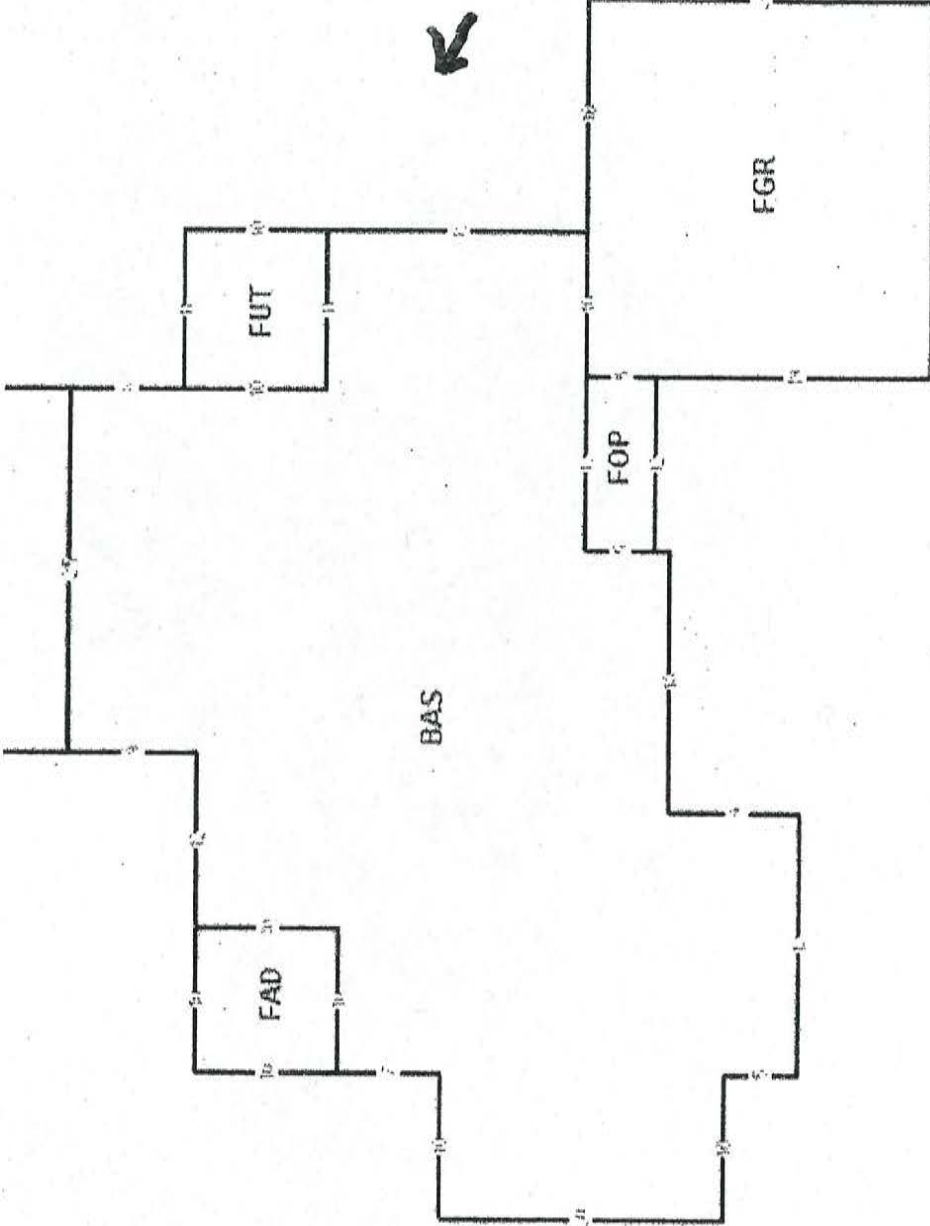
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Planning/Building Dept.

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James Philcox
111 Zoratoa Ave





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CITY OF
ST. AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-141

Address: 28 Magnolia Avenue

Muscetta Custom, Applicant
BETA Three of Alachua LLC, Owner

Project description: Partial demolition of a building recorded in the Florida Master Site File and not located in a National Register District to include removal of windows, doors, exterior walls, and a portion of the roof (after-the-fact).

Architectural Style: Frame Vernacular	Florida Master Site File: 8SJ1256
National Register: N/A	Construction date: 1917
Archaeology Zone: IIA	Zoning District: RS-1
Parcel number: 191450 0000	
Agenda Item: 8(f)	Previous Action(s): N/A

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Demolition for a partial demolition of a building recorded on the Florida Master Site File and not located in a National Register District (after-the-fact).

- A condition assessment was not provided and is not required for a partial demolition.
- The current front roofline was on the home by 1980, and though it has been altered, the footprint of the structure has remained relatively intact. Altering the roofline and removing exterior walls to allow for a new footprint will impact the buildings historic design.
- Two of the front windows will also be filled in, which negatively impacts a primary façade.
- The building was stripped down to its studs and floor supports. The metal roof is all that remains of the exterior building features. Any original elements that related to or reflected the building's design, materials, workmanship, and feeling have been lost.
- Former residents include John B. Mickler, the owner of the Black and White Sandwich Stand; Moffat W. Thomas, who served as the bookkeeper for the Commercial Bank of St. Augustine; Fred Sapp, the chief clerk of Florida Power and Light Company; and Pauline Sap, who was a teacher at the Orange Street School.
- The applicant provided the plans for the proposed alterations to include floorplans and elevation drawings.
- Demolition could meet the ground disturbance criteria outlined in the APO. Archaeological monitoring of the demolition or the minimization of ground disturbance (i.e., no excavation of subsurface foundations) is recommended.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Approve a Certificate of Demolition for 28 Magnolia Avenue** with the following condition:

1. Remaining building materials be salvaged in accordance with 28-89(2)d.6.



Kelli Mitchell, Historic Preservation Planner

**APPLICATION REQUIREMENTS, ELIGIBILITY FOR DEMOLITION REVIEW,
CONDITIONS FOR DEMOLITION APPROVAL:**

Eligibility for Demolition Review (Section 28-87(3), CoSA Code of Ordinances)

The Historic Architectural Review Board (HARB) is responsible for the review of all applications for demolition permits for structures that are fifty (50) years of age or older, listed on the Florida Master Site File, or designated as an historical landmark (as defined by Sec. 28-87.10)

National Register Status (Section 28-89, CoSA Code of Ordinances)

A property currently listed on the National Register of Historic Places individually or as a contributing structure in an historic district is afforded additional scrutiny in the demolition review process by: 1) requiring submittal of a condition assessment report performed by a qualified professional; 2) requiring the applicant to prove "undue economic hardship" to justify demolition; and 3) allowing HARB the option to deny the demolition request if an undue economic hardship is not proven and removal of the building or structure will be detrimental to the historic and architectural character of the city.

Local Landmark Designation (Section 28-87(3) & (10), CoSA Code of Ordinances)

HARB is assigned the authority of reviewing all applications for demolition permits for primary structures... for potential designation as an historical landmark. Local "historical landmarks" are defined as a building, object, site or structure of the highest historical, architectural, cultural or archaeological importance and whose demolition, removal, relocation, or alteration would constitute an irreplaceable loss to the character and quality of the city.

Conditions for Demolition Approval (Section 28-89(2)d, CoSA Code of Ordinances)

HARB has the discretion in its review of an application for Certificate of Demolition to require, as conditions for approval, one or more of the following:

- Design of Replacement Building - *As a condition of issuing a certificate of demolition, the board may require the replacement design be approved by the board and that no permit be issued for the demolition of said structure until drawings sufficient for a building permit and all necessary requirements for the construction of a new building have been submitted for the new construction.*
- Architectural Salvage - *As a condition of issuing a certificate of demolition, the board may require, at the applicant's expense, salvage and preservation of significant building materials, architectural details and ornaments, fixtures, and the like for reuse in restoration of other historic properties.*
- Archival Documentation - *The board may also require at the applicant's expense the recording of the structure for archival purposes prior to demolition. The recording may include, but shall not be limited to, photographs and measured drawings.*

According to the Florida Master Site File, the building was constructed in 1917. The structure is recorded on the Florida Master Site File and is not located in a National Register of Historic Places District.

The application requirements are sufficiently met.

DEMOLITION REVIEW CRITERIA (AGHP):

1. ***Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.*** Not applicable.
2. ***The contribution of the structure to the mass and scale of the streetscape.*** The building contributes to the streetscape which includes buildings of similar mass and scale.
3. ***The impact of the loss of the structure on the streetscape.*** The structure will maintain a similar mass and scale, and the partial demolition will not impact the streetscape.
4. ***Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.*** The project is a partial demolition. The building will remain in place, and while the project will impact the historic design of the building, the building will not be out of scale with the surrounding buildings.
5. ***The historical or cultural merit of the structure.*** The building is not located in a National Register District or listed individually on the National Register. It is recorded, however, on the Florida Master Site File. Former residents include John V. Mickler (1920/21 City Directory), Moffatt W. Thomas (1930 City Directory), John W. Alexander (1937 City Directory), Ben C. Schulz (1940, 1945, and 1954 City Directories), Mrs. Bestie Schulz (1965 City Directory), Charles O'Connor (1970 City Directory), Elbery Collins (1975 City Directory), Donald S. Wehking (1980 City Directory), Donald S. Wehking Jr. (1984/1985 City Directory), Tim Valley (1990 City Directory), James Olmstead (1995 City Directory), Catherine Calver (2000 City Directory), Noelle Schlegal (2000 City Directory), and Andrew and Brenda Kalata (Dec. 2006 City Directory).
6. ***The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood.*** The building is not located in a National Register District and is not listed on the National Register individually. There is no known historic or cultural significance for the building individually.
7. ***Whether or not the structure is representative of a style or type of architecture or a method of construction.*** The home was built in the Frame Vernacular style, which is common in St. Augustine.
8. ***Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.*** The building is an example of the Frame Vernacular style, which is a common style in St. Augustine.
9. ***Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The condition of the structure, and the possibility of rehabilitating or relocating the structure.*** There is not a high degree of craftsmanship that would make reproduction of the building difficult.
10. ***The justification for the proposed demolition.*** The proposed demolition is part of larger renovation efforts.

UNREASONABLE OR UNDUE ECONOMIC HARDSHIP:

Defined as an onerous and excessive financial burden that would be placed upon a property owner by the denial of a certificate of demolition or a similar burden which would be placed on a property owner by conditions which the Commission seeks to place on the granting of a certificate. (Section 28-2 CoSA Code of Ordinances)

Is applicant entitled to a Certificate of Demolition independent of any hardship? ☒ Yes ☐ No

Did applicant submit evidence of undue economic hardship? ☐ Yes ☒ No

In any instance where an undue economic hardship, as defined in this chapter, is claimed by a property owner, the property owner may submit to the board any or all of the following information before the board makes a decision on the application for certificate of demolition: (Section 28-89(3) b, CoSA Code of Ordinances)

(Materials submitted by applicant noted with a checked box)

- ☐ 1. An estimate of the cost of the proposed construction, alteration, demolition, or removal;
- ☐ 2. The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; and, in the case of a proposed demolition, after renovation of the existing property for continued use;
- ☐ 3. In the case of a proposed demolition, an estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property;
- ☐ 4. The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
- ☐ 5. The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years;
- ☐ 6. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property;
- ☐ 7. Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years;
- ☐ 8. The assessed value of the property according to the two (2) most recent assessments;
- ☐ 9. The real estate taxes for the previous two (2) years;
- ☐ 10. The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other;

Any other information considered necessary by the board to a determination as to whether the property does yield or may yield a reasonable return to the property owner. The board may require that the property owner furnish such additional information as the board believes is relevant to the board's determination of any alleged undue economic hardship. No decision of the board shall result in undue economic hardship for the property owner. In any case where undue economic hardship is claimed, the board shall make two (2) specific findings. First, the board shall determine if the owner would be entitled to a certificate of demolition without consideration of undue economic hardship. Second, the board shall determine whether the owner demonstrated an undue economic hardship.

Additional information requested by HARB as per above:

COD F2018-0141
28 Magnolia Ave.
November 15, 2018

LIST OF ATTACHMENTS:

1. Staff Photographs
2. Sanborn Maps
3. City Directory Research
4. Florida Master Site File

SAHS POLK CITY DIRECTORY RESEARCH

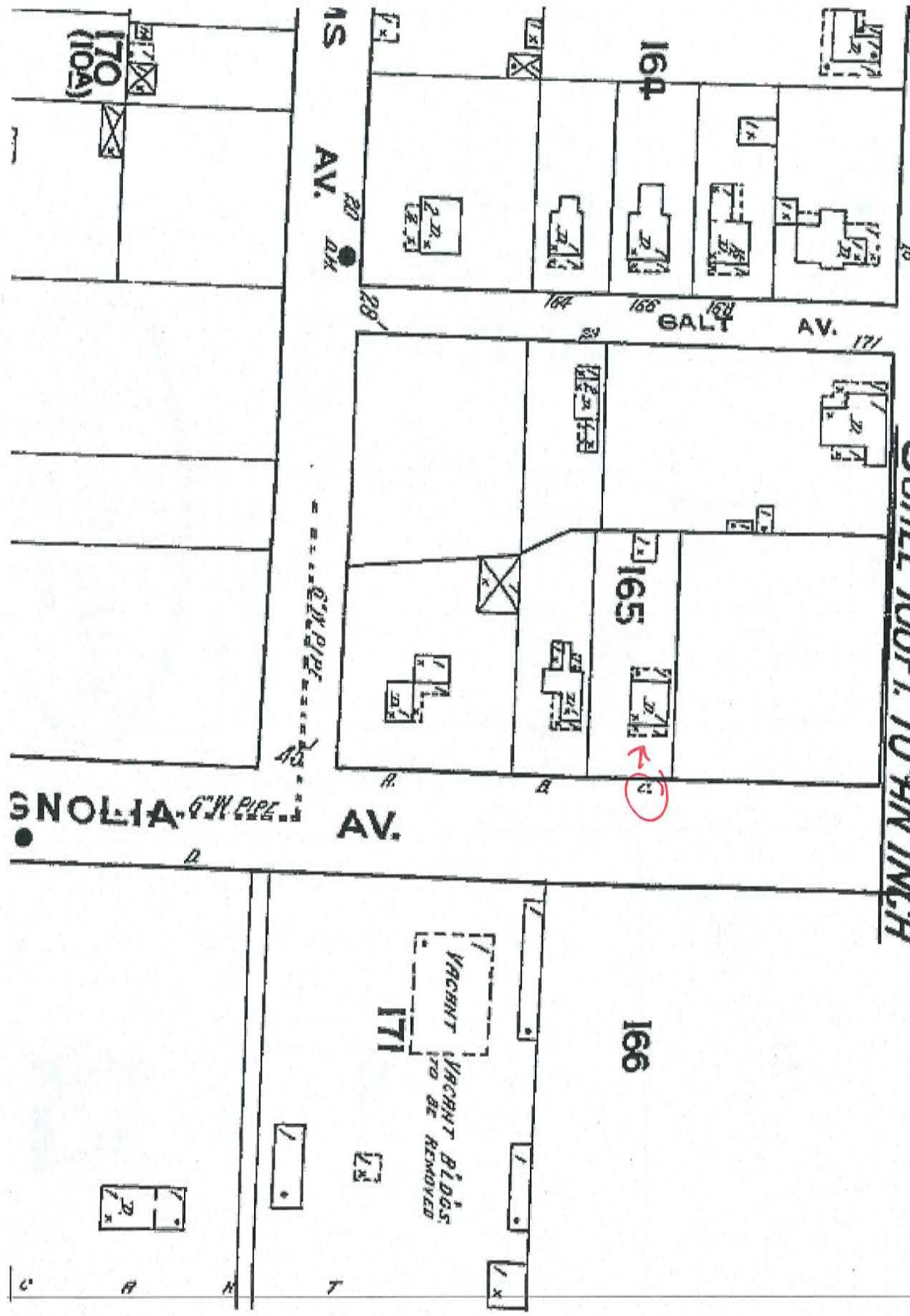
28 Magnolia

DATE(S)	NAME	PROFESSION
1920/21	John V. Mickler	Lab
1924/25	Not Listed	
1930	28 Magnolia: Moffatt W. Thomas 28 ½ Magnolia: Christoble Rogero	Thomas: Bookkeeper at CML Bank of St. Augustine Rogero: Cigar Maker
1937	28 Magnolia: John W. Alexander 28 ½ Magnolia: Ben C. Schulz	Alexander: Teacher, Florida School for the Deaf and Blind
1940	28 Magnolia: Ben C. Schulz 28 ½ Magnolia: Lalla Wilson	Wilson: Teacher, Florida School for the Deaf and Blind
1945	28 Magnolia: Ben C. Schulz 28 ½ Magnolia: Lalla Wilson	
1951	28 Magnolia: Ben C. Schulz 28 ½ Magnolia: Lalla Wilson	
1955	Not Listed	
1959	Not Listed	
1960	Not Listed	
1965	28 Magnolia: Mrs. Bestie Schulz 28 ½ Magnolia: Lalla Wilson	
1970	Charles O'Connor	Retired
1975	28 Magnolia: Elbert Collins 28 ½ Magnolia: Lalla Wilson	Collins: Mechanic
1980	28 Magnolia: Donald S. Wehking 28 ½ Magnolia: Frank Gazman	Wehking: Construction Supervisor
1984-1985	28 Magnolia: Donald S. Wehking Jr. 28 ½ Magnolia: Sandly Candles	
1990	28 Magnolia: Tim Valley 28 ½ Magnolia: Vacant	Valley: UPS Driver
1995	James Olmstead	
2000	Catherine Calver Noelie Schlegal	
Dec. 2006	Andrew and Brenda Kalata	

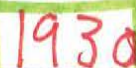
ST. AUGUSTINE
FLA.

159

SCALE 100 FT. TO 1 INCH



1917



1940s
Edition

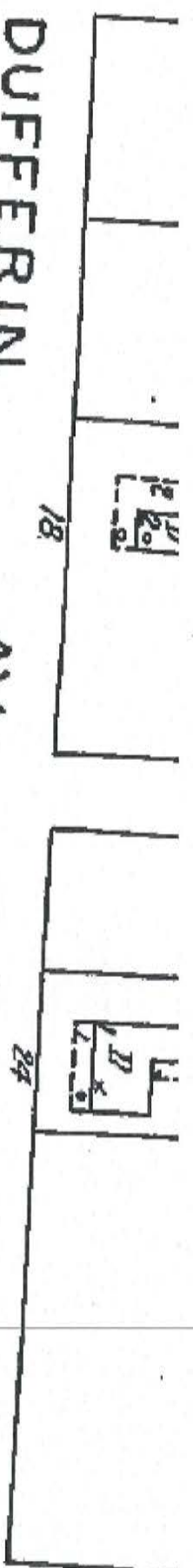
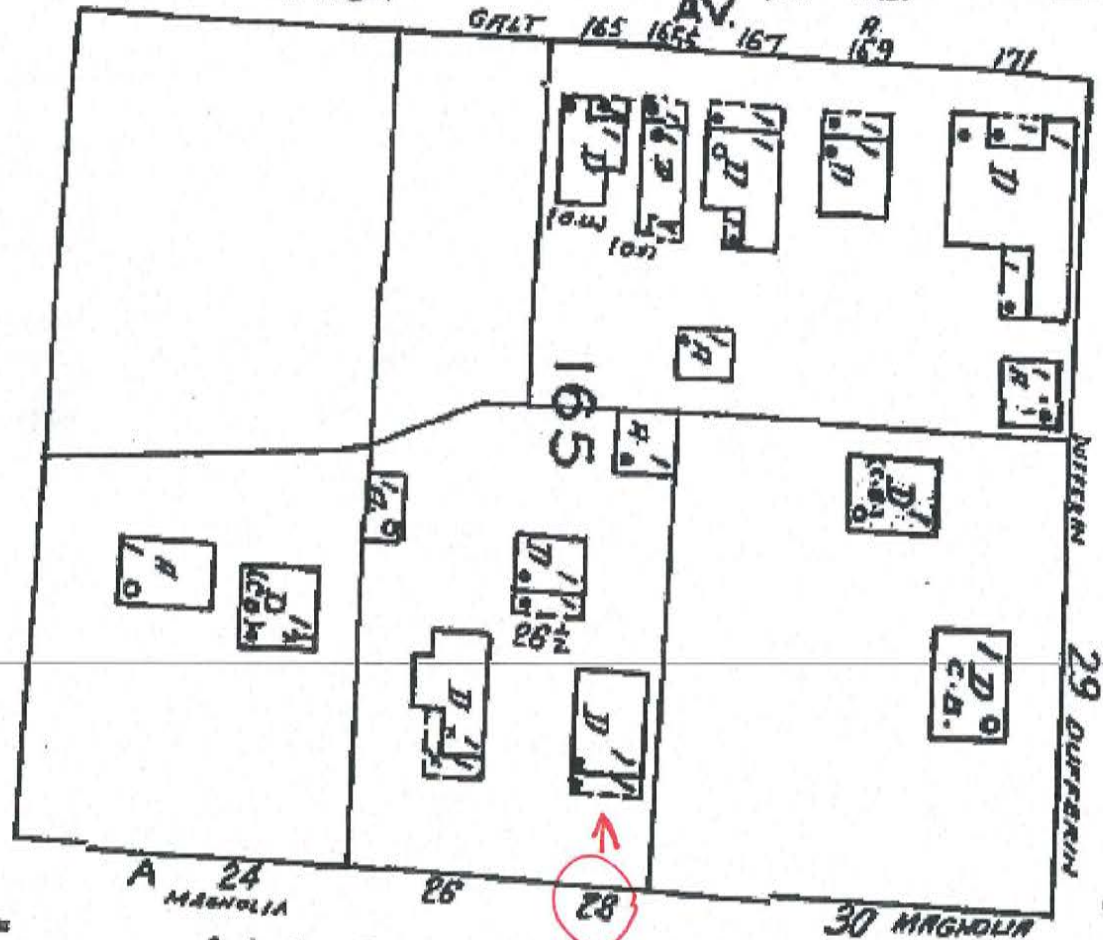
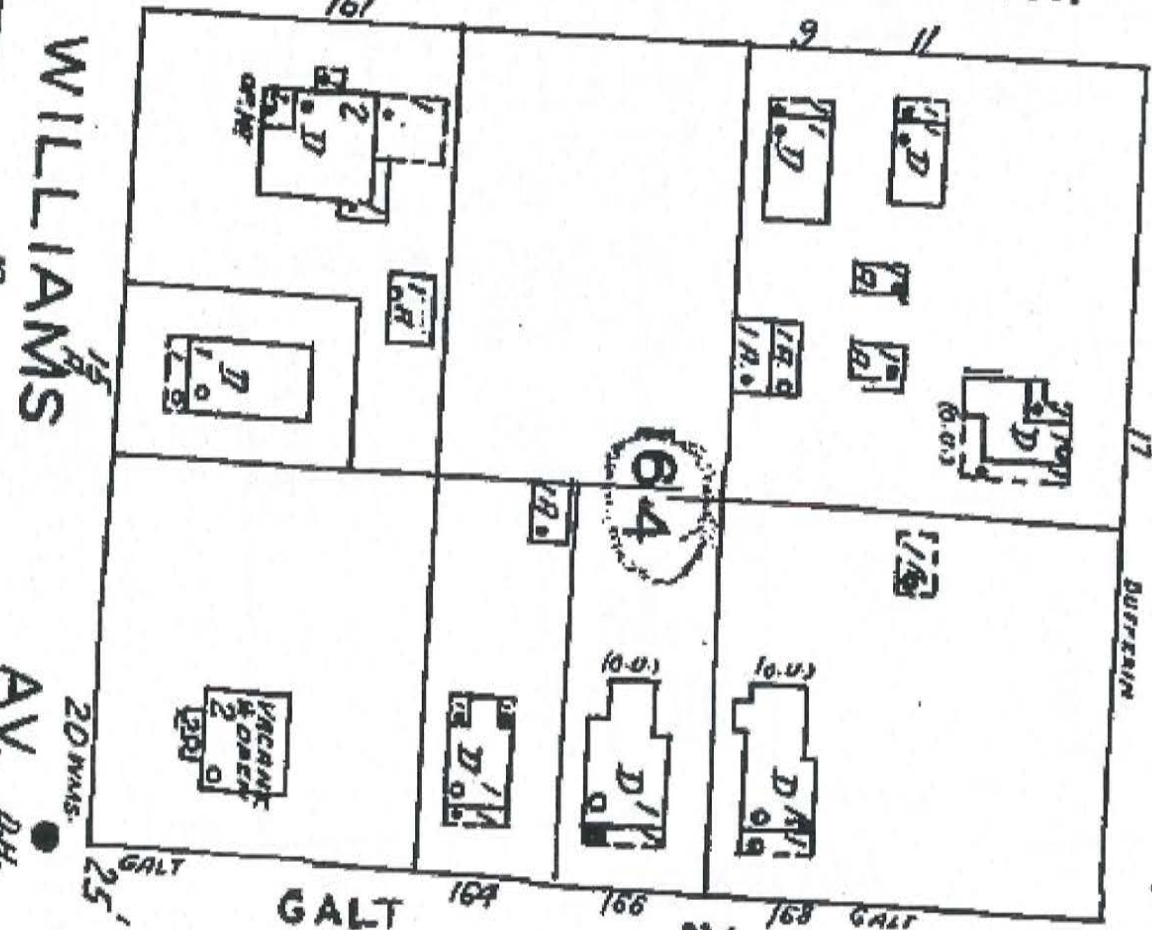
ESTEY AV.

DUFFERIN

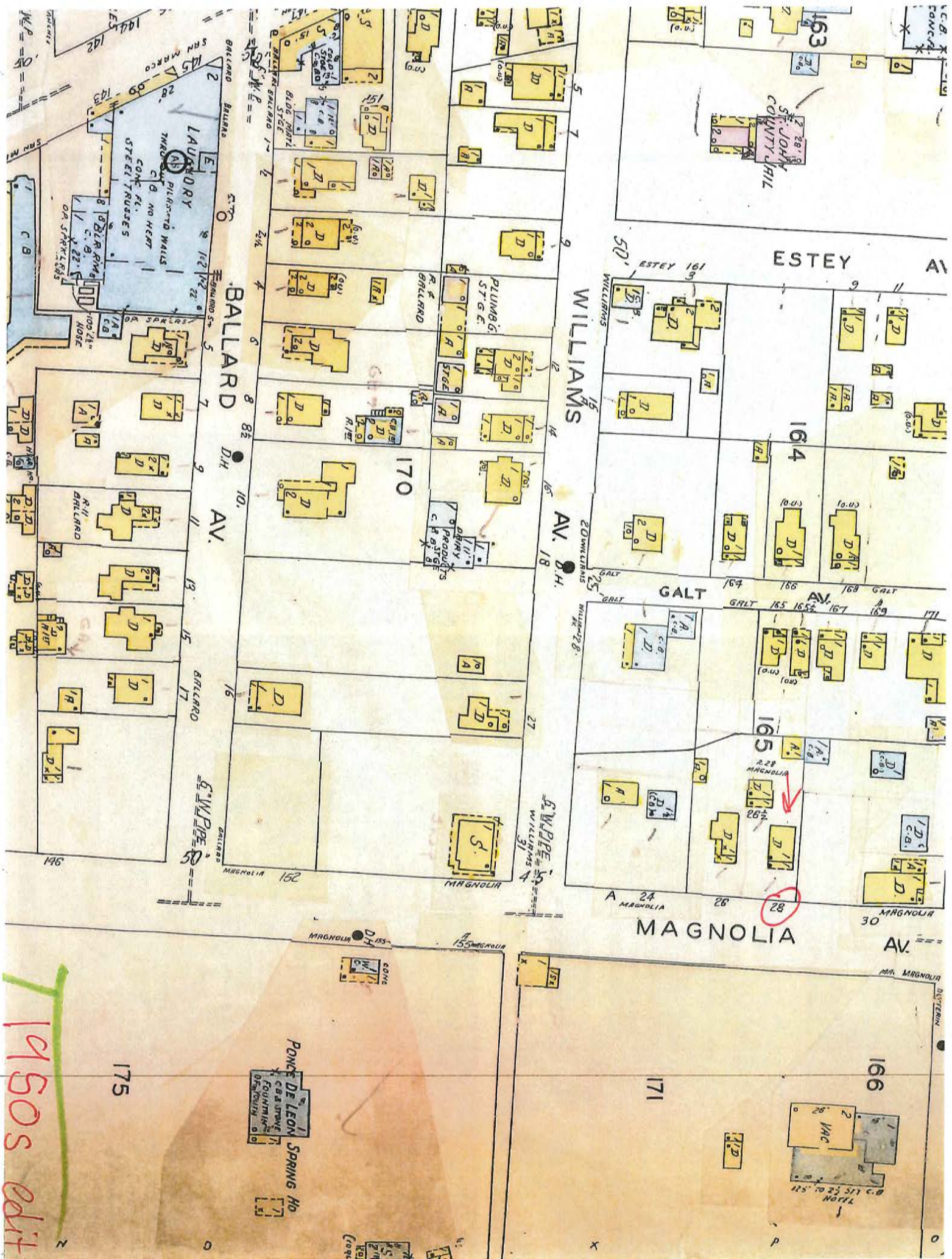
AV.

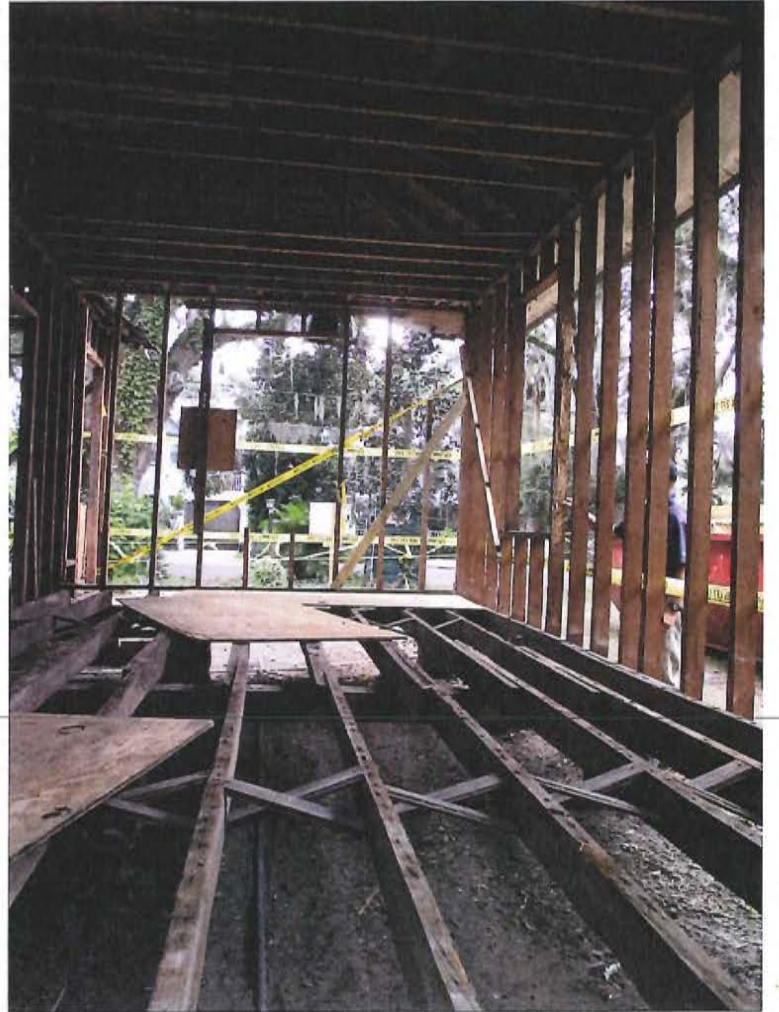
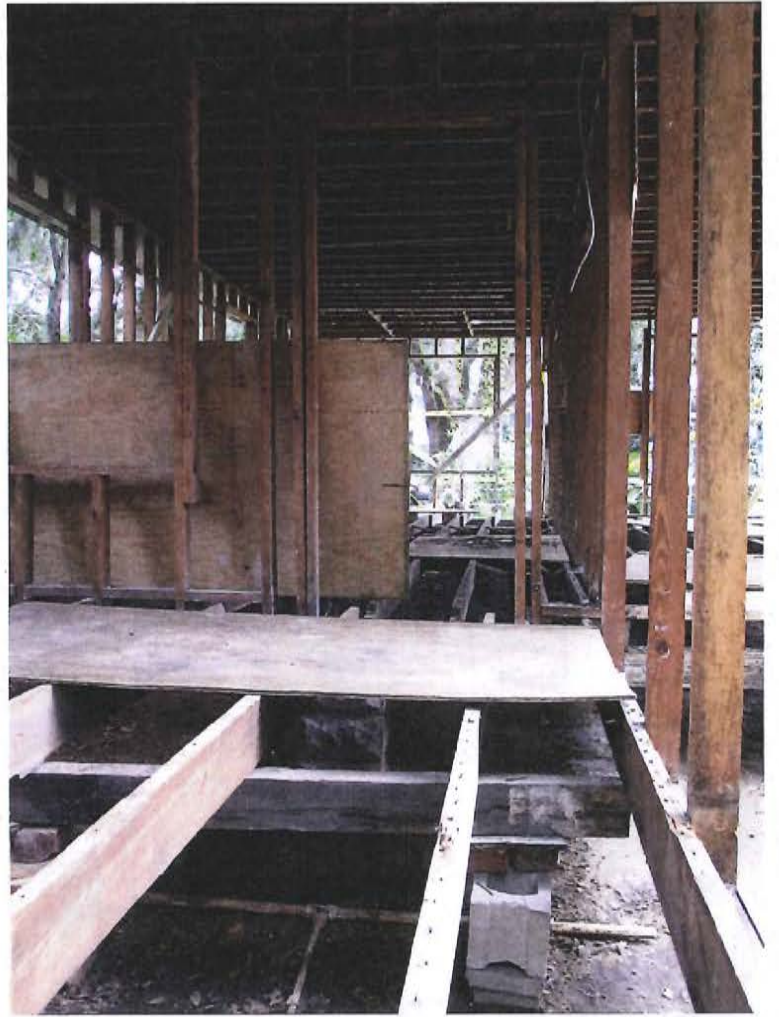
WILLIAMS

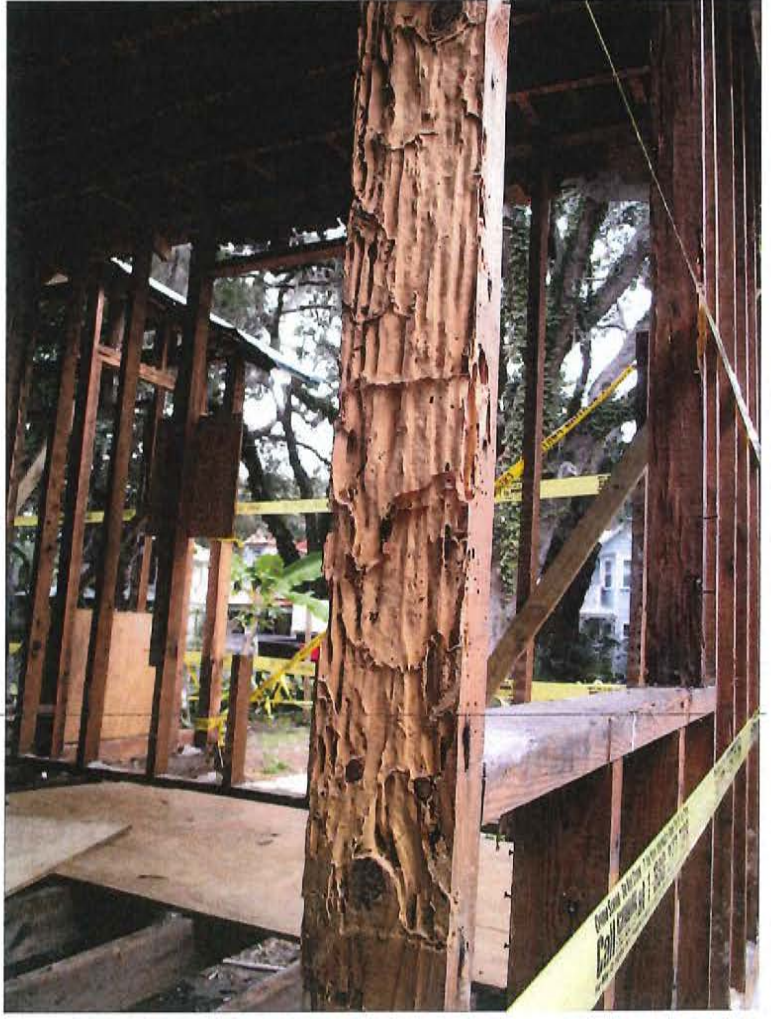
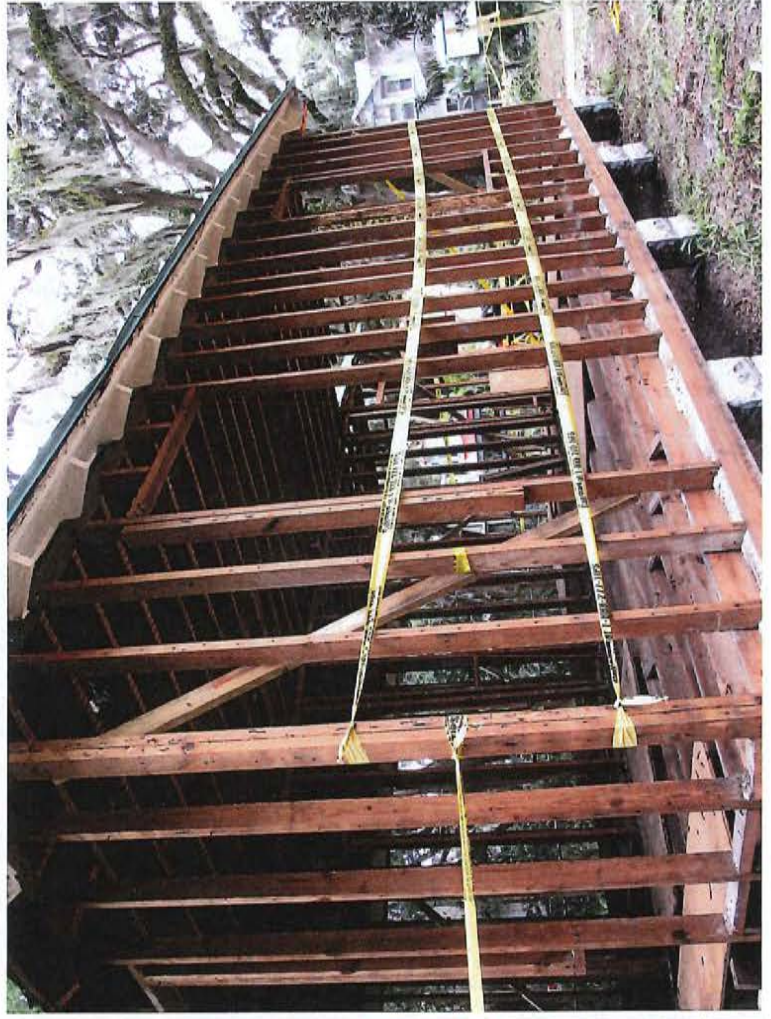
AV. D.H.



24 MAGNOLIA 26 28 30 MAGNOLIA













FLORIDA MASTER SITE FILE
HISTORIC ST. AUGUSTINE PRESERVATION BOARD
HISTORIC PROPERTIES INVENTORY FORM

I. LOCATION & LEGAL DESCRIPTION

FDAHRM _____ 802== Site No. 8SJ1256 1009==
Site Name: 28 Magnolia Avenue 830== Survey Date: 7905 820==
Address: 28 Magnolia Avenue, St. Augustine, Fla. 32084 905==
Instructions for Locating: _____
_____ 813== County: St. Johns 808==
Location: Williams Addition F pt. 3 868==
(subdivision) (block) (lot)
_____ 868==
Owner of Site: Name: Wehking, Donald S., Jr. and Laura Lister ;
Address: 28 Magnolia Avenue
St. Augustine, Fla. 32084 902==
Occupant or Manager: _____ 904==
Type of Ownership: Private 848== Zoning: RSE
NR Classification Category: Building 916== Recording Date: _____ 832==
UTM: 17 469415 3308437 890== Location: T07S R30E S7 812==
(zone) (easting) (northing) (T) (R) (S)
Map Reference: USGS St. Augustine 7.5 MIN 1956 (PR 1970) 809==
Recorder: Name & Title: Nolan, David (Historic Sites Specialist) ;
Address: H.S.A.P.B. 818==

II. SITE DESCRIPTION

Condition of Site:		Threats to Site:	
() Excellent	863==	() Zoning	878==
(x) Good	863==	() Development	878==
() Fair	863==	() Deterioration	878==
() Deteriorated	863==	() Borrowing	878==
		() Transportation	878==
		() Fill	878==
Integrity of Site:		() Dredge	878==
(x) Altered	858==	() Other	878==
() Unaltered	858==		
(x) Original Site	858==		
() Restored - Date:	858==		
() Moved - Date:	858==		

**SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)**

II. SITE DESCRIPTION, continued.

Original Use: Priv. Residence 838== Present Use: Priv. Residence 850==
Date: +1917 844== Period: 20th Cent 845== Culture: American 840==
Architect: _____ 872==
Builder: _____ 874==
Style: Frame vernacular 964==
Plan Type: Rectangular 966==
Exterior Fabrics: Wood, dropside, with cornerboards
_____ 854==
Structural Systems: Wood frame 856==
Features of Structure: (942)
Window Type: DHS, 2/2, metal jalousie 942==
Foundation: Concrete block piers with lattice infill 942==
Roof Type: Hip 942==
Secondary Roof Structures: Gable on L's, hip porch, shed porch 942==
Porches & Balconies: 1 story enclosed porch on SE side
_____ 942==
Chimney Location: Center, ridge 942==
Materials: (882)
Chimney: Brick, with metal capitals 882==
Roof Surfacing: Composition shingles (diamond) 882==
Ornament Exterior: _____ 882==
Quantitative Data: (950-954)
Chimneys: 1 952== Dormers: 0 954== Stories: 1 950==
Other: _____ 956==
Surroundings: Residential 864==
Relationship to Surroundings: Residential building facing ground of
Fountain of Youth.
_____ 859==

III. PHOTOGRAPHY

Photographic Records Numbers: _____ 860==
Contact Prints

IV. SIGNIFICANCE

Areas of Significance: Architecture, Commerce, Education, Banking,

Women

920==

Statement of Significance: (911==)

ARCHITECTURE

This one-story Frame Vernacular residence at 28 Magnolia Avenue was constructed between 1910 and 1917 and was of the later phase of development in Williams Addition. It has a one-story enclosed porch on the south-east side.

This is one of the early Victorian residential areas of North City, particularly along Myrtle and Ballard Streets. The area suffers from the demolition of many outstanding Victorian buildings over the years, and the deterioration or threatened destruction of others. It is also threatened with commercial encroachments from San Marco Avenue, traffic caused by adjacent tourist establishments, and drainage problems when it rains. The area borders the Fountain of Youth Park and has long been famous for its natural beauty and landscape architecture. Magnolia Avenue, with its arching live oak trees, is pointed out by tour guides as "the most beautiful street in the United States." In addition to the early Victorian development, many houses were built here during the first third of the 20th century, giving the neighborhood a distinctive look that transcends half a century of construction styles, set amid centeries-old live oak trees. The northern strip of Williams Addition and some property along May Street were resubdivided later and developed with buildings which drew their inspiration from Bungalow, Mediterranean Revival and Colonial Revival styles.

HISTORY

Williams Addition, San Marco, Miramar, and Miramar-on-the-Bay Subdivisions and the Fountain of Youth Tract fall within the colonial defense perimeter known as the Mil y Quinientos (The Fifteen Hundred). This quadrangular tract evolved out of six early 19th century Spanish land grants, including the northernmost grant to Tomas de Aguilar, the governor's chief secretary. The Aguilar Tract was the northern boundary of the defense perimeter which later formed San Carlos Avenue, the former city limit until 1923.(1) Stephen Arnau, an officer in the Territorial militia, acquired between 1826 and 1835 most of the land within the grants and deeded them in 1851 to his son Paul, who was a five-time mayor of the city.(2) In 1868 Arnau sold the property to State Senator Henry H. Williams, after whom the subdivision and street are named. Williams built a mansion and cultivated oranges and roses on what is

(over)

V. BIBLIOGRAPHY

1. American State Papers; Public Lands, 5 Vols. (Washington: Duff Green), V, 414; Works Project Administration, Spanish Land Grants in Florida, 5 Vols., (Tallahassee, 1940), II, 34-37; III, 152; St. Johns County Court House, Deed Records, Book M, p. 76; Book 55, p. 613.
2. Deed Records, Book R, p. 377; Book HH, p. 279; Biographical File, St. Augustine Historical Society.
3. Deed Records, Book KK, p. 1; Book AAA, p. 510; Book 48, p. 84; Book 65, p. 383; Map Book 4, pp. 38, 65.
4. St. Augustine City Directory, 1920-21, 1930, 1934.

today the southern section of the Fountain of Youth property. Williams subdivided his holdings between 1883 and 1886 and construction commenced at a brisk pace. Sections within Williams Addition were resubdivided at a later date, including San Marco (1922), Miramar (1924), Miramar-on-the-Bay (1924), and Fountain of Youth (1927), the latter by Walter B. Fraser, mayor from 1934-1942 and later state senator.(3)

This house at 28 Magnolia Avenue was once the residence of John B. Mickler, proprietor of the Black and White Sandwich Stand. In 1930 it was the home of Moffat W. Thomas, a bookkeeper for the Commercial Bank of St. Augustine. By 1934 it was the residence of Fred R. Sapp, the chief clerk at Florida Power and Light Company and his wife Pauline, a teacher at Orange Street School.(4)



OCT 15 2018

Planning/Building Dept.



**CITY OF ST AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD
APPLICATION**



- ☒ **CERTIFICATE OF DEMOLITION**
☐ **CERTIFICATE OF RELOCATION**

Application Fee: \$300.00 full/\$150.00 partial (plus advertising costs) BDAC Project No. 2018-0141

Receipt No. 1466773

Meeting Date 11/15/18

Advertising Costs \$ _____ Paid on _____ Receipt No. _____

1. NAME OF APPLICANT Joe Muscetta
 Business (if applicable) Muscetta Custom
 Address 2831 Glimpse of Glory Rd
 City ST Augustine State FL Zip 32084
 Daytime telephone 904 599 1646 Other phone/email _____

***Correspondence related to this application will be based on the above information

2. NAME OF PROPERTY OWNER Joni Abate Spires
 Business (if applicable) _____
 Address 28 Magnolia Ave
 City ST Augustine State FL Zip 32084
 Daytime telephone (required) _____ Other phone _____

3. PROJECT STREET ADDRESS 28 Magnolia ST. Augustine

4. LEGAL DESCRIPTION OF PROPERTY
 Lot 3 Block F Subdivision Williams Addition Parcel Number _____

5. DATE OF CONSTRUCTION as soon as possible Source: _____

6. HISTORIC STATUS (check all that apply)

- ☐ Designated Local Landmark
☐ Property individually listed on the National Register of Historic Places
☐ Contributing building in National Register Historic District
☐ Listed on Florida Master Site File
☒ 50 years of age or older

7. PROPOSED PROJECT WORK (check one)

- ☒ PARTIAL DEMOLITION - Permanent removal of any significant architectural features including porches, dormers, chimneys, walls, additions, etc.
☐ FULL DEMOLITION - The complete razing of a building resulting in its permanent removal.
☐ RELOCATION - The moving of all or part of a building from one property and placing it on a different property. Also the shifting or reorientation of all or part of a building on the same property.

8. PROPOSED REPLACEMENT BUILDING/FEATURE: addition new roof trusses

OC 15 274

Planning/Building Dept.

9. FOR PARTIAL DEMOLITION PROJECTS ONLY

A. Indicate architectural features to be permanently removed (check all that apply):

HISTORIC	NOT HISTORIC	NOT SURE	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building addition
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Outbuilding/Accessory building
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) Specify: _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony Specify: _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior walls
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding) Specify: <u>wood siding</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fenestration (arrangement of windows and doors)

B. Required submittals:

- ☒ Photographs and/or drawings of elevations and architectural features to be removed.
- ☒ Drawings of proposed improvements and replacement features as applicable.

10. FOR FULL DEMOLITION PROJECTS ONLY

A. Required submittals for all full demolition projects:

- ☐ Photographs of existing conditions including façades of the building and interior features if applicable.
- ☐ Drawings of proposed replacement buildings and or features if applicable.

B. Required submittals for buildings designated as Local Landmarks, individually listed on the National Register of Historic Places, or a contributing building in a National Register Historic District:

- ☐ *Condition assessment report* - A report from an architect or structural engineer licensed in the State of Florida with demonstrated experience in historic restoration/rehabilitation as to the structural soundness of the building and its adaptability for continued use.
- ☐ *Proof of unreasonable or undue economic hardship* - the property owner may submit to the board any or all of the following information:
 - o An estimate of the cost of the proposed construction, alteration, demolition, or removal.
 - o The estimated market value of the property in its current condition and after completion of the proposed construction, alteration, demolition, or removal.
 - o An estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
 - o The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any.
 - o The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years.
 - o All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property.
 - o Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years.
 - o The assessed value of the property according to the two (2) most recent assessments;
 - o The real estate taxes for the previous two (2) years.
 - o The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, or joint venture.
 - o Any other information deemed appropriate by the applicant as to how the property does not yield or may not yield a reasonable return to the property owner.

11. FOR RELOCATION PROJECTS ONLY

- A. Address or location where building is to be moved: _____
- B. Estimated costs:
- o Purchase price _____
 - o Moving fee (prepared by a licensed and insured building mover) _____
 - o Building rehabilitation _____
- C. Required submittals:
- ☐ Photographs of existing conditions including façade of the building.
 - ☐ If the new location is within the city limits, provide a site plan and drawings of any new improvements. (If the building is to be located in a Historic Preservation zoning district, a Certificate of Appropriateness will also be required.)

12. AGREEMENT – Unless the property owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, all owners of record must sign the application. If the applicant is different than the property owner, the application must be signed by both parties.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if the Certificate of Demolition or Certificate of Relocation is approved that a demolition inspection, archeological review, and building permit from the city are required prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME Joseph Muscota DATE 10-9-2018

SIGNATURE OF APPLICANT [Signature]

✓ PRINT 1st OWNER'S NAME Joni Abate Spires DATE 10-10-2018

✓ SIGNATURE OF 1st PROPERTY OWNER Joni Abate Spires

PRINT 2nd OWNER'S NAME _____ DATE _____

SIGNATURE OF 2nd PROPERTY OWNER _____

PRINT 3rd OWNER'S NAME _____ DATE _____

SIGNATURE OF 3rd PROPERTY OWNER _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

APPLICATIONS FOR CERTIFICATES OF DEMOLITION AND RELOCATION

The applicant shall submit a completed application on or before the monthly deadline in order for it to be placed on the following month's Historic Architectural Review Board (HARB) agenda. The board meets the third Thursday of each month unless otherwise scheduled. Failure to submit a substantially complete application may result in a continuance of the request.

In the event that the property owner is not a governmental agency; licensed business or company; incorporated organization; or an administered estate, all property owners of record must sign the application.

All Certificate of Demolition applications are reviewed by city staff for consistency and compliance with the 2011, 4th edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. (Copies of this document are available for a fee upon request.) Guidelines include consideration of historic and architectural significance; uniqueness of the building; existing conditions; and potential for relocation.

Within zoning districts HP-1, HP-2 and HP-3, HARB may approve a Certificate of Appropriateness for a replacement structure before approving a Certificate of Demolition. These applications may be reviewed concurrently.

For buildings relocated within any historic preservation zoning district a Certificate of Appropriateness is required for the building's new location.

PUBLIC NOTICE REQUIREMENTS (costs to be assessed to the applicant)

Certificates of Demolition shall meet the following public notice requirements:

1. *Mailed notices* - The applicant shall notify not less than ten (10) days in advance of the date of public hearing, via the United States Postal Service, all adjacent property owners within 150 feet of the boundaries of the subject property. A list of owners is provided by the Planning & Building Department. The applicant shall produce evidence that the mailing was completed by the deadline.
2. *Legal ad* - The city shall publish a legal advertisement for the application in a newspaper of general circulation not less than ten (10) days prior to the public hearing.
3. *Signs* - The city shall post a sign on each street frontage of the property in full view of the public providing notification of the pending hearing not less than seven (7) days in advance of the meeting. The sign shall be maintained by the applicant until final determination has been made.

BOARD REVIEW

Members of HARB review each application at a public hearing where all interested parties have an opportunity to be heard and present evidence. It is the duty of board members to weigh the evidence and render a decision. The board may approve, approve with conditions, continue or deny an application. Conditions that may be stipulated for demolitions include architectural salvage, pre-approval for the design of any new construction, and/or archival documentation of the existing building. Also the board has the option to postpone any demolition for two, 12-month periods. The proposed demolition of any colonial building or designated local landmark requires additional review and approval by the city commission.

After receiving an approval from the HARB and satisfying any stipulated conditions, the applicant may submit a building permit application for demolition based on the approved HARB order of demolition which is effective on the 31st day following the date of the rendered order. Please note that city inspection of the property and a building permit is required before the actual demolition can begin. In certain areas of the city an archeological permit may also be required.

When construction of the new structure is delayed, the site must be cleared and sodded within thirty (30) days of the demolition or relocation. In historic preservation zoning districts (HP-1 through 5) the vacant property must be enclosed by a solid board fence at least 5 ½ feet high.

RECEIVED

OCT 15 2018

Planning/Building Dept.



CITY OF
ST. AUGUSTINE
EST. 1565

Owner's Authorization For Agent

Joe Muscetta is/are hereby authorized TO ACT ON BEHALF
OF Joni Abate Spires the owner(s) of those lands described within ☒

the attached application, or ☐ described within the previously filed
Application number: _____, and as described in the attached deed or
other such proof of ownership as may be required, in applying to the City
of St. Augustine's Historic Architectural Review Board, for an application
related to a Certificate of Demolition for the structure located at:

28 Magnolia ave St Augustine FL 32084

BY: Joni Abate Spires ✓
Signature of Owner

Joni Abate Spires ✓
Print Name of Owner

904-826-7755
Telephone Number

State of Florida

County of St. Johns

Signed and sworn before me on this 10th day of October, 2018.

By Joni Abate Spires

Identification verified:

Oath sworn: ✓ Yes No

Notary Signature: Kathryn L. Lewis

My Commission expires: 2/7/20



KATHRYN L. LEWIS
MY COMMISSION # FF 957765
EXPIRES: February 7, 2020
Bonded Thru Budget Notary Services

car Building Front View



RECEIVED

OCT 15 2010

Planning/Building Dept.

long, front view



RECEIVED

OCT 15 2018

Planning/Building Dept.

Home Back View



RECEIVED

OCT 15 2013

Planning Building Dept.

out Building Back View



RECEIVED

OCT 15 2010

Planning/Building Dept.

Out Building side view





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Limited Liability Company
BETA THREE OF ALACHUA, LLC

Filing Information

Document Number	L06000045709
FEI/EIN Number	N/A
Date Filed	05/02/2006
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	06/03/2014

Principal Address

14818 NW 140TH STREET
ALACHUA, FL 32615

Changed: 06/03/2014

Mailing Address

PO BOX 2410
ALACHUA, FL 32616

Changed: 06/03/2014

Registered Agent Name & Address

STEWART, WILLIAM
14818 NW 140TH STREET
ALACHUA, FL 32615

Name Changed: 06/03/2014

Address Changed: 06/03/2014

Authorized Person(s) Detail

Name & Address

Title MGRM

SPIRES, Joni
PO BOX 4289
ST. AUGUSTINE, FL 32085

THE MGR

Title MGR

STEWART, WILLIAM
PO BOX 2410
ALACHUA, FL 32616

Annual Reports

Report Year	Filed Date
2016	04/29/2016
2017	04/28/2017
2018	04/26/2018

Document Images

04/26/2018 -- ANNUAL REPORT	View image in PDF format
04/28/2017 -- ANNUAL REPORT	View image in PDF format
04/29/2016 -- ANNUAL REPORT	View image in PDF format
04/30/2015 -- ANNUAL REPORT	View image in PDF format
04/30/2008 -- ANNUAL REPORT	View image in PDF format
04/27/2007 -- ANNUAL REPORT	View image in PDF format
05/02/2006 -- Florida Limited Liability	View image in PDF format

Florida Department of State, Division of Corporations

Instr #2018052194 BK: 4583 PG: 1376, Filed & Recorded: 7/20/2018 3:20 PM #Pgs:3

Hunter S. Conrad, Clerk of the Circuit Court St. Johns County FL Recording \$27.00 Doc. D \$1,995.00

in & Ret Rec: \$29.00 Doc: \$1995.00

After Recording Return to:

This Instrument Prepared by:

Marlene Lagasse (\$285,000.00)

ESTATE TITLE OF ST. AUGUSTINE, INC.

71 CARRERA STREET

ST AUGUSTINE, FL 32084

as a necessary incident to the fulfillment of conditions
contained in a title insurance commitment issued by it.

Property Appraisers Parcel I.D. (Folio) Number(s):

191450-0000

File No.: 62008

WARRANTY DEEDThis Warranty Deed, Made the 20 day of July, 2018, by**BRENDA MARIA KALATA, TRUSTEE OF THE KALATA REVOCABLE TRUST and ANDREA M. BARNIA, FORMERLY KNOWN AS ANDREA M. KALATA**, CONVEYING SEPARATE NON-HOMESTEAD PROPERTY whose post office address is24 May ST ST Augustine FL 32084hereinafter called the "Grantor", to **BETA THREE OF ALACHUA,, LLC, A FLORIDA LIMITED LIABILITY COMPANY** whose post office address is:PO Box 4289 ST Augustine FL 32085
hereinafter called the "Grantee".**WITNESSETH:** That said Grantor, for and in consideration of the sum of **Ten Dollars and No Cents (\$10.00)** and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in **St Johns County, Florida**, to wit:

LOT NUMBER THREE (3) IN BLOCK "F" OF THE WILLIAMS ADDITION AS PER OFFICIAL MAP OF ST. AUGUSTINE, DATED JANUARY 1, 1905 AND NOW ON FILE IN THE OFFICE OF THE CLERK, OF THE CIRCUIT COURT IN AND FOR ST. JOHNS COUNTY, FLORIDA; THE ABOVE LOT BEING MORE PARTICULARLY DESCRIBED AS LOT 3, IN BLOCK 1 OF THE H. WILLIAMS SECOND ADDITION TO ST. AUGUSTINE, AS PER PLAT OF SAME RECORD IN DEED BOOK "KK", PAGE 1, ST. JOHNS COUNTY RECORDS; SAID LOT HAVING A FRONTAGE ON MAGNOLIA AVENUE OF 50 FEET AND A DEPTH OF 150 FEET.

The property is not the homestead of the Grantor(s) under the laws and constitution of the state of Florida in that neither Grantor(s) or any member of the household of Grantor(s) reside thereon.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.**To Have and to Hold**, the same in fee simple forever.**And** the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to 2017, reservations, restrictions and easements of record, if any.

BK: 4583 PG: 1377

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES

TWO SEPARATE DISINTERESTED WITNESSES REQUIRED

2 Witness Signature: [Signature] [Signature]
2A Printed Name: Richard S. Young ANDREA M. BARNA FKA ANDREA M. KALATA
FKA Andrea M. Kalata

3 Witness Signature: [Signature]
3A Printed Name: Michelle M. Michael-Mill

State of PA

4 County of Northampton

The foregoing instrument was acknowledged before me this 16th day of July, 2018 by

who is/are personally ANDREA M. BARNA FKA ANDREA M. KALATA

known to me or has/have produced driver license(s) as identification.

[Signature]
Notary Public Signature
Printed Name:

My Commission Expires: July 7, 2019
(SEAL)

6A-

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Michelle M. Michael-Mill, Notary Public
Hanover Twp., Northampton County
My Commission Expires July 7, 2019

BK: 4583 PG: 1378

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES

TWO SEPARATE DISINTERESTED WITNESSES REQUIRED

Witness Signature: _____

Printed Name: _____

THE KALATA REVOCABLE TRUST

Brenda Maria Kalata
Brenda Maria Kalata
Trustee

Witness Signature: _____

Printed Name: _____

State of Florida

County of St Johns

The foregoing instrument was acknowledged before me this 20 day of July, 2018 by

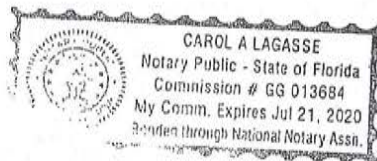
BRENDA MARIA KALATA TRUSTEE OF THE KALATKA REVOCABLE TRUST who is/are personally

known to me or has/have produced driver license(s) as identification.

Notary Public Signature: _____

Printed Name: _____

My Commission Expires: _____
(SEAL)



Detail by Entity Name

Florida Limited Liability Company
BETA THREE OF ALACHUA, L.L.C.

Filing Information

Document Number	L01000003503
FEI/EIN Number	NONE
Date Filed	03/07/2001
State	FL
Status	INACTIVE
Last Event	CORPORATE MERGER
Event Date Filed	04/11/2001
Event Effective Date	NONE

Principal Address

35 MAGNOLIA AVENUE, SUITE 2084
ST. AUGUSTINE, FL 32084-2833

Mailing Address

35 MAGNOLIA AVENUE, SUITE 2084
ST. AUGUSTINE, FL 32084-2833

Registered Agent Name & Address

WATSON, TODD
7785 BAYMEADOWS WAY, SUITE 107
JACKSONVILLE, FL 32256

Authorized Person(s) Detail**Name & Address**

Title MGR

SPIRES, CHARLES
35 MAGNOLIA AVENUE, SUITE 2084
ST. AUGUSTINE, FL 32084-2833

Annual Reports

No Annual Reports Filed

Document Images

04/11/2001 -- MERGER	View image in PDF format
--------------------------------------	--

03/07/2001 -- Florida Limited Liabilities	View image in PDF format
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[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /



St. Johns County, FL

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[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 1914500000
Location Address 28 MAGNOLIA AVE
 SAINT AUGUSTINE 32084-0000
Neighborhood WMS ADDN (597)
Tax Description* CITY OF ST AUGUSTINE WILLIAMS ADDITION LOT 3 BLK F OR4583/1376
 *The Description above is not to be used on legal documents.
Property Use Code Multi-Family (Less than 10 Units) (0800)
Subdivision Williams Addition
Sec/Twp/Rng 52-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.180
Homestead N

View Map

Owner

Owner Name Beta Three Of Alachua LLC 100%
Mailing Address PO BOX 4289
 SAINT AUGUSTINE, FL 32085-0000

Valuation

	2018
Building Value	\$89,670
Extra Features Value	\$0
Total Land Value	\$79,560
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$169,230
Total Deferred	\$11,301
Assessed Value	\$157,929
Total Exemptions	\$0
Taxable Value	\$157,929

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$83,572	\$208	\$63,495	\$0	\$0	\$147,275	\$143,572	\$3,703	\$143,572
2016	\$74,058	\$208	\$57,630	\$0	\$0	\$131,896	\$130,520	\$1,376	\$130,520
2015	\$65,805	\$208	\$57,630	\$0	\$0	\$123,643	\$118,655	\$4,988	\$118,655
2014	\$55,385	\$208	\$52,275	\$0	\$0	\$107,868	\$107,868	\$0	\$107,868
2013	\$47,919	\$208	\$51,638	\$0	\$0	\$99,765	\$99,765	\$0	\$99,765
2012	\$44,271	\$208	\$51,638	\$0	\$0	\$96,117	\$96,117	\$25,000	\$71,117
2011	\$45,487	\$208	\$57,375	\$0	\$0	\$103,070	\$103,070	\$26,535	\$76,535
2010	\$47,476	\$208	\$63,750	\$0	\$0	\$111,434	\$111,434	\$30,717	\$80,717

Building Information

Building

1

Roof Structure

Gable Hip

Actual Area 646
 Conditioned Area 588
 Actual Year Built 1935
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Wood

Roof Cover Composite Shingle, Roll Composite
 Interior Flooring Pine Wood
 Interior Wall Plaster
 Heating Type None
 Heating Fuel
 Air Conditioning None
 Baths

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	90%
	Roll Composite	10%
Interior Walls	Plaster	100%
Interior Flooring	Pine Wood	100%
Heating Type	None	100%
Air Conditioning	None	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Piers and Posts	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	588	588
F OPN PRCH	0	8
FINSH DECK	0	50
Total SqFt	588	646

Building 2
 Actual Area 1083
 Conditioned Area 929
 Actual Year Built 1935
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Wood

Roof Structure Gable Hip
 Roof Cover Metal
 Interior Flooring Carpet, Hardwood
 Interior Wall Drywall
 Heating Type Air Duct
 Heating Fuel
 Air Conditioning Central
 Baths

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Metal	100%
Interior Walls	Drywall	100%
Interior Flooring	Carpet	50%
	Hardwood	50%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Average	100%
Foundation	Piers and Posts	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	929	929
HSCRN PORC	0	55
ENC G/V PR	0	84
F OPN PRCH	0	15
Total SqFt	929	1083

Extra Features

Code Description	BLD	Length	Width	Height	Units
Residential Fence	0	0	0	0	91

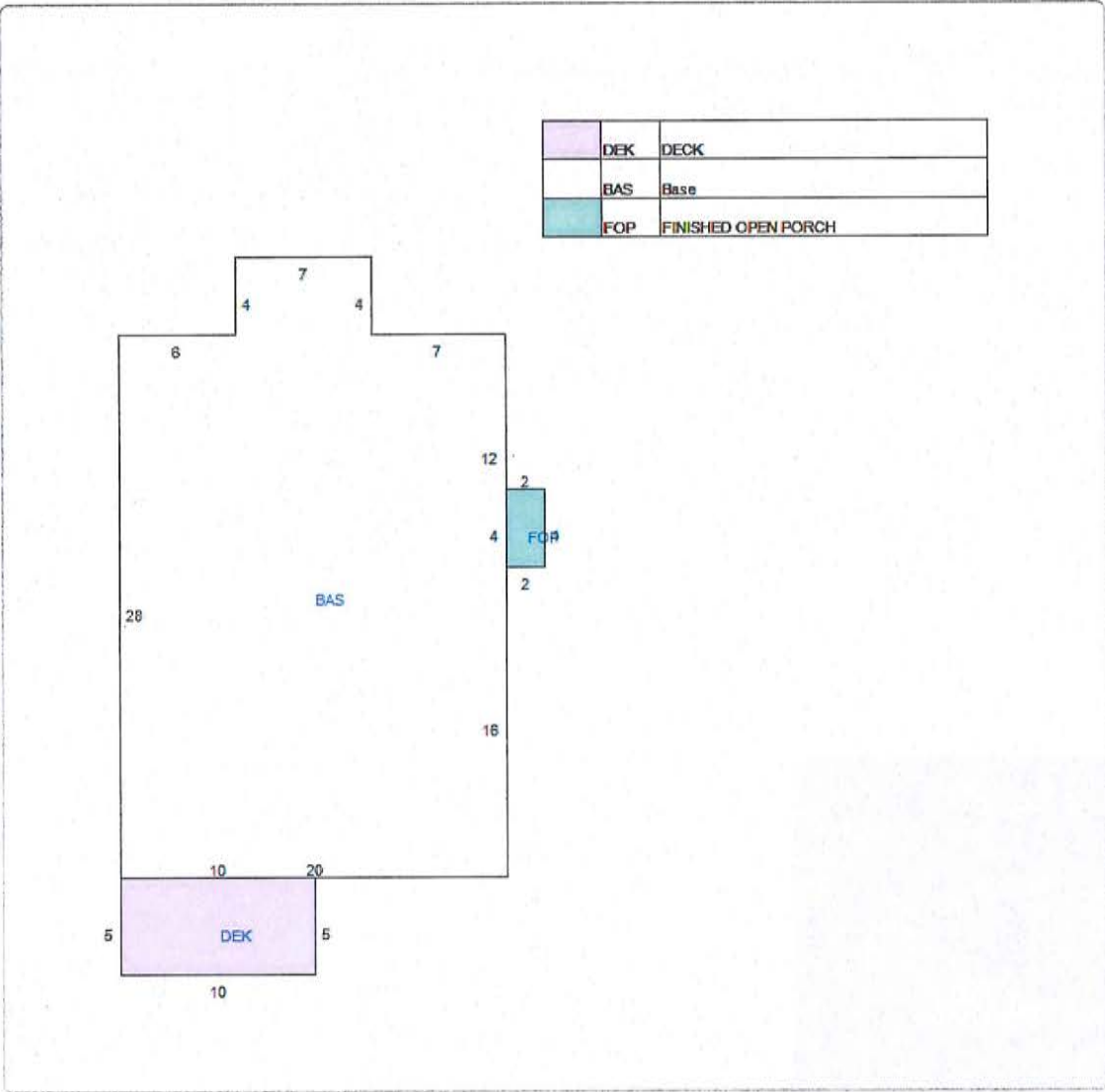
Land Line

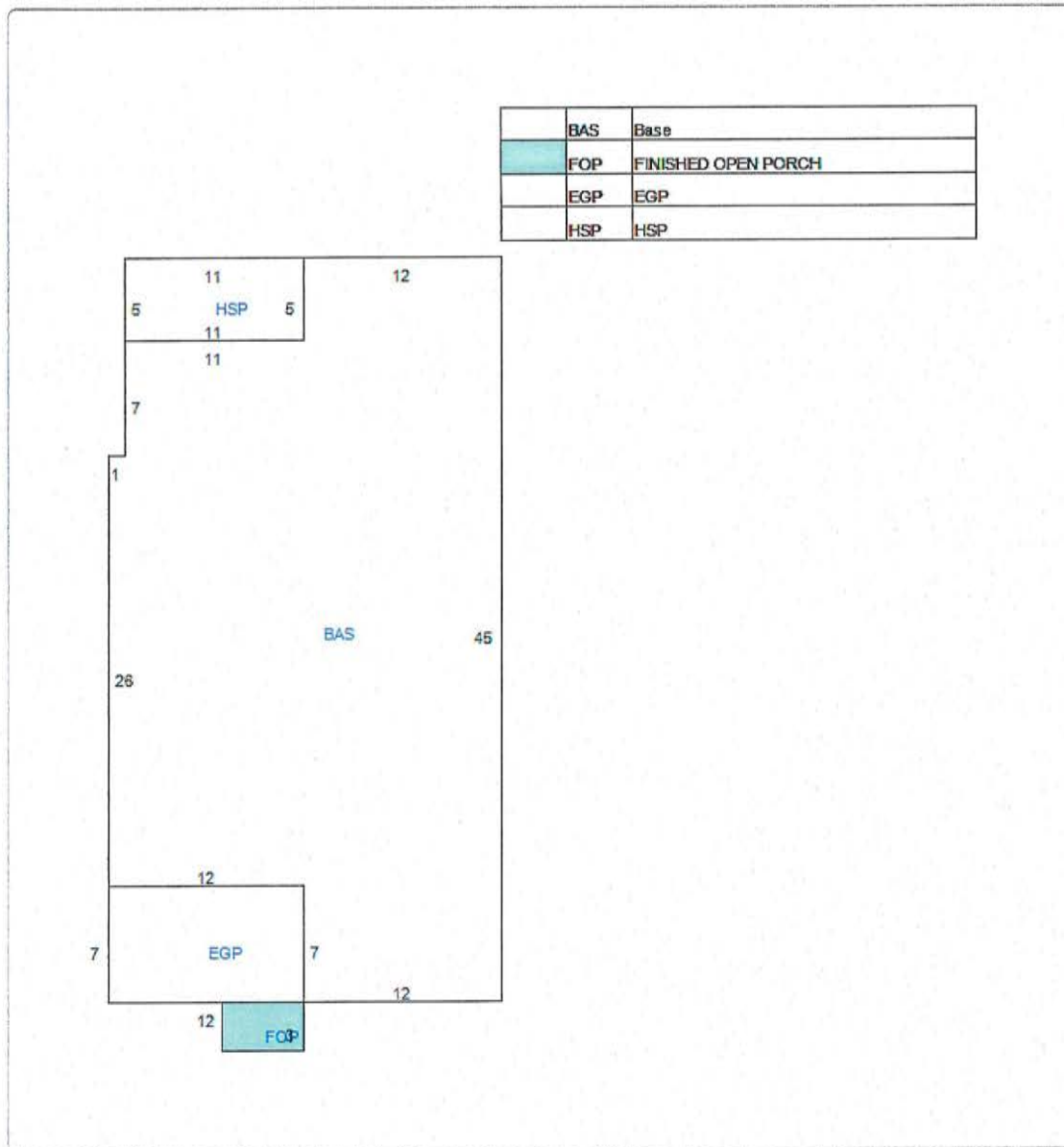
Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Multi-Family (Less than 10 Units)	51	150	51	FF	\$79,560

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
7/20/2018	7/20/2018	\$285,000.00	WD	4583	1376	Q	I	KALATA REVOCABLE TRUST ETAL	BETA THREE OF ALACHUA LLC
7/20/2018	5/15/2018	\$0.00	DC	4583	1372	U	I	KALATA ANDREW JOHN (DECD)	KALATA REVOCABLE TRUST ETAL
6/2/2015	5/27/2015	\$0.00	WD	4035	708	U	I	KALATA ANDREW J,BRENDA M	KALATA REVOCABLE TRUST
	9/1/1988	\$46,900.00		797	191	Q	I		KALATA ANDREW J,BRENDA M
	1/1/1977	\$0.00		339	671	U	I		
	1/1/1977	\$47,500.00		339	664	Q	I		

Area Sales Report
[Recent Sales in Area](#)
Clerk of Court
[Clerk of Court](#)
Tax Collector
[My Tax Bill](#)
Tax Estimator
[Tax Estimator](#)
Map**Sketches**





No data available for the following modules: Exemptions.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

Last Data Upload: 10/12/2018, 11:33:10 PM

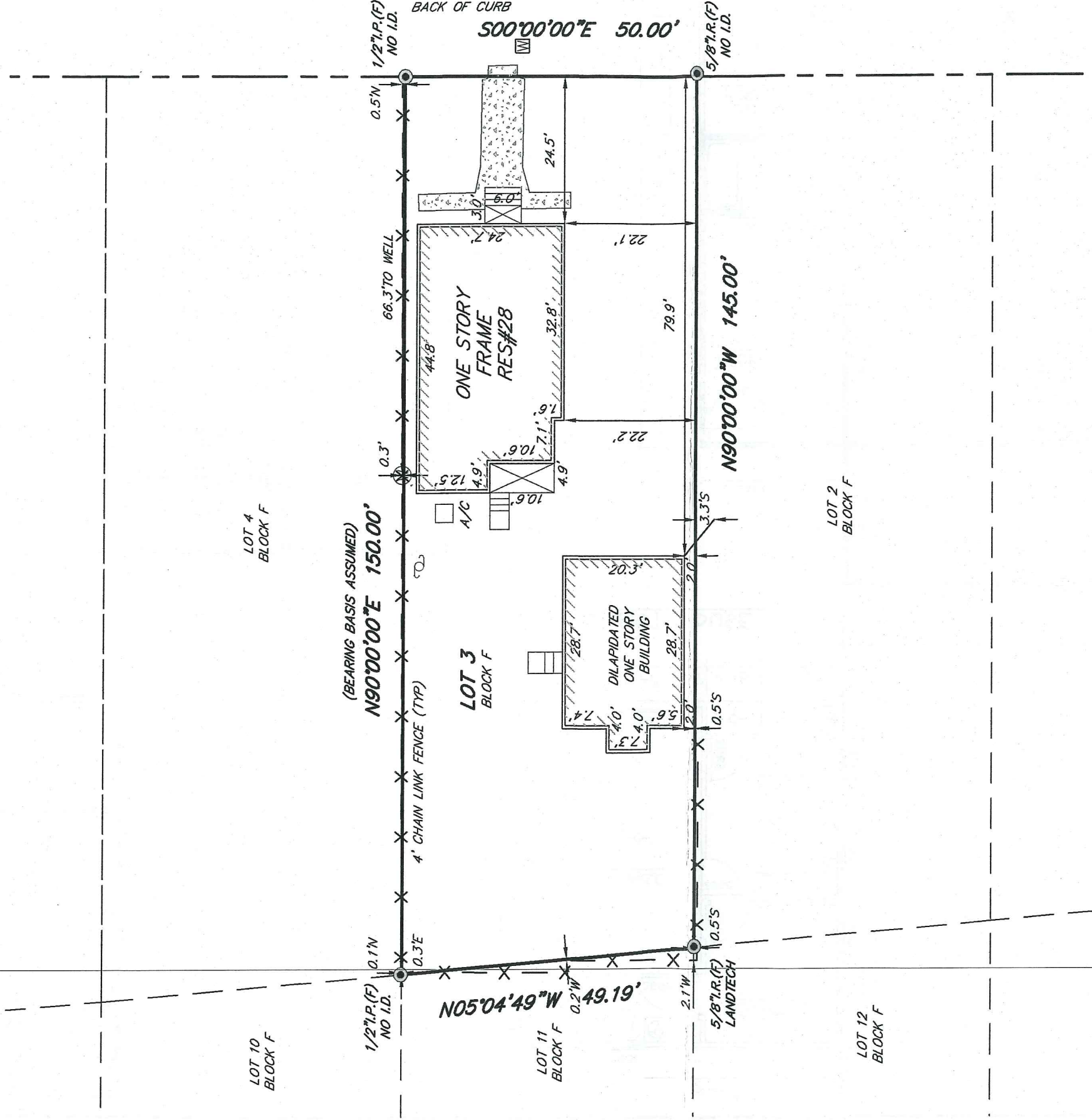
Developed by
 **Schneider**
GEOSPATIAL

RECEIVED
JAN 15 2018
COUNTY DEPT.

MAP SHOWING SURVEY OF

AN UNDIVIDED ONE-HALF INTEREST IN LOT NUMBER THREE(3) IN BLOCK (F) OF THE WILLIAMS ADDITION AS PER OFFICIAL MAP OF ST. AUGUSTINE, DATED JANUARY 1, 1905 AND NOW ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR ST. JOHNS COUNTY, FLORIDA; THE ABOVE LOT BEING MORE PARTICULARLY DESCRIBED AS LOT 3, IN BLOCK 1 OF THE H. WILLIAMS SECOND ADDITION TO ST. AUGUSTINE, AS PER PLAT OF SAME RECORD IN DEED BOOK KK, PAGE 1, ST. JOHNS COUNTY RECORDS; SAID LOT HAVING A FRONTAGE ON MAGNOLIA AVENUE OF 50 FEET AND DEPTH OF 150 FEET..

CERTIFIED TO:
JONI GEORGETTE SPIRES
ESTATE TITLE OF ST. AUGUSTINE, INC.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY



AREA = 0.17 ± ACRES
OR 7,201 ± sq. ft.

LEGEND

A/C	AIR CONDITIONER PAD	RES.	RESIDENCE
ID.	IDENTIFICATION	⊙	CENTERLINE
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	+	DENOTES NOT TO SCALE
Sq. ft.	SQUARE FEET	▨	WATER METER
I.P.(F)	IRON PIPE FOUND	⊠	EXPOSED CONCRETE
I.R.(F)	IRON ROD FOUND	⊞	COVERED AREA
I.R.(S)	5/8" IRON ROD SET (LANDTECH)		

GENERAL NOTES:
- This survey made without benefit of an abstract of title. No right-of-way or easements of record were furnished to this firm except as shown.
- The certification of this survey is a professional opinion based on the existing field notes and documentary evidence available at the time this survey was prepared.
- This office has not abstracted this parcel of land for any recorded claims of title, easements or restrictions. This surveyor shall not be held liable for the existence of any such claims.
- Use of this survey for purposes other than that which it was intended, without written verification, will be at the user's sole risk and without liability to this surveyor. Nothing hereon shall be intended to give any rights or benefits to anyone other than those the survey was prepared for.
- All easements under record shall be shown by the appropriate symbol.
- No underground structures, utilities or foundations were located or determined by this survey.
- For building setbacks call the appropriate county codes enforcement office.
- All distances, bearings or angles are as field measured. Deed or plot measurements are noted if different.
- The measurements for this survey were made in accordance with the United States Standards.
- Encroachments as shown hereon are only those above ground, visible objects observed by the surveyor.

NOTE:
THIS SURVEY IS PROTECTED BY COPYRIGHT AND IS CERTIFIED ONLY TO THE PARTIES LISTED ABOVE AND ONLY FOR THIS PARTICULAR TRANSACTION. ANY USE OR REPRODUCTION OF THIS SURVEY WITHOUT THE EXPRESS PERMISSION OF THE SURVEYOR IS PROHIBITED. USE OF THIS SURVEY IN ANY SUBSEQUENT TRANSACTION IS NOT AUTHORIZED. THE SURVEYOR EXPRESSLY DISCLAIMS ANY CERTIFICATION TO ANY PARTIES IN FUTURE TRANSACTIONS. NO PERSON OTHER THAN THOSE LISTED SHOULD RELY UPON THIS SURVEY.

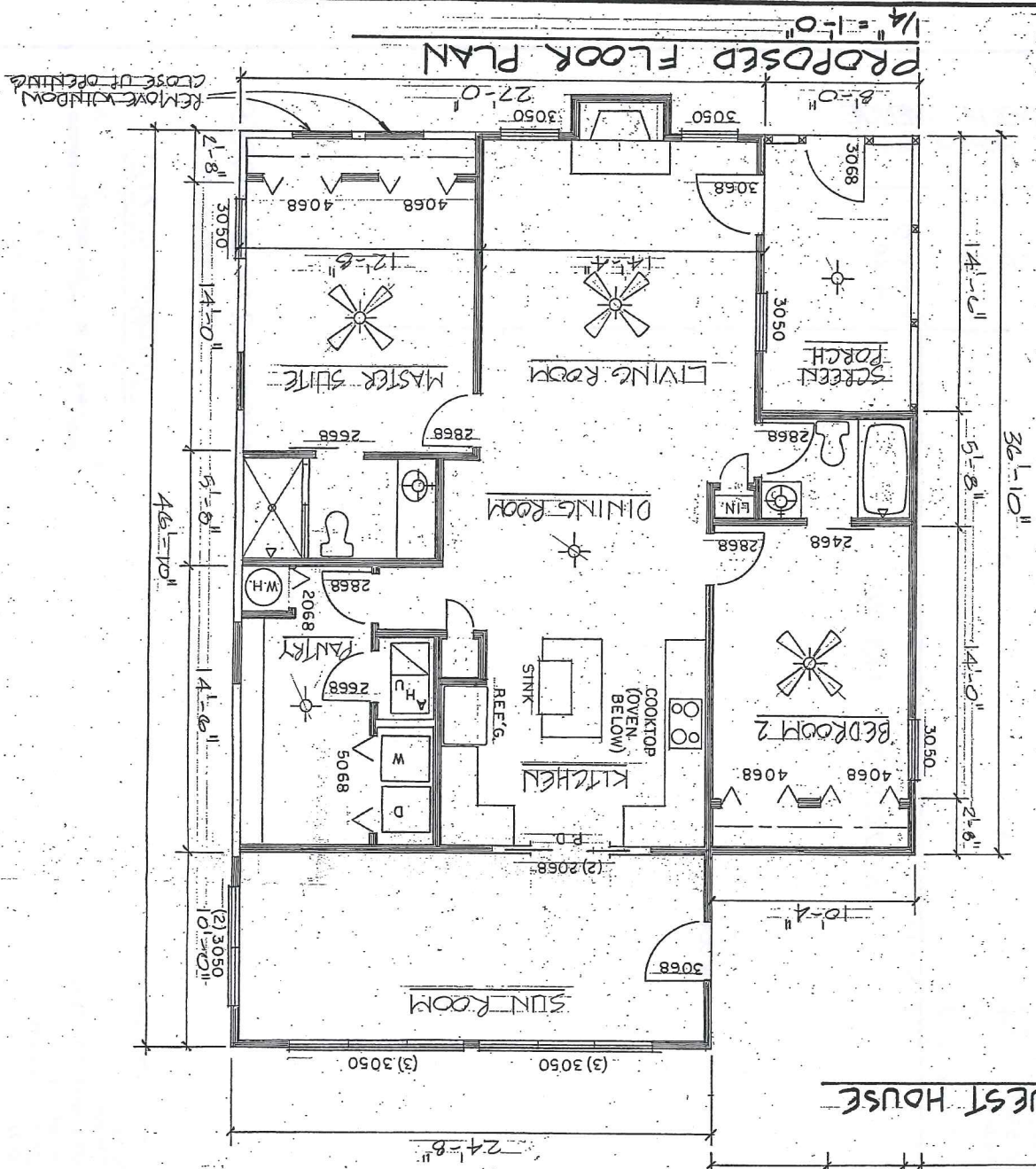
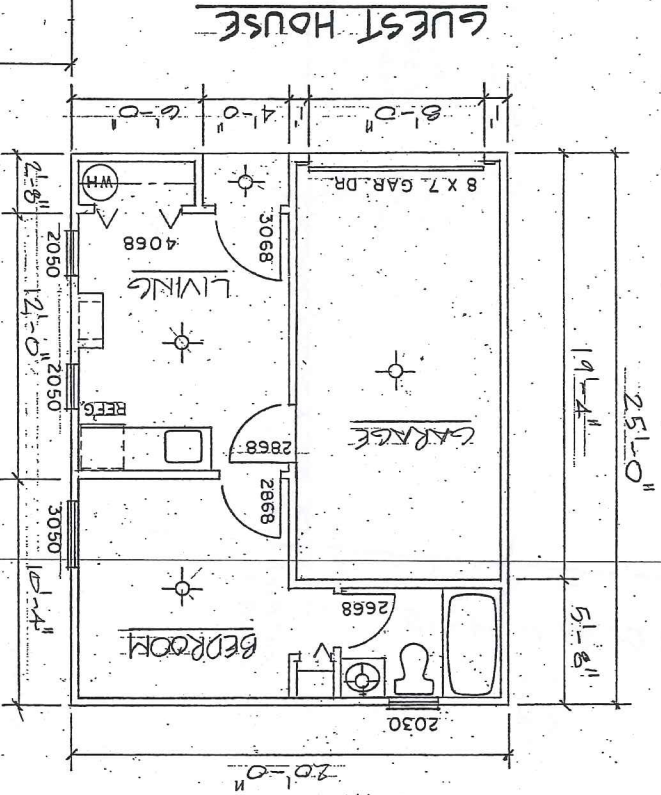
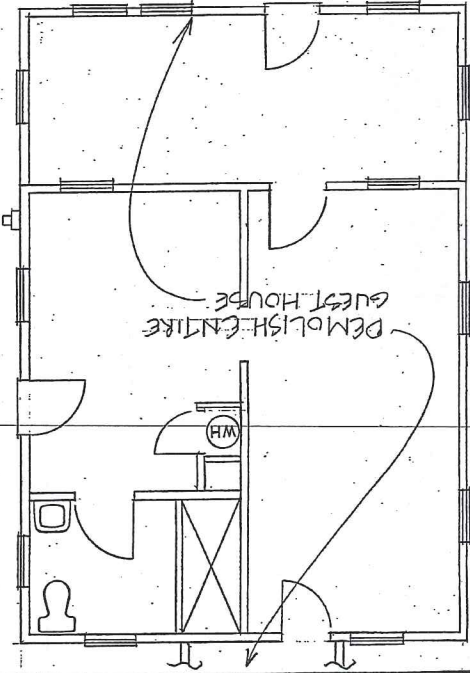
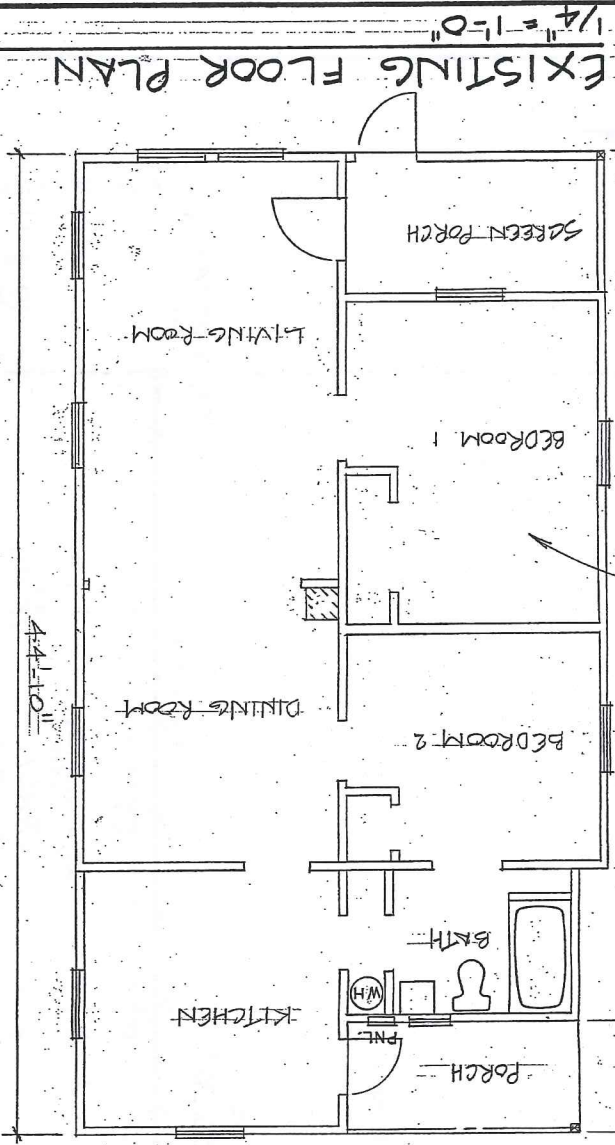
- According to the Federal Emergency Management Agency FIRM Map No. 125146-0312H effective date: 09/02/04, the property described hereon appears to lie in Zone AE 9'
- Basis of bearing structure: BEARING BASIS ASSUMED
- Basis of elevations: M.G.L.D. 29

JOB NO.	19-0720	LAST FIELD DATE	07/10/18	SCALE	1" = 20'	CHECK BY	N.A.F.	DWG. BY	R.J.B.
TYPE: BOUNDARY									

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LANDTECH
Associates, Inc.
LAND SURVEYORS
4475 U.S. HIGHWAY #1 SOUTH SUITE 202
ST. AUGUSTINE, FLORIDA 32086
(904) 471-6877 FAX (904) 471-6876
NICHOLAS H. FRANKLIN, P.L.S. 4620
FOR LANDTECH AND ASSOCIATES L.B. #7537

RECEIVED
OCT 13 2018
PAUL H. ENGINEERING GROUP, LLC
15000 W. BAYVIEW BLVD. SUITE 145
JACKSONVILLE, FL 32256
PH: 904.331.6001 FAX: 904.331.6002

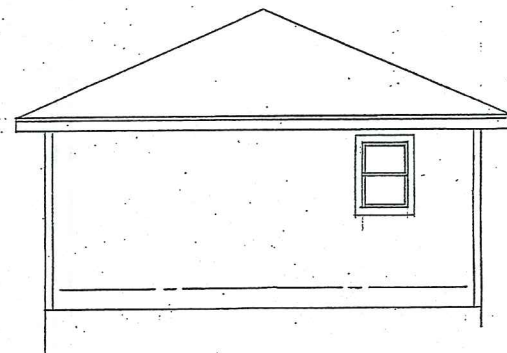
REMOVE ENTIRE
EXISTING ROOM
SALVAGE RAFTERS
& CEILING JOISTS.
REMOVE EXISTING
WALLS AS SHOWN
TO ACHIEVE PROPOSED
FLOOR PLAN.



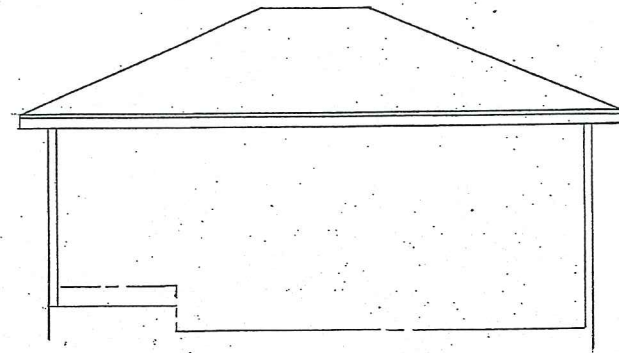
RENOVATION & ADDITION TO RES.
FOR: MS. JONI SPIRES
28 MAGNOLIA AVE., ST. AUGUSTINE, FL. 32084

PAUL H. ENGINEERING GROUP, LLC
CERT. OF AUTHORIZATION# 32056
8160 BAYVIEW BLVD. SUITE 145
JACKSONVILLE, FL 32256
PH: 904.331.6001 FAX: 904.331.6002

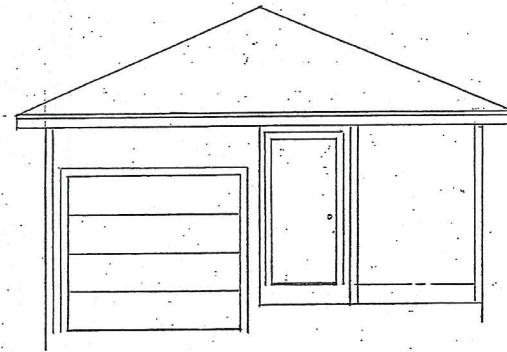
REVISIONS
BY



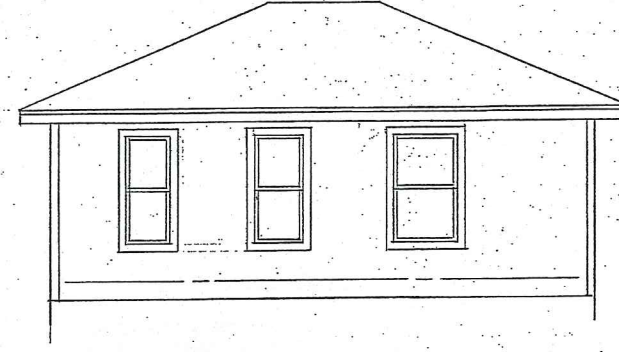
GUEST HOUSE - REAR ELEV.
1/4" = 1'-0"



GUEST HOUSE - LEFT SIDE ELEV.
1/4" = 1'-0"



GUEST HOUSE - FRONT ELEV.
1/4" = 1'-0"



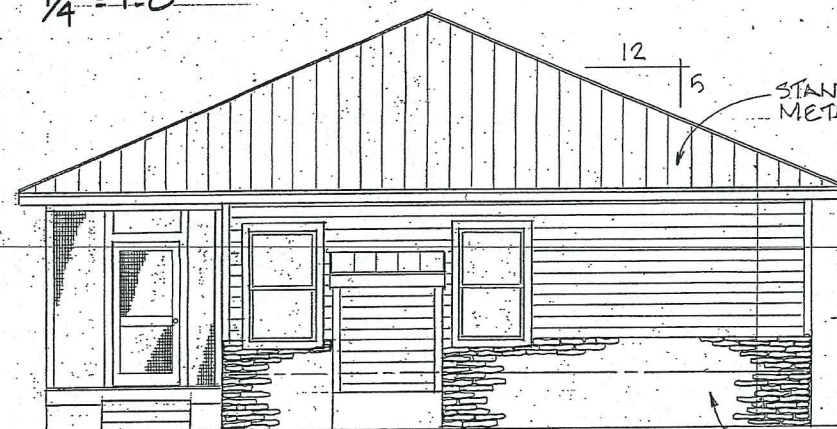
GUEST HOUSE - RIGHT SIDE ELEV.
1/4" = 1'-0"



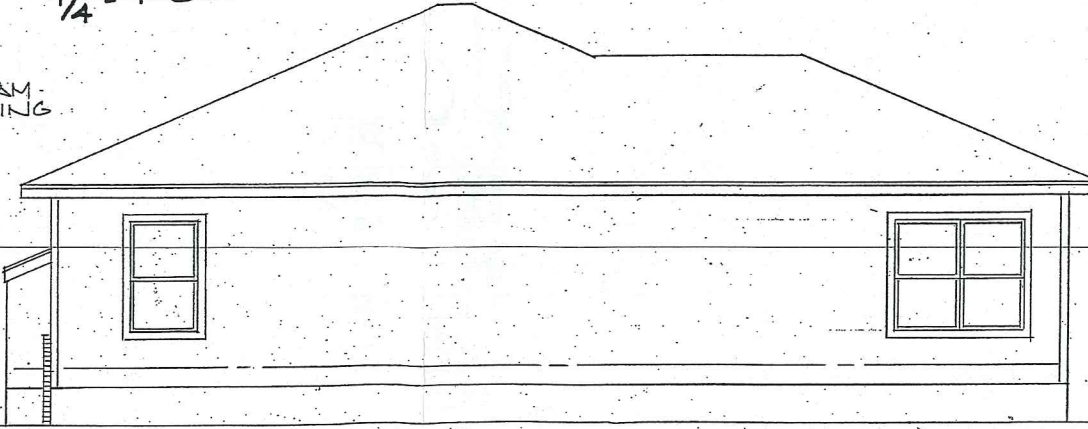
MAIN HOUSE - REAR ELEVATION
1/4" = 1'-0"



MAIN HOUSE - LEFT SIDE ELEVATION
1/4" = 1'-0"



MAIN HOUSE - FRONT ELEVATION
1/4" = 1'-0"



MAIN HOUSE - RIGHT SIDE ELEVATION
1/4" = 1'-0"

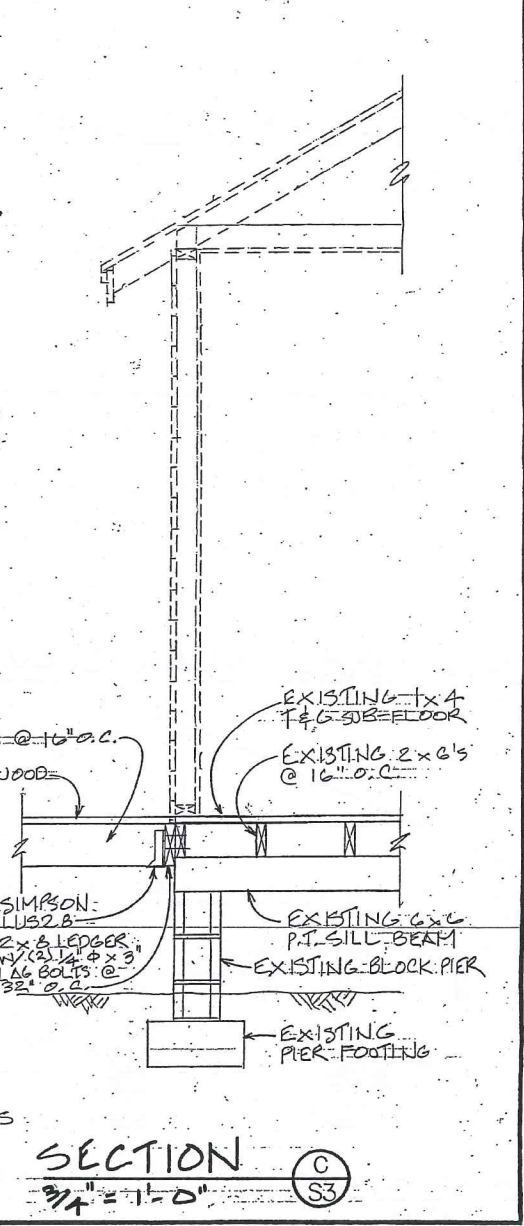
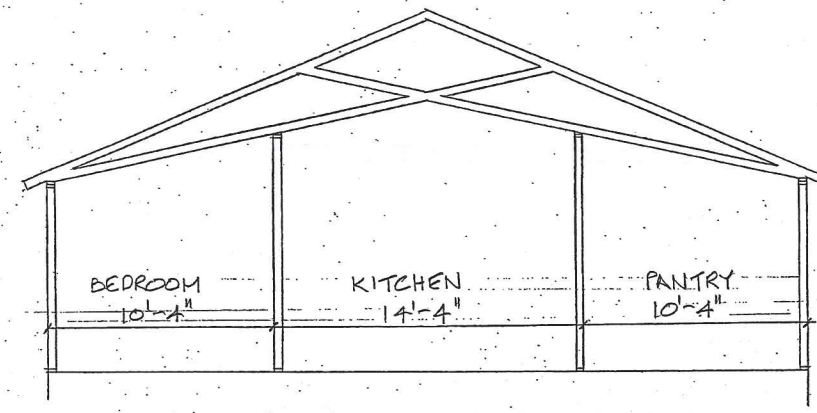
REVISIONS	BY

PAUL H. ENGINEERING GROUP, LLC
CERT. AUTHORIZED DESIGNER
8160 JACKSONVILLE, FL 32256
E-Mail: Paul.H.Engel@earthlink.net
Ph/Fax: (904) 737-8385

RENOVATION & ADDITION TO RES.
FOR: MS. JONI SPIRES
26 MAGNOLIA AVE., ST. AUGUSTINE, FL 32084

Date:
Scale: AS NOTED
Drawn: CLG
Job: B0824
Sheet: 52
Of:

RECEIVED
OCT 15 2010
Per: [Signature]

[illegible]



CITY OF
ST AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0149

Address: 28 1/2 Magnolia Avenue

BETA Three of Alachua LLC, Applicant and Owner

Project description: To demolish a guest house constructed in 1935 that is recorded on the Florida Master Site File and is not located in a National Register Historic District.

Architectural Style: Frame Vernacular	Florida Master Site File: 8SJ05176
National Register: N/A	Construction date: 1935
Archaeology Zone: IIA	Zoning District: RS-1
Parcel number: 191450 0000	
Agenda Item: 8(g)	Previous Action(s): N/A

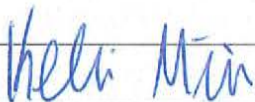
STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Demolition to demolish a guest house constructed in 1935 that is recorded on the Florida Master Site File and is not located in a National Register Historic District.

- A condition assessment was not provided and is not required since the building is not located in a National Register District.
- According to the Site Files, the building is not eligible to be listed on the National Register individually and is not located in an area that could be listed as a district.
- No significant historic connection was found.
- The guesthouse first appears on the 1930 Sanborn Map but is listed as 26 ½ Magnolia Avenue in the 1940s and 1950s edited maps. The building first appears in the 1930 City Directory as 28 ½ Magnolia Avenue.
- Based on the survey that was provided and on the Sanborn Maps, the building was expanded sometime between the 1950s and the time the survey was completed. The open front porch was also enclosed based on photographs that the applicant provided.
- The building was stripped down to the studs and floor supports. The shingle roof is all that remains of exterior building features. Any original elements or design features that related to or reflected the design, materials, workmanship, and feeling have been lost.
- A new structure will be built in its place, and the applicant provided plans for the new structure.
- Demolition could meet the ground disturbance criteria outlined in the APO. Archaeological monitoring of the demolition or the minimization of ground disturbance (i.e., no excavation of subsurface foundations) is recommended.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Approve a Certificate of Demolition** for **28 ½ Magnolia Avenue** with the condition that the remaining building materials be salvaged if possible.



Kelli Mitchell, Historic Preservation Planner

**APPLICATION REQUIREMENTS, ELIGIBILITY FOR DEMOLITION REVIEW,
CONDITIONS FOR DEMOLITION APPROVAL:**

Eligibility for Demolition Review (Section 28-87(3), CoSA Code of Ordinances)

The Historic Architectural Review Board (HARB) is responsible for the review of all applications for demolition permits for structures that are fifty (50) years of age or older, listed on the Florida Master Site File, or designated as an historical landmark (as defined by Sec. 28-87.10)

National Register Status (Section 28-89, CoSA Code of Ordinances)

A property currently listed on the National Register of Historic Places individually or as a contributing structure in an historic district is afforded additional scrutiny in the demolition review process by: 1) requiring submittal of a condition assessment report performed by a qualified professional; 2) requiring the applicant to prove "undue economic hardship" to justify demolition; and 3) allowing HARB the option to deny the demolition request if an undue economic hardship is not proven and removal of the building or structure will be detrimental to the historic and architectural character of the city.

Local Landmark Designation (Section 28-87(3) & (10), CoSA Code of Ordinances)

HARB is assigned the authority of reviewing all applications for demolition permits for primary structures... for potential designation as an historical landmark. Local "historical landmarks" are defined as a building, object, site or structure of the highest historical, architectural, cultural or archaeological importance and whose demolition, removal, relocation, or alteration would constitute an irreplaceable loss to the character and quality of the city.

Conditions for Demolition Approval (Section 28-89(2)d, CoSA Code of Ordinances)

HARB has the discretion in its review of an application for Certificate of Demolition to require, as conditions for approval, one or more of the following:

- Design of Replacement Building - *As a condition of issuing a certificate of demolition, the board may require the replacement design be approved by the board and that no permit be issued for the demolition of said structure until drawings sufficient for a building permit and all necessary requirements for the construction of a new building have been submitted for the new construction.*
- Architectural Salvage - *As a condition of issuing a certificate of demolition, the board may require, at the applicant's expense, salvage and preservation of significant building materials, architectural details and ornaments, fixtures, and the like for reuse in restoration of other historic properties.*
- Archival Documentation - *The board may also require at the applicant's expense the recording of the structure for archival purposes prior to demolition. The recording may include, but shall not be limited to, photographs and measured drawings.*

According to the Florida Master Site File, the building was constructed in 1935. The structure is recorded on the Florida Master Site File and is not located in a National Register of Historic Places District.

The application requirements are sufficiently met.

DEMOLITION REVIEW CRITERIA (AGHP):

- 1. Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.** Not applicable.
- 2. The contribution of the structure to the mass and scale of the streetscape.** The building contributes to the streetscape which includes buildings of similar mass and scale.
- 3. The impact of the loss of the structure on the streetscape.** Demolition of the structure will reduce the visual continuity in the immediate vicinity.
- 4. Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.** According to the application and plans provided by the applicant, the owners intend to build a new guesthouse on the site.
- 5. The historical or cultural merit of the structure.** The building is not located in a National Register District and is not eligible to be listed individual. It is, however, recorded on the Florida Master Site File. Former residents include Christoble Rogero (1930 City Directory), Ben C. Schulz (1937 City Directory), Lalla Wilson (1940, 1945, 1954, 1965, and 1975 City Directories), Frank Gazman (1980 City Directory), and Sandy Candles (1984/1985 City Directory).
- 6. The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood.** The building is not located in a National Register District, and the Florida Master Site File states that there is insufficient information to determine if it could contribute to a National Register District. There is no known historic or cultural significance for the building individually.
- 7. Whether or not the structure is representative of a style or type of architecture or a method of construction.** The building was built in the Frame Vernacular style, which is common in St. Augustine.
- 8. Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.** The building is an example of the Frame Vernacular style, which is a common style in St. Augustine.
- 9. Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The condition of the structure, and the possibility of rehabilitating or relocating the structure.** There is not a high degree of craftsmanship that would make reproduction of the building difficult.
- 10. The justification for the proposed demolition.** No justification was given.

UNREASONABLE OR UNDUE ECONOMIC HARDSHIP:

Defined as an onerous and excessive financial burden that would be placed upon a property owner by the denial of a certificate of demolition or a similar burden which would be placed on a property owner by conditions which the Commission seeks to place on the granting of a certificate. (Section 28-2 CoSA Code of Ordinances)

Is applicant entitled to a Certificate of Demolition independent of any hardship? ☐ Yes ☒ No

Did applicant submit evidence of undue economic hardship? ☐ Yes ☒ No

In any instance where an undue economic hardship, as defined in this chapter, is claimed by a property owner, the property owner may submit to the board any or all of the following information before the board makes a decision on the application for certificate of demolition: (Section 28-89(3) b, CoSA Code of Ordinances)

(Materials submitted by applicant noted with a checked box)

- ☐ 1. An estimate of the cost of the proposed construction, alteration, demolition, or removal;
- ☐ 2. The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; and, in the case of a proposed demolition, after renovation of the existing property for continued use;
- ☐ 3. In the case of a proposed demolition, an estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property;
- ☐ 4. The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
- ☐ 5. The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years;
- ☐ 6. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property;
- ☐ 7. Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years;
- ☐ 8. The assessed value of the property according to the two (2) most recent assessments;
- ☐ 9. The real estate taxes for the previous two (2) years;
- ☐ 10. The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other;

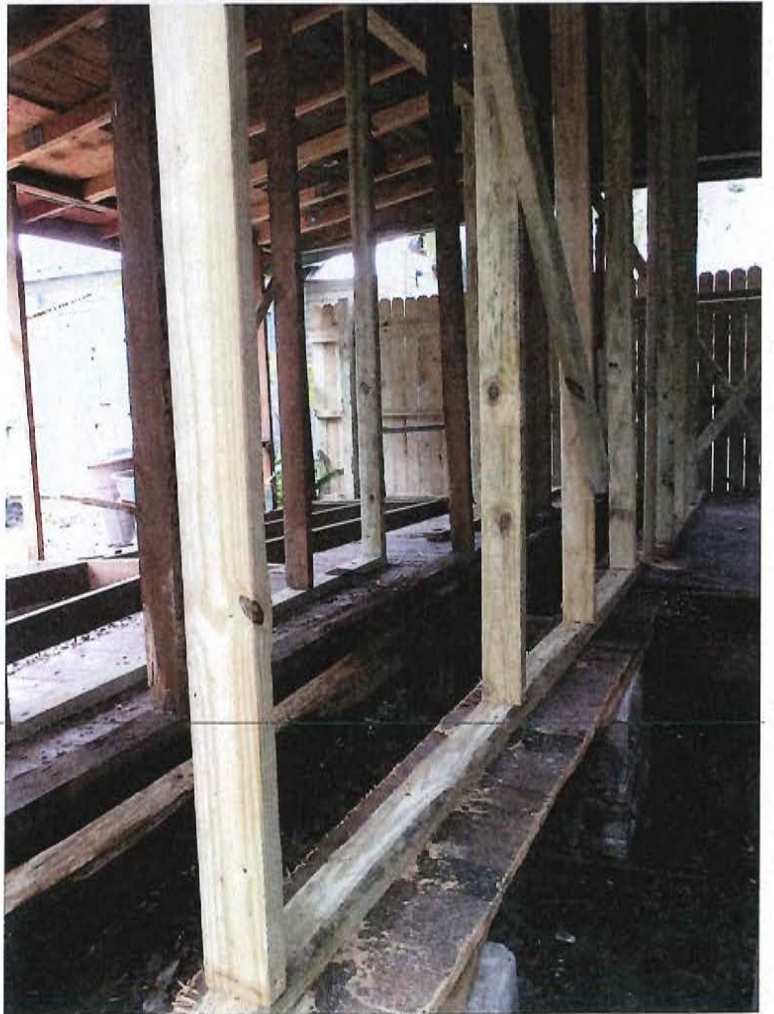
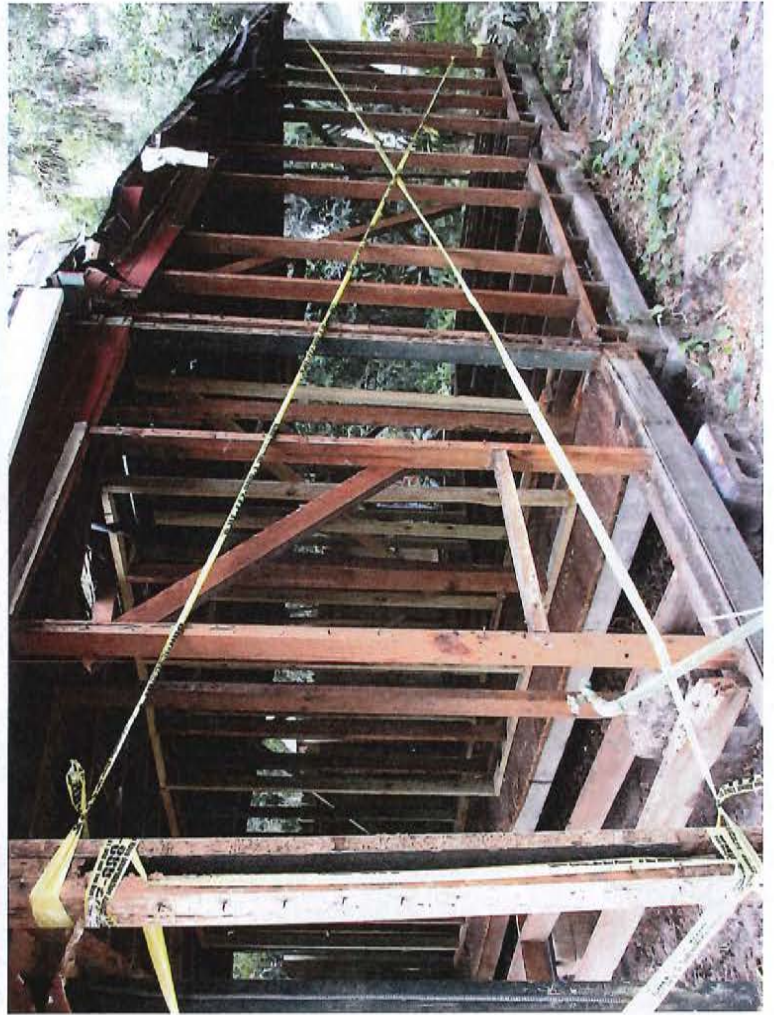
Any other information considered necessary by the board to a determination as to whether the property does yield or may yield a reasonable return to the property owner. The board may require that the property owner furnish such additional information as the board believes is relevant to the board's determination of any alleged undue economic hardship. No decision of the board shall result in undue economic hardship for the property owner. In any case where undue economic hardship is claimed, the board shall make two (2) specific findings. First, the board shall determine if the owner would be entitled to a certificate of demolition without consideration of undue economic hardship. Second, the board shall determine whether the owner demonstrated an undue economic hardship.

Additional information requested by HARB as per above:

COD F2018-0149
28 1/2 Magnolia Ave.
November 15, 2018

LIST OF ATTACHMENTS:

1. Staff Photographs
2. Sanborn Maps
3. City Directory Research
4. Florida Master Site File





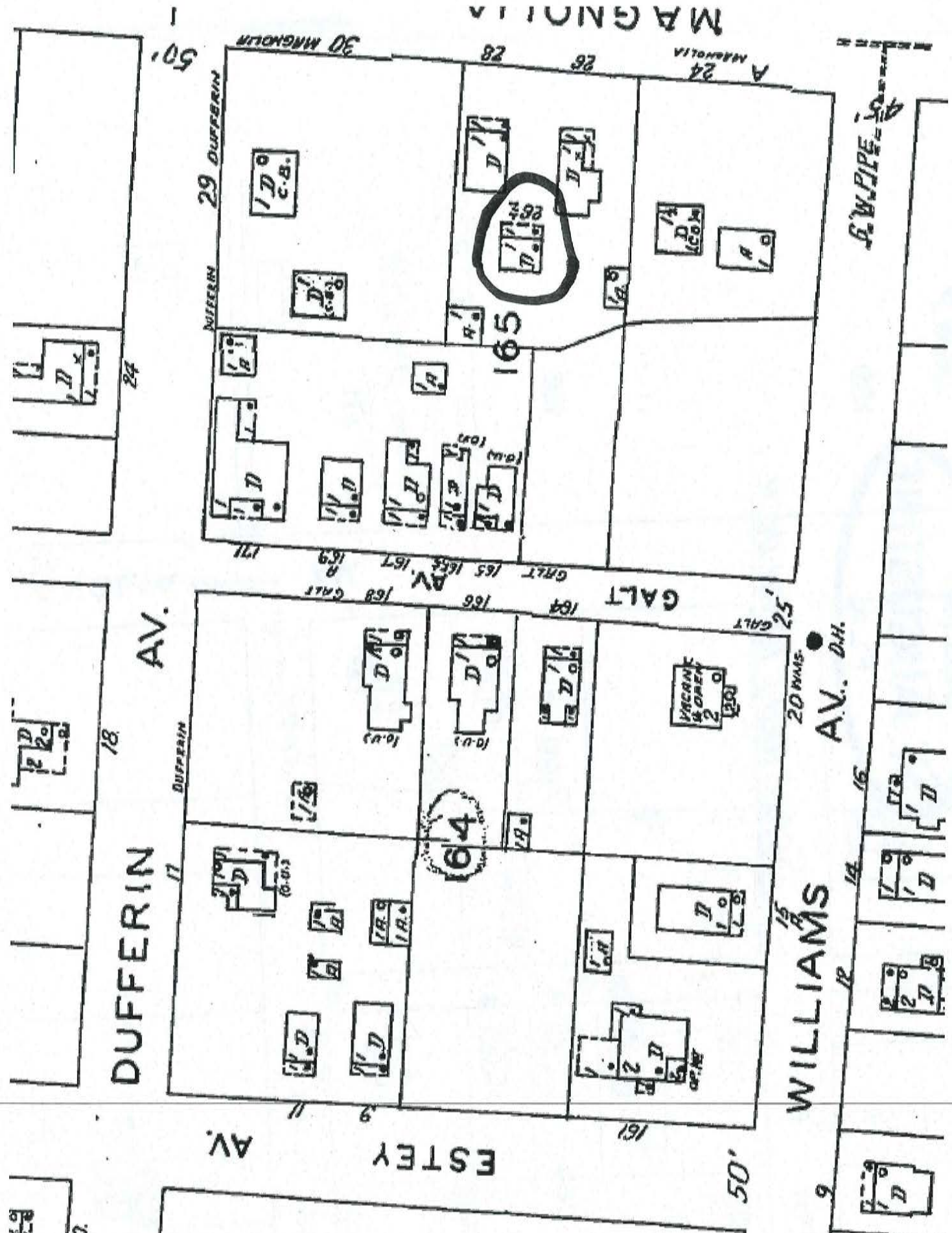




SAHS POLK CITY DIRECTORY RESEARCH

28 Magnolia

DATE(S)	NAME	PROFESSION
1920/21	John V. Mickler	Lab
1924/25	Not Listed	
1930	28 Magnolia: Moffatt W. Thomas 28 ½ Magnolia: Christoble Rogero	Thomas: Bookkeeper at CML Bank of St. Augustine Rogero: Cigar Maker
1937	28 Magnolia: John W. Alexander 28 ½ Magnolia: Ben C. Schulz	Alexander: Teacher, Florida School for the Deaf and Blind
1940	28 Magnolia: Ben C. Schulz 28 ½ Magnolia: Lalla Wilson	Wilson: Teacher, Florida School for the Deaf and Blind
1945	28 Magnolia: Ben C. Schulz 28 ½ Magnolia: Lalla Wilson	
1951	28 Magnolia: Ben C. Schulz 28 ½ Magnolia: Lalla Wilson	
1955	Not Listed	
1959	Not Listed	
1960	Not Listed	
1965	28 Magnolia: Mrs. Bestie Schulz 28 ½ Magnolia: Lalla Wilson	
1970	Charles O'Connor	Retired
1975	28 Magnolia: Elbert Collins 28 ½ Magnolia: Lalla Wilson	Collins: Mechanic
1980	28 Magnolia: Donald S. Wehking 28 ½ Magnolia: Frank Gazman	Wehking: Construction Supervisor
1984-1985	28 Magnolia: Donald S. Wehking Jr. 28 ½ Magnolia: Sandly Candles	
1990	28 Magnolia: Tim Valley 28 ½ Magnolia: Vacant	Valley: UPS Driver
1995	James Olmstead	
2000	Catherine Calver Noelie Schlegal	
Dec. 2006	Andrew and Brenda Kalata	



DUFFERIN

AV.

18

DUFFERIN

17

AV.

ESTEY

WILLIAMS

AV. D.H.

20 WMS.

GALT

GALT

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DEC. 1917
 ST. AUGUSTINE
 FLA.

159

SCALE 100 FT. TO AN INCH

RIN AV.

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MS

AV.

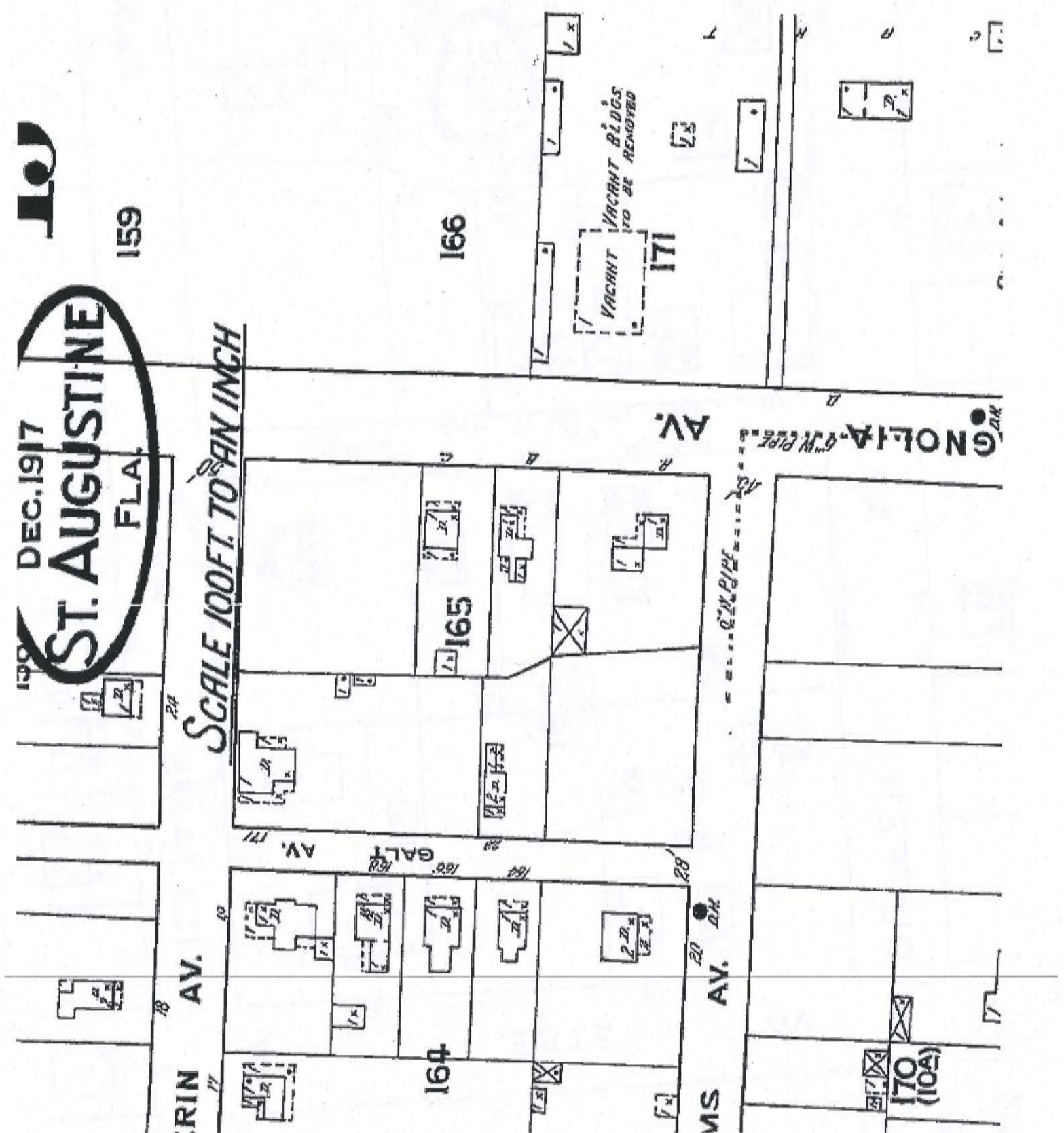
AV.

GNOLLA-6TH ST.

170
(10A)

VACANT BLDGS
TO BE REMOVED

171



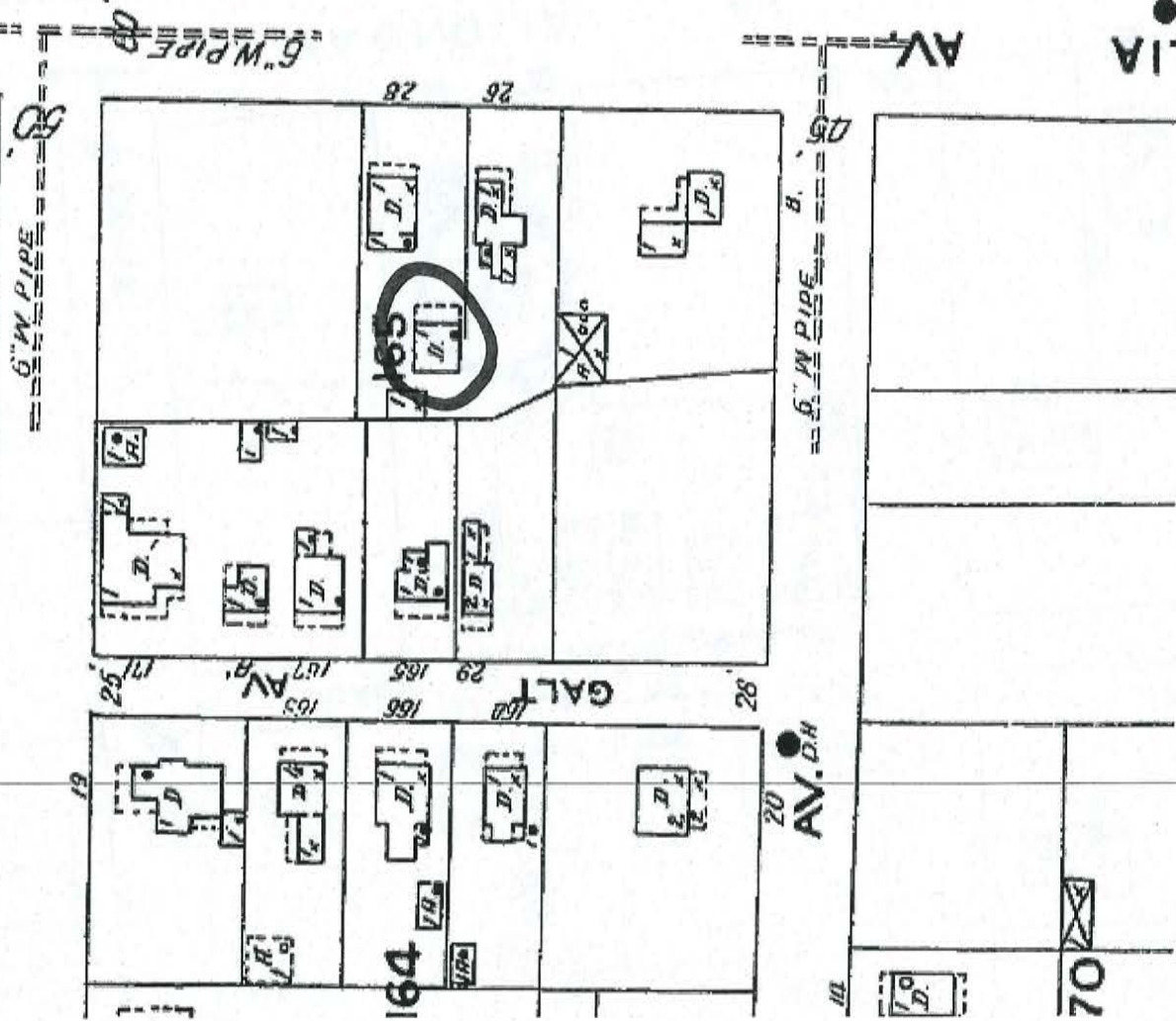
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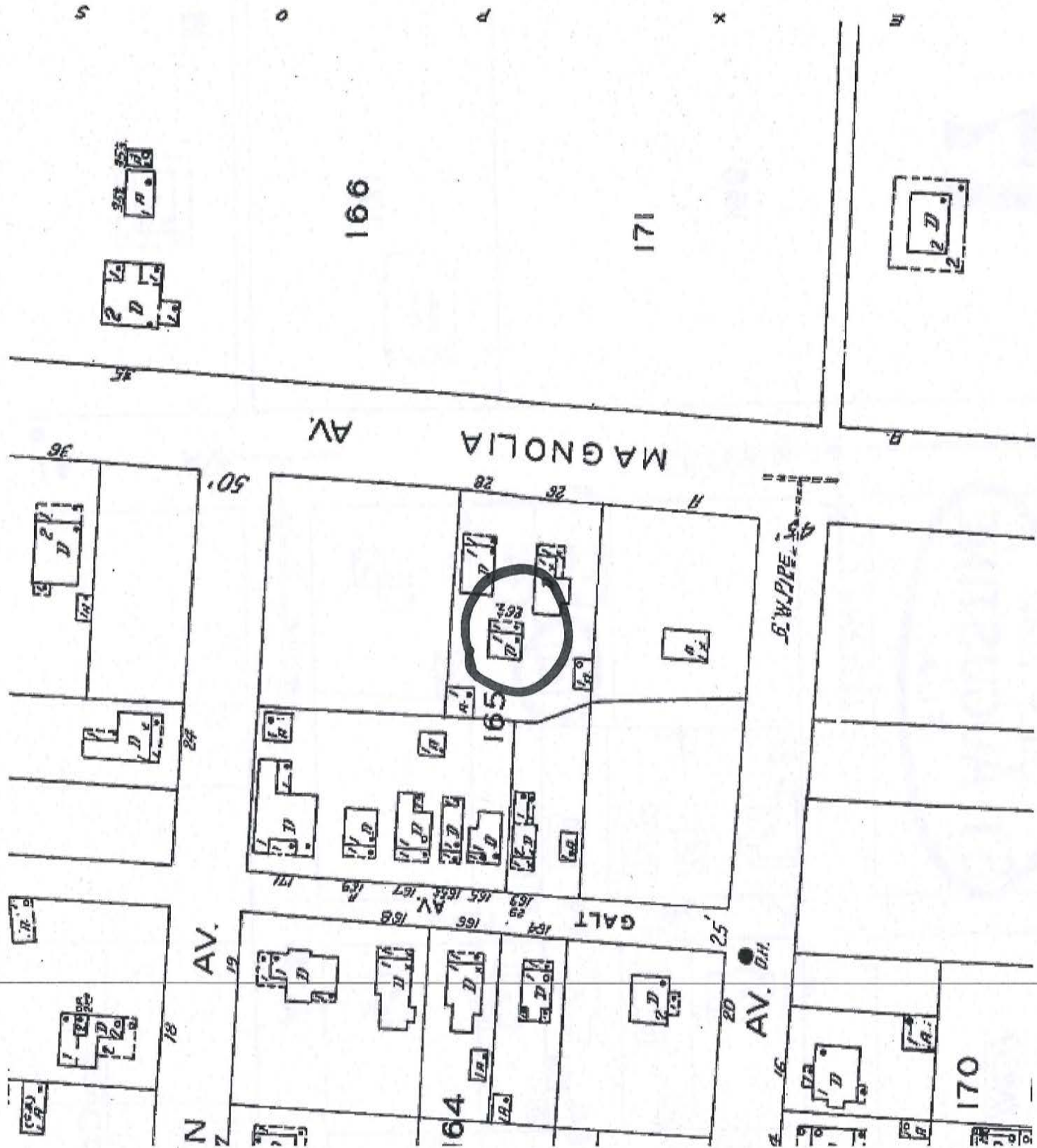
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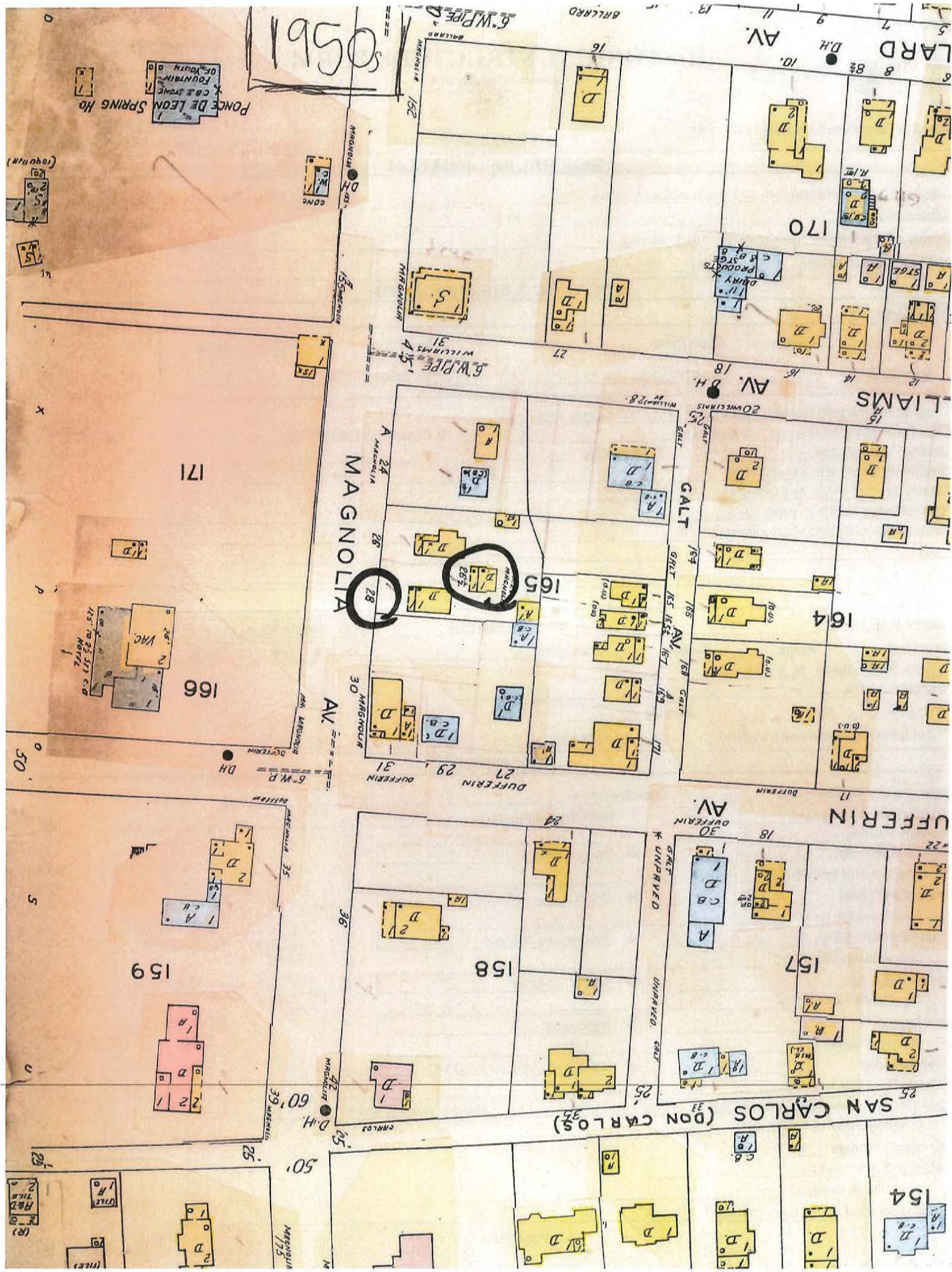
171

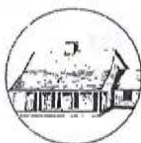
JULY 1924
ST. AUGUSTINE
FLA.

1/4 INCH









HISTORICAL STRUCTURE FORM

Electronic Version 1.1.0

Site #8 SJ05176

Recorder #

Field Date 8/15/2006

Form Date 9/18/2006

FormNo 200608

FormNo = Field Date (YYYYMM)

First Site Form Recorded for this Site? YES

GENERAL INFORMATION

Site Name (address if none) 28-1/2 Magnolia Avenue

Multiple Listing (DHR only)

Other Names >>

Survey or Project Name North City 2006 Suvey

Survey#

National Register Category Building(s)

LOCATION & IDENTIFICATION

Address

Street No.	Direction	Street Name	Street Type	Direction Suffix
<u>28-1/2</u>		<u>Magnolia</u>	<u>Avenue</u>	

Cross Streets (nearest/ between) Williams St./Dufferin Ave.

City / Town (within 3 miles) St. Augustine

In Current City Limits? YES

County St. Johns

Tax Parcel #(s)

Subdivision Name Williams Add.

Block F

Lot 3

Ownership Private Individual

Name of Public Tract (e.g., park) N/A

Route to (especially if no street address) N/A

MAPPING

JSGS 7.5' Map Name

Publication Date

>> ST. AUGUSTINE; 1988

Township: Range: Section: 1/4 section:

>> 7S ; 30E ; 52 ; UNSP

Regular Section Name: N/A

Land grant N/A

JTM: Zone Easting Northing

Flat or Other Map (map's name, location) St. Augustine

DESCRIPTION

Style Frame Vernacular

Other Style N/A

Exterior Plan Irregular

Other Exterior Plan N/A

Number of Stories 1

Structural System(s)

>> Wood frame

Other Structural System(s) N/A

Foundation Type(s)

>> Piers

Other Foundation Types N/A

Foundation Material(s)

>> Concrete Block

Other Foundation Material(s)

Exterior Fabric(s)

>> Wood siding

Other Exterior Fabric(s) N/A

Roof Type(s)

>> Pyramid

Other Roof Type(s) N/A

Roof Material(s)

>> Composition shingles

Other Roof Material(s) N/A

Roof Secondary Structure(s) (dormers etc)

>> Not applicable

Other Roof Secondary Structure(s)

Number of Chimneys 1

Chimney Material Metal

Other Chimney Material(s) N/A

Chimney Location(s) Center, Ridge

HISTORICAL STRUCTURE FORM

8SJ05176

DESCRIPTION (continued)

Window Descriptions Sash, 1/1-Light, Wood

Main Entrance Description (stylistic details) Central, Solid Core

Porches: #open #closed #incised Location(s)

Porch Roof Types(s) Gable Extension

Exterior Ornament None

Interior Plan Unknown

Other Interior Plan N/A

Condition Fair

Structure Surroundings

Commercial: Residential: MOSTly this category
Institutional: Undeveloped:

Ancillary Features (Number / type of outbuildings, major landscape features)

Archaeological Remains (describe):

If archaeological remains are present, was an Archaeological Site Form completed?

Narrative Description (optional)

HISTORY

Construction year 1935

Architect (last name first): Unknown

Builder (last name first): Unknown

Changes in Locations or Conditions

Type of Change	Year of Change	Date Change Noted	Description of Changes
>> <u>Unspecified;;;</u>			

Structure Use History

Use Year Use Started Year Use Ended >> Residence--private;1935;

Other Structure Uses Continuation Sheet

Ownership History (especially original owner, dates, profession, etc.) Continuation Sheet

RESEARCH METHODS

Research Methods >> Examine local property records

Other research methods

SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local Register? NO

Name of Local Register if Eligible

Individually Eligible for National Register? NO

Potential-Contributor to NR-District? NO

Area(s) of historical significance

>> Community planning & development

Other Historical Associations See continuation sheet

Explanation of Evaluation (required) See continuation sheet

HISTORICAL STRUCTURE FORM

8SJ05176

DOCUMENTATION (Photos, Plans, etc.)

Photographic Negatives or Other Collections Not Filed with FMSF, Including Field Notes, Plans, other Important Documents.

Document type: _____

Maintaining Organization: _____

File or Accession #: _____

Descriptive Information: _____

>> _____

RECORDER INFORMATION

Recorder Name (Last, First) Marder, Walt

Recorder Address / Phone P.O. Box 1002, St. Augustine, Florida 32085, 904-824-5178

Recorder Affiliation Historic Property Associates

Other Affiliation _____

Is a Text-Only Supplement File Attached (Surveyor Only)? YES

***** MASTER SITE FILE USE ONLY *****

Cultural Resource Type:

Electronic Form Used:

Form Type Code:

Form Quality Ranking:

Form Status Code:

Supplement Information Status:

Supplement File Status:

Form Comments: _____

SHPO's Evaluation of Resource

Date

FMSF Staffer:

Computer Entry Date:

REQUIRED PAPER ATTACHMENTS

- (1) USGS 7.5" MAP WITH STRUCTURE PINPOINTED IN RED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3"X5"

SJ05176-

Supplementary Printout

- > **USGS map name/year of publication or revision:**
ST. AUGUSTINE;1988
 - > **Township/Range/Section/Qtr:**
7S ;30E ;52;UNSP
 - > **Structural system(s):**
Wood frame
 - > **Foundation types:**
Piers
 - > **Foundation materials:**
Concrete Block
 - > **Exterior fabrics:**
Wood siding
 - > **Roof types:**
Pyramid
 - > **Roof materials:**
Composition shingles
 - > **Roof secondary structures (dormers etc):**
Not applicable
 - > **Change status/year changed/date noted/nature:**
Unspecified;;;
 - > **Original, intermediate, present uses/year started/year ended:**
Residence--private;1935;
 - > **Research methods:**
Examine local property records
 - > **Area(s) of historical significance:**
Community planning & development
 - > **Repositories: Collection/Housed/Accession#/Describe**
 - > **[Other name(s)]:**
-

RN:76 SJ5176/28 ½ Magnolia Avenue Continuation Sheet/Supplemental Information

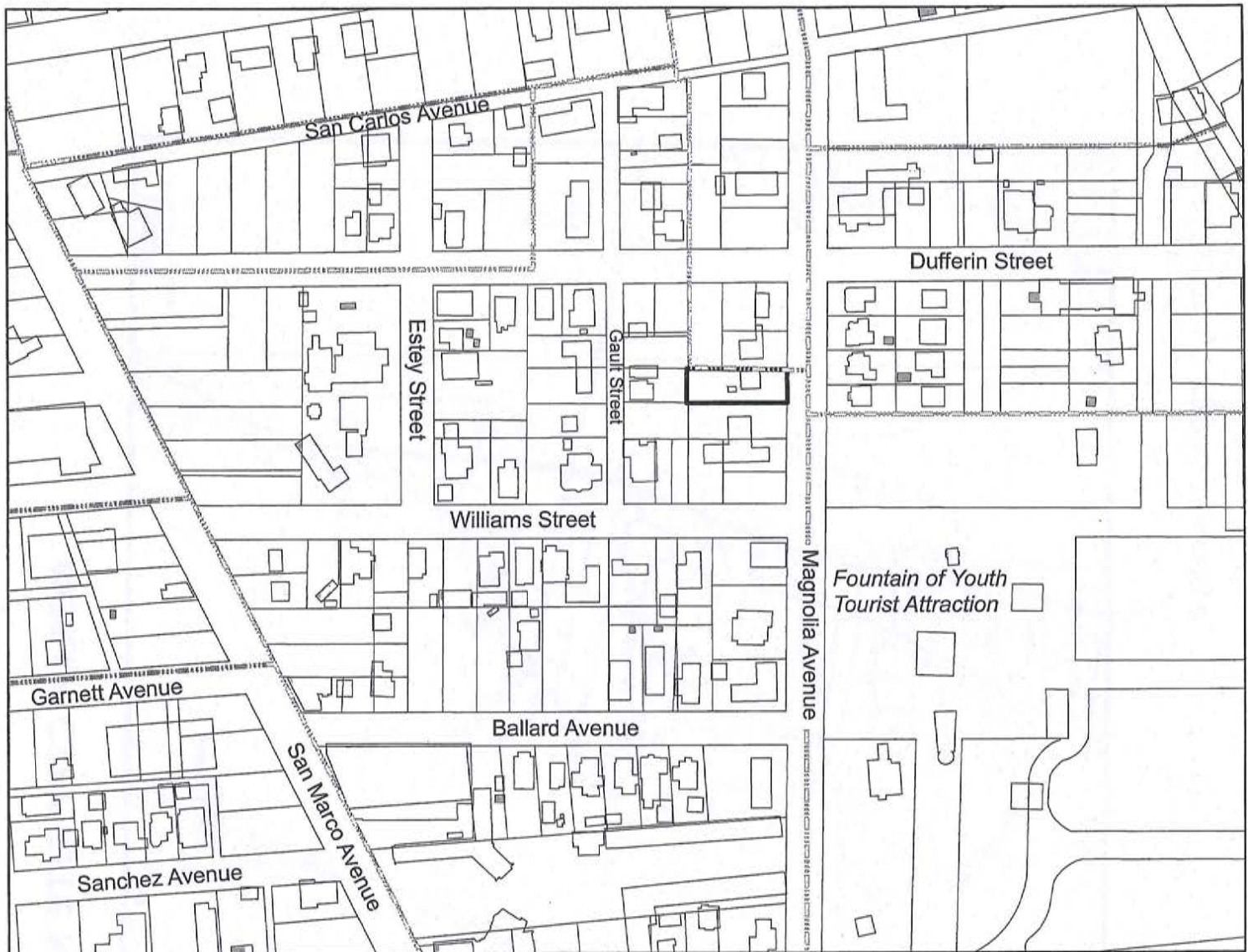
GENERAL COMMENTS AND SUPPLEMENTAL INFORMATION

North, beyond the Mission Nombre de Dios property, are Williams Addition, San Marco, Miramar, Miramar-on-the Bay subdivisions and the Fountain of Youth Tract. These subdivisions extend from Ocean Avenue to San Carlos Avenue, the northern limit of the City of St. Augustine until 1923, and east from San Marco Avenue. They were formed from the northern six grants in the Mil y Quinientas. Between 1826 and 1835 Stephen Arnau, a Minorcan and officer in the Florida Territorial Militia consolidated these grants under his ownership. In 1851 he deeded them to his son, Paul, five term mayor of St. Augustine. In 1868 the Arnau sold the tract to Senator Henry H. Williams, who subdivided the portion of the land between San Marco and Magnolia avenues between 1883 and 1886. Williams built a large home and cultivated citrus and roses on land east of Magnolia Avenue in what today is the Fountain of Youth Park. San Marco, Miramar, Miramar-on-the-Bay and the Fountain of Youth Tract were all subdivided in the 1920s. The Fountain of Youth Tract was acquired during this period by Walter B. Fraser, Mayor of St. Augustine from 1934-1942 and a state senator. This area lacks the concentration of historic buildings found in the Abbott Tract and the adjacent neighborhood to the west. It does, however, include the Old St. Johns County Jail, a National Register property; the Fountain of Youth Park, where the original settlement of St. Augustine is likely located; and Magnolia Avenue, whose arching live oaks provide one of the city's most scenic vistas.

This one-story residential building is located in the Williams Addition. It embodies the pre-World War II development and architecture of the subdivision. It is an example of frame vernacular construction. Frame Vernacular, the prevalent type of residential building in Florida, refers to the common wood frame technique employed by lay or self-taught builders. By 1920, the Bungalow had become a major influence on vernacular design. As a result, the form, plan, and features of frame buildings tended to be more regular. After the 1920 frame vernacular buildings often diminished to one story. In addition to height and methods of construction frame vernacular building of the 1920s and 1930s shared additional characteristics. Framing rested on pier foundations, commonly brick or concrete block. Exterior sheathing was usually horizontal wood siding, either weatherboard or drop type. Roof types were gable or hip, covered with V-crimp or embossed sheet metal or composition or asbestos cement shingles. Brick chimneys constituted a common feature. Windows were double-hung sash. The size of panes increased in size, generally to 1/1 lights. Bungalow windows, with a single lower light and 3,4 or more lights in the upper sash, were typical. Porches usually full-widths entrance types, remained common.

The building's architectural features include a concrete block pier foundation, a wood frame structural system, horizontal wood siding exterior finish, a pyramidal roof, a one-bay entrance porch and 1/1 light sash windows.

Property Appraiser records suggest a construction date of 1935. The building appears on the 1953 Sanborn Fire Insurance update. According to the 1957 St. Augustine City Directory, the building was the residence of Laila Wilson. The building is not individually eligible for National Register designation and is not located in an area which appears eligible for listing as a district in the National Register.



North City Historic Architectural Survey
St. Augustine, Florida
Spring 2006

0 75 150 300 Feet



Williams Addition Subdivision

28-1/2 Magnolia Avenue

Lot 3, Block F

= Subdivision Boundary

= Subject Property

= Building Footprint

St. Johns County Property Appraiser
Detailed Information on 191450 0000

PIN: 191450 0000						
Owner's Name				Physical Address		
KALATA ANDREW J,BRENDA M ETAL				28 MAGNOLIA AVE		
Mailing Address				Map Page		
28 MAGNOLIA AVE				5E7SX		
				Sec/Town/Range		
SAINT AUGUSTINE , FL 32084-0000				52/ 7/ 30		
Values						
Land	\$117,300.00		Building Sketch	click here	click here to see map	
Extra Features	\$0.00		Heated/Cooled Area	588		
Building Value	\$15,190.00		Adjusted Area	596		
Market	\$208,400.00		Year Built	1935		
Assessed	\$177,959.00		Tax District	452		
Exempt	\$25,000.00		Neighborhood Code	00059700		
Taxable	\$152,959.00		Use Code/Description	000800/MULTI-UNIT		
Building Type Description	SINGLE FAM		Building Frame	WF		
Exterior Wall	WD		Roof Cover	CS		
Roof Structure	GH		Interior Wall	PL		
Flooring Type	PW		Heating System	NO		
A/C Types	NO		Foundation Types	PP		
Fireplace Types			Floor Systems	WF		
Legal Description						
CITY OF ST AUGUSTINE WILLIAMS ADDITION LOT 3 BLK F OR797/0191						
Sale Date	Adjusted Price	Book&Page	Instrument	Qualified	Vacant or Improved	RCode
09/01/1988	\$46,900.00	797 & 191		Q	I	0
01/01/1977	\$0.00	339 & 671		U	I	1
01/01/1977	\$47,500.00	339&664		C	I	2

St. Johns County Property Appraiser
Detailed Information on 191450 0000

PIN: 191450 0000	
Owner's Name	Physical Address

ALATA ANDREW J,BRENDA M ETAL	28 MAGNOLIA AVE
Mailing Address	Map Page
3 MAGNOLIA AVE	5E7SX
	Sec/Town/Range
SANT AUGUSTINE , FL 32084-0000	52/ 7/ 30

Values					
Land	\$117,300.00		Building Sketch	click here	click here to see map
Extra Features	\$0.00		Heated/Cooled Area	979	
Building Value	\$75,910.00		Adjusted Area	1,012	
Market	\$208,400.00		Year Built	1935	
Assessed	\$177,959.00		Tax District	452	
Exempt	\$25,000.00		Neighborhood Code	00059700	
Taxable	\$152,959.00		Use Code/Description	000800/MULTI-UNIT	
Building Type Description	SINGLE FAM		Building Frame	WF	
Exterior Wall	WD		Roof Cover	AS	
Roof Structure	GH		Interior Wall	DW	
Flooring Type	CP		Heating System	AD	
Foundation Types	CN		Foundation Types	PP	
Fireplace Types			Floor Systems	WF	

Legal Description

CITY OF ST AUGUSTINE WILLIAMS ADDITION LOT 3 BLK F OR797/0191

Sale Date	Adjusted Price	Book&Page	Instrument	Qualified	Vacant or Improved	RCode
9/01/1988	\$46,900.00	797 & 191		Q	I	0
1/01/1977	\$0.00	339 & 671		U	I	1
1/01/1977	\$47,500.00	339&664		C	I	2






Parcel Number: 191450 0000

Traversal Information:

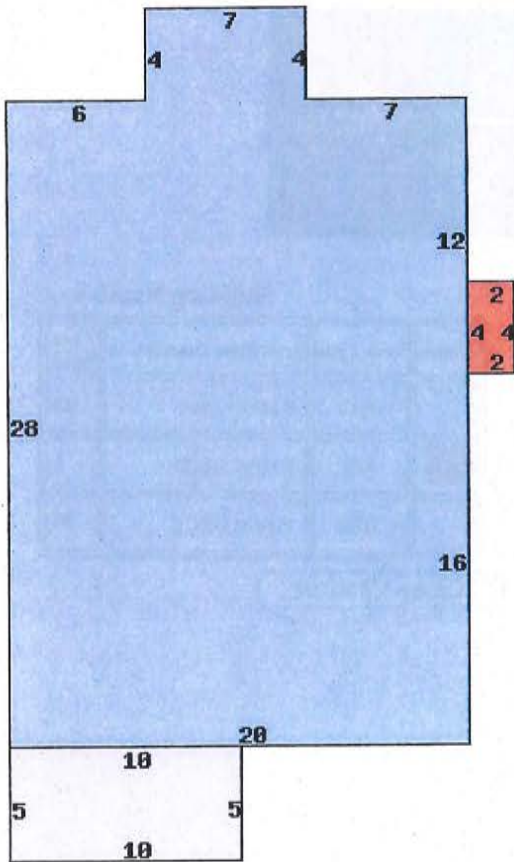
BAS1935=N28E6N4E7S4E7S12FOP1935=E2N4W2S4
SS16W20\$DEK1985=S5E10N5W10S.

Building Number: 1

Color	Area Type	Area Type Description	Area Sq Ft
	BAS	BASE AREA	588
	FOP	F OPN PRCH	8
	DEK	FINSH DECK	50

[Enlarge](#)

[Close Window](#)



© and design by qpublic.net







Parcel Number: 191450 0000

Traversal Information:

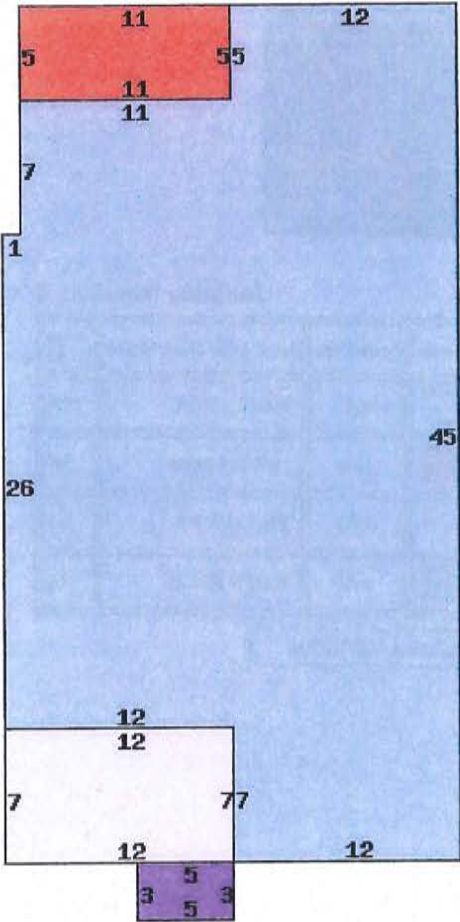
BAS1935=N26E1N7HSP1935=N5E11S5W11SE11N5E
12S45W12EGP1935=N7W12S7E12SFOP1935=S3W5N
3E5S7W12S.

Building Number: 2

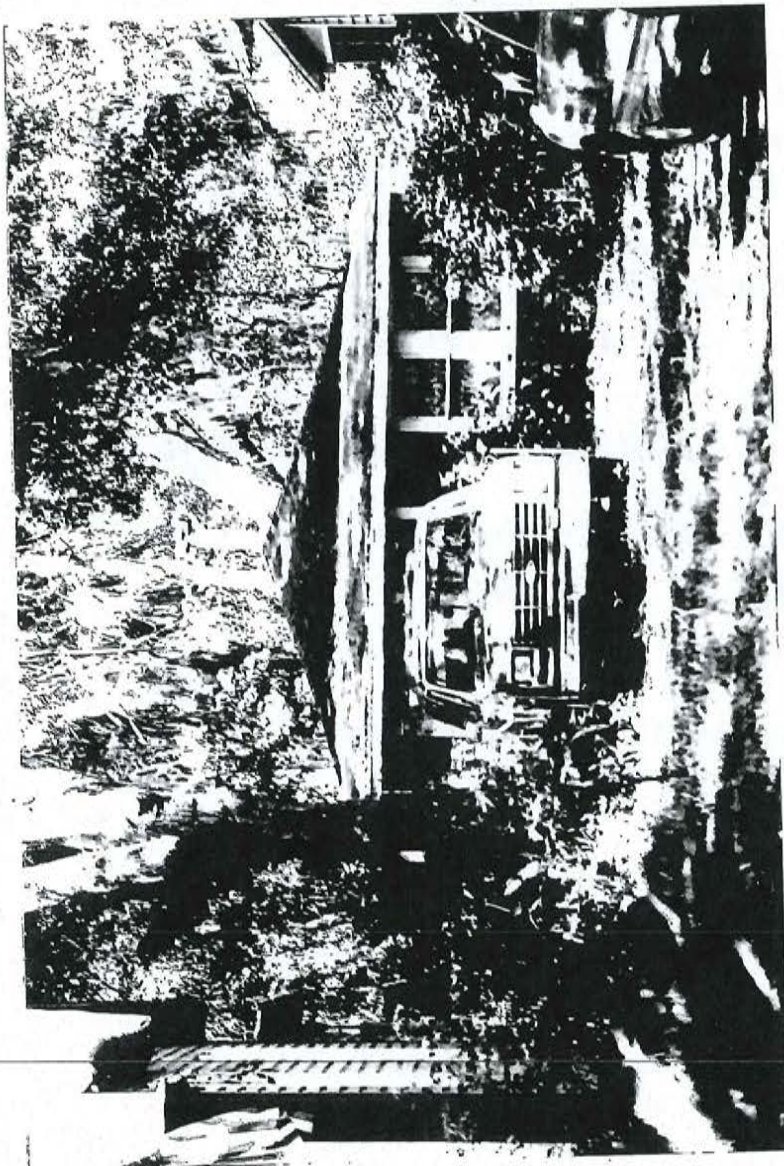
Color	Area Type	Area Type Description	Area Sq Ft
	BAS	BASE AREA	929
	HSP	HSCRN PORC	55
	EGP	ENC G/V PR	84
	FOP	F OPN PRCH	15

[Enlarge](#)

[Close Window](#)



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CITY OF ST AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD
APPLICATION



- ☒ CERTIFICATE OF DEMOLITION
☐ CERTIFICATE OF RELOCATION

Application Fee \$300.00 full/\$150.00 partial (plus advertising costs) BDAC Project No. 2018-0149

Receipt No. _____

Meeting Date November 15, 2018

Advertising Costs \$ _____

Paid on Oct. 26, 2018

Receipt No. 1474720

1. NAME OF APPLICANT Jeni Abate Spires

Business (if applicable) _____

Address 2831 Glimpse of Glory Rd.

City St Augustine State FL Zip 32084

Daytime telephone 904-553-1646 Other phone/email _____

***Correspondence related to this application will be based on the above information

2. NAME OF PROPERTY OWNER Jeni Abate Spires

Business (if applicable) _____

Address 28 1/2 Magnolia Ave.

City St Augustine State FL Zip 32084

Daytime telephone (required) _____ Other phone _____

3. PROJECT STREET ADDRESS 28 1/2 Magnolia Ave St Augustine

4. LEGAL DESCRIPTION OF PROPERTY
Lot 3 Block F Subdivision Williams Addition Parcel Number _____

5. DATE OF CONSTRUCTION ASAP Source: _____

6. HISTORIC STATUS (check all that apply)

- ☐ Designated Local Landmark
☐ Property individually listed on the National Register of Historic Places
☐ Contributing building in National Register Historic District
☒ Listed on Florida Master Site File
☒ 50 years of age or older

7. PROPOSED PROJECT WORK (check one)

- ☐ PARTIAL DEMOLITION - Permanent removal of any significant architectural features including porches, dormers, chimneys, walls, additions, etc.
☒ FULL DEMOLITION - The complete razing of a building resulting in its permanent removal.
☐ RELOCATION - The moving of all or part of a building from one property and placing it on a different property. Also the shifting or reorientation of all or part of a building on the same property.

8. PROPOSED REPLACEMENT BUILDING/FEATURE: _____

9. FOR PARTIAL DEMOLITION PROJECTS ONLY

A. Indicate architectural features to be permanently removed (check all that apply):

HISTORIC	NOT HISTORIC	NOT SURE	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building addition
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Outbuilding/Accessory building
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fenestration (arrangement of windows and doors)

B. Required submittals:

- ☐ Photographs and/or drawings of elevations and architectural features to be removed.
- ☐ Drawings of proposed improvements and replacement features as applicable.

10. FOR FULL DEMOLITION PROJECTS ONLY

A. Required submittals for all full demolition projects:

- ☒ Photographs of existing conditions including façades of the building and interior features if applicable.
- ☒ Drawings of proposed replacement buildings and or features if applicable.

B. Required submittals for buildings designated as Local Landmarks, individually listed on the National Register of Historic Places, or a contributing building in a National Register Historic District:

- ☐ *Condition assessment report* - A report from an architect or structural engineer licensed in the State of Florida with demonstrated experience in historic restoration/rehabilitation as to the structural soundness of the building and its adaptability for continued use.
- ☐ *Proof of unreasonable or undue economic hardship* - the property owner may submit to the board any or all of the following information:
 - An estimate of the cost of the proposed construction, alteration, demolition, or removal.
 - The estimated market value of the property in its current condition and after completion of the proposed construction, alteration, demolition, or removal.
 - An estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
 - The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any.
 - The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years.
 - All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property.
 - Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years.
 - The assessed value of the property according to the two (2) most recent assessments;
 - The real estate taxes for the previous two (2) years.
 - The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, or joint venture.
 - Any other information deemed appropriate by the applicant as to how the property does not yield or may not yield a reasonable return to the property owner.

11. FOR RELOCATION PROJECTS ONLY

- A. Address or location where building is to be moved: _____
- B. Estimated costs:
- o Purchase price _____
 - o Moving fee (prepared by a licensed and insured building mover) _____
 - o Building rehabilitation _____
- C. Required submittals:
- ☐ Photographs of existing conditions including façade of the building.
 - ☐ If the new location is within the city limits, provide a site plan and drawings of any new improvements. (If the building is to be located in a Historic Preservation zoning district, a Certificate of Appropriateness will also be required.)

12. AGREEMENT – Unless the property owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, all owners of record must sign the application. If the applicant is different than the property owner, the application must be signed by both parties.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if the Certificate of Demolition or Certificate of Relocation is approved that a demolition inspection, archeological review, and building permit from the city are required prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME Joni SPIRES DATE OCT 26, 18

SIGNATURE OF APPLICANT Joni Spires

PRINT 1st OWNER'S NAME Joni SPIRES DATE OCT 26, 18

SIGNATURE OF 1st PROPERTY OWNER Joni Spires

PRINT 2nd OWNER'S NAME _____ DATE _____

SIGNATURE OF 2nd PROPERTY OWNER _____

PRINT 3rd OWNER'S NAME _____ DATE _____

SIGNATURE OF 3rd PROPERTY OWNER _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

APPLICATIONS FOR CERTIFICATES OF DEMOLITION AND RELOCATION

The applicant shall submit a completed application on or before the monthly deadline in order for it to be placed on the following month's Historic Architectural Review Board (HARB) agenda. The board meets the third Thursday of each month unless otherwise scheduled. Failure to submit a substantially complete application may result in a continuance of the request.

In the event that the property owner is not a governmental agency; licensed business or company; incorporated organization; or an administered estate, all property owners of record must sign the application.

All Certificate of Demolition applications are reviewed by city staff for consistency and compliance with the 2011, 4th edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. (Copies of this document are available for a fee upon request.) Guidelines include consideration of historic and architectural significance; uniqueness of the building; existing conditions; and potential for relocation.

Within zoning districts HP-1, HP-2 and HP-3, HARB may approve a Certificate of Appropriateness for a replacement structure before approving a Certificate of Demolition. These applications may be reviewed concurrently.

For buildings relocated within any historic preservation zoning district a Certificate of Appropriateness is required for the building's new location.

PUBLIC NOTICE REQUIREMENTS (costs to be assessed to the applicant)

Certificates of Demolition shall meet the following public notice requirements:

1. *Mailed notices* - The applicant shall notify not less than ten (10) days in advance of the date of public hearing, via the United States Postal Service, all adjacent property owners within 150 feet of the boundaries of the subject property. A list of owners is provided by the Planning & Building Department. The applicant shall produce evidence that the mailing was completed by the deadline.
2. *Legal ad* - The city shall publish a legal advertisement for the application in a newspaper of general circulation not less than ten (10) days prior to the public hearing.
3. *Signs* - The city shall post a sign on each street frontage of the property in full view of the public providing notification of the pending hearing not less than seven (7) days in advance of the meeting. The sign shall be maintained by the applicant until final determination has been made.

BOARD REVIEW

Members of HARB review each application at a public hearing where all interested parties have an opportunity to be heard and present evidence. It is the duty of board members to weigh the evidence and render a decision. The board may approve, approve with conditions, continue or deny an application. Conditions that may be stipulated for demolitions include architectural salvage, pre-approval for the design of any new construction, and/or archival documentation of the existing building. Also the board has the option to postpone any demolition for two, 12-month periods. The proposed demolition of any colonial building or designated local landmark requires additional review and approval by the city commission.

After receiving an approval from the HARB and satisfying any stipulated conditions, the applicant may submit a building permit application for demolition based on the approved HARB order of demolition which is effective on the 31st day following the date of the rendered order. Please note that city inspection of the property and a building permit is required before the actual demolition can begin. In certain areas of the city an archeological permit may also be required.

When construction of the new structure is delayed, the site must be cleared and sodded within thirty (30) days of the demolition or relocation. In historic preservation zoning districts (HP-1 through 5) the vacant property must be enclosed by a solid board fence at least 5 ½ feet high.

RECEIVED

OCT 15 2018

Planning/Building Dept.



CITY OF
ST. AUGUSTINE
EST. 1565

Owner's Authorization For Agent

Joe Muscetta is/are hereby authorized TO ACT ON BEHALF
OF Joni Abate Spices the owner(s) of those lands described within ☒

the attached application, or ☐ described within the previously filed
Application number: _____, and as described in the attached deed or
other such proof of ownership as may be required, in applying to the City
of St. Augustine's Historic Architectural Review Board, for an application
related to a Certificate of Demolition for the structure located at:

28 Magnolia Ave St Augustine FL 32084

BY: Joni Abate Spices ✓
Signature of Owner

Joni Abate Spices ✓
Print Name of Owner

904-826-7755
Telephone Number

State of Florida

County of St. Johns

Signed and sworn before me on this 10th day of October, 2018.

By Joni Abate Spices

Identification verified:

Oath sworn: ✓ Yes No



KATHRYN L. LEWIS
MY COMMISSION # FF 957785
EXPIRES: February 7, 2020
Bonded Thru Budget Notary Services

Notary Signature:

Kathryn L. Lewis

My Commission expires:

2/7/20

on Building Fort View

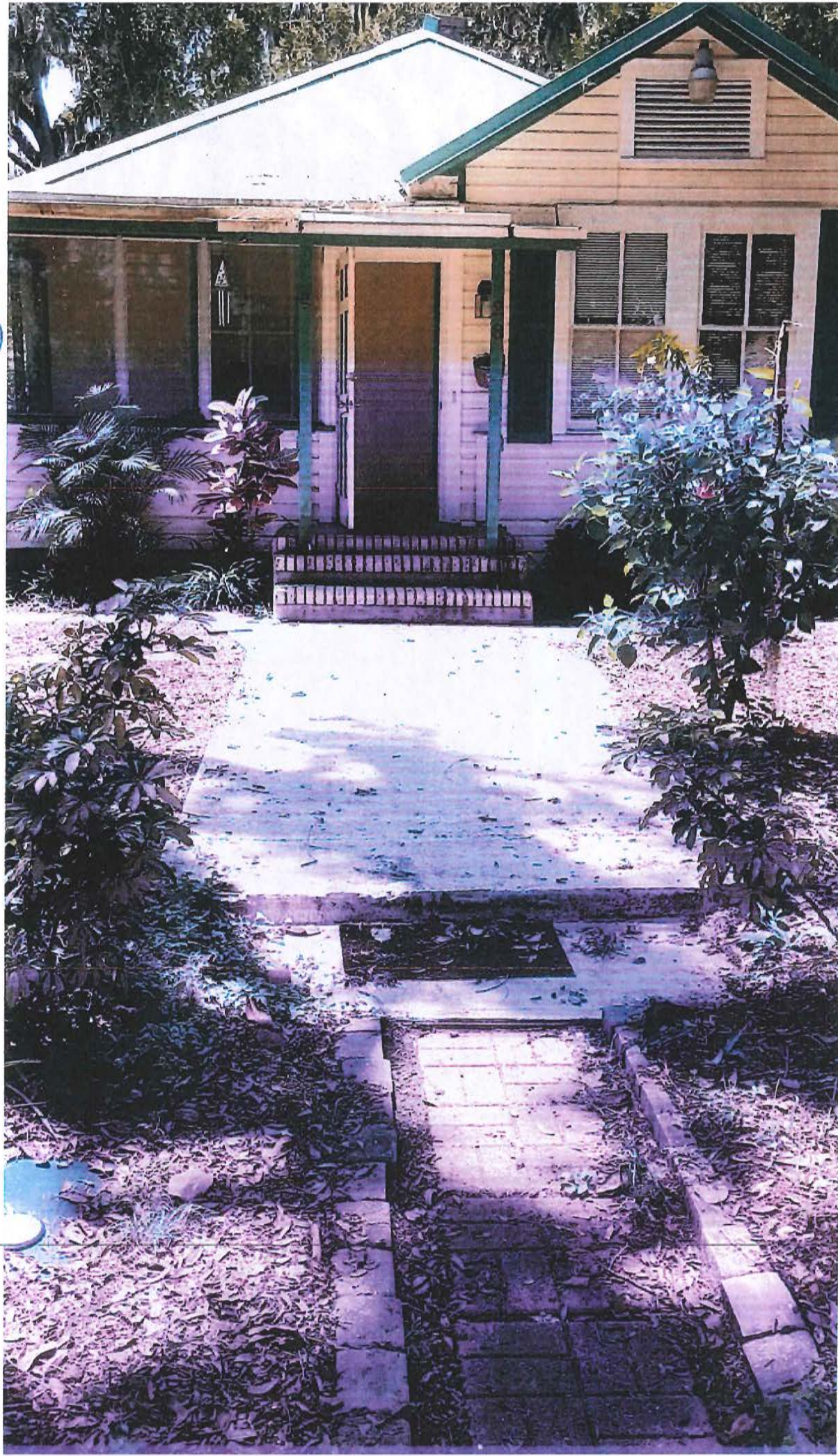


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OCT 15 2018

Planning & Building Dept.

very, not new

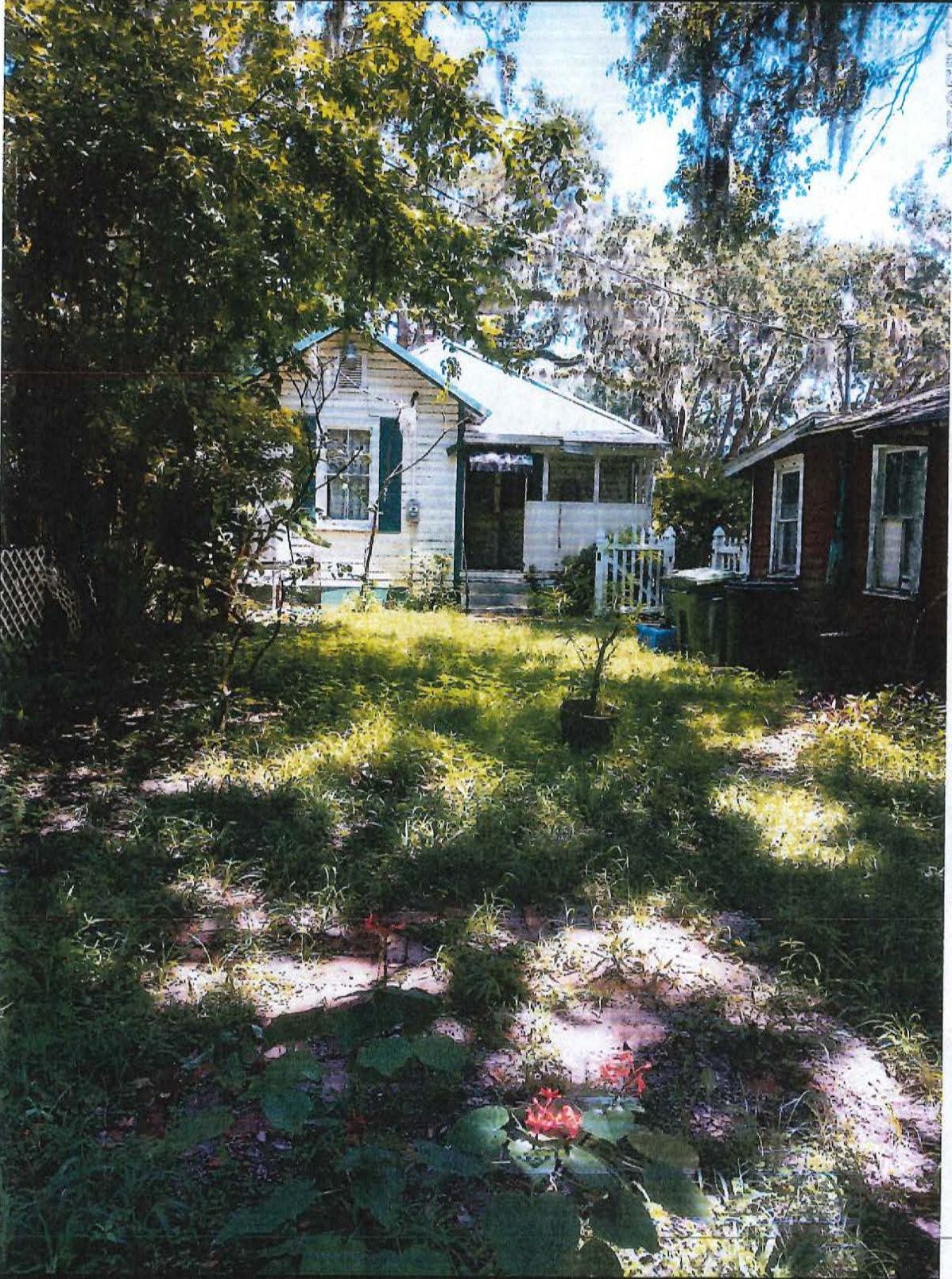


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OCT 15 2018

Planning/Building Dept.

Home Back View



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OCT 15 2013

Planning/Building Dept.

147 Building Back View



RECEIVED

OCT 15 2018

Planning/Building Dept.

Outbuilding side view





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Limited Liability Company
BETA THREE OF ALACHUA, LLC

Filing Information

Document Number L06000045709
FEI/EIN Number N/A
Date Filed 05/02/2006
State FL
Status ACTIVE
Last Event REINSTATEMENT
Event Date Filed 06/03/2014

Principal Address

14818 NW 140TH STREET
ALACHUA, FL 32615

Changed: 06/03/2014

Mailing Address

PO BOX 2410
ALACHUA, FL 32616

Changed: 06/03/2014

Registered Agent Name & Address

STEWART, WILLIAM
14818 NW 140TH STREET
ALACHUA, FL 32615

Name Changed: 06/03/2014

Address Changed: 06/03/2014

Authorized Person(s) Detail

Name & Address

Title MGRM

SPIRES, Joni
PO BOX 4289
ST. AUGUSTINE, FL 32085

THE MGR

Title MGR

STEWART, WILLIAM
PO BOX 2410
ALACHUA, FL 32616

Annual Reports

Report Year	Filed Date
2016	04/29/2016
2017	04/28/2017
2018	04/26/2018

Document Images

04/26/2018 -- ANNUAL REPORT	View image in PDF format
04/28/2017 -- ANNUAL REPORT	View image in PDF format
04/29/2016 -- ANNUAL REPORT	View image in PDF format
04/30/2015 -- ANNUAL REPORT	View image in PDF format
04/30/2008 -- ANNUAL REPORT	View image in PDF format
04/27/2007 -- ANNUAL REPORT	View image in PDF format
05/02/2006 -- Florida Limited Liability	View image in PDF format

Florida Department of State, Division of Corporations

Instr #2018052194 BK: 4583 PG: 1376, Filed & Recorded: 7/20/2018 3:20 PM #Pgs:3
 Hunter S. Conrad, Clerk of the Circuit Court St. Johns County FL Recording \$27.00 Doc. D \$1,995.00

in & Ret Rec: \$29.00 Doc: \$1995.00
 After Recording Return to:
 This Instrument Prepared by:
 Marlene Lagasse (\$285,000.00)
 ESTATE TITLE OF ST. AUGUSTINE, INC.
 71 CARRERA STREET
 ST AUGUSTINE, FL 32084
 as a necessary incident to the fulfillment of conditions
 contained in a title insurance commitment issued by it.

Property Appraisers Parcel I.D. (Folio) Number(s):
 191450-0000
 File No.: 62008

WARRANTY DEED

This Warranty Deed, Made the 20 day of July, 2018, by

BRENDA MARIA KALATA, TRUSTEE OF THE KALATA REVOCABLE TRUST and ANDREA M. BARN, FORMERLY KNOWN AS ANDREA M. KALATA, CONVEYING SEPARATE NON-HOMESTEAD PROPERTY whose post office address is

24 May ST ST Augustine FL 32084

hereinafter called the "Grantor", to BETA THREE OF ALACHUA,, LLC, A FLORIDA LIMITED LIABILITY COMPANY whose post office address is:

PO Box 4289 ST Augustine FL 32085

hereinafter called the "Grantee".

WITNESSETH: That said Grantor, for and in consideration of the sum of **Ten Dollars and No Cents (\$10.00)** and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in **St Johns County, Florida**, to wit:

LOT NUMBER THREE (3) IN BLOCK "F" OF THE WILLIAMS ADDITION AS PER OFFICIAL MAP OF ST. AUGUSTINE, DATED JANUARY 1, 1905 AND NOW ON FILE IN THE OFFICE OF THE CLERK, OF THE CIRCUIT COURT IN AND FOR ST. JOHNS COUNTY, FLORIDA; THE ABOVE LOT BEING MORE PARTICULARLY DESCRIBED AS LOT 3, IN BLOCK 1 OF THE H. WILLIAMS SECOND ADDITION TO ST. AUGUSTINE, AS PER PLAT OF SAME RECORD IN DEED BOOK "KK", PAGE 1, ST. JOHNS COUNTY RECORDS; SAID LOT HAVING A FRONTAGE ON MAGNOLIA AVENUE OF 50 FEET AND A DEPTH OF 150 FEET.

The property is not the homestead of the Grantor(s) under the laws and constitution of the state of Florida in that neither Grantor(s) or any member of the household of Grantor(s) reside thereon.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to 2017, reservations, restrictions and easements of record, if any.

BK: 4583 PG: 1377

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES

TWO SEPARATE DISINTERESTED WITNESSES REQUIRED

2 Witness Signature: [Signature] Andrea M. Barina
 2A Printed Name: Richard S. Young ANDREA M. BARNA FKA ANDREA M. KALATA
FKA Andrea M. Kalata

3 Witness Signature: [Signature]
 3A Printed Name: Michelle M. Michael-Mill

State of PA

4 County of Northampton

The foregoing instrument was acknowledged before me this 16th day of July, 2018 by

who is/are personally ANDREA M. BARNA FKA ANDREA M. KALATA

known to me or has/have produced driver license(s) as identification.

[Signature]
 Notary Public Signature
 Printed Name:

My Commission Expires: July 7, 2019
 (SEAL)

6A

COMMONWEALTH OF PENNSYLVANIA
 NOTARIAL SEAL
 Michelle M. Michael-Mill, Notary Public
 Hanover Twp., Northampton County
 My Commission Expires July 7, 2019

BK: 4583 PG: 1378

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES

TWO SEPARATE DISINTERESTED WITNESSES REQUIRED

Witness Signature: [Signature]

Printed Name: Daniel Fraser

THE KALATA REVOCABLE TRUST

Brenda Maria Kalata

Brenda Maria Kalata
Trustee

Witness Signature: [Signature]

Printed Name: Carol A Lagasse

State of Florida

County of St Johns

The foregoing instrument was acknowledged before me this 20 day of July, 2018 by

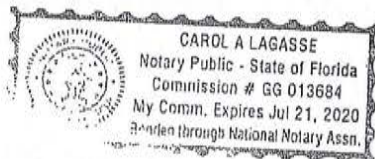
BRENDA MARIA KALATA TRUSTEE OF THE KALATKA REVOCABLE TRUST who is/are personally

known to me or has/have produced driver license(s) as identification.

[Signature]
Notary Public Signature

Printed Name:

My Commission Expires: _____
(SEAL)



Detail by Entity Name

Florida Limited Liability Company
BETA THREE OF ALACHUA, L.L.C.

Filing Information

Document Number	L01000003503
FEI/EIN Number	NONE
Date Filed	03/07/2001
State	FL
Status	INACTIVE
Last Event	CORPORATE MERGER
Event Date Filed	04/11/2001
Event Effective Date	NONE

Principal Address

35 MAGNOLIA AVENUE, SUITE 2084
ST. AUGUSTINE, FL 32084-2833

Mailing Address

35 MAGNOLIA AVENUE, SUITE 2084
ST. AUGUSTINE, FL 32084-2833

Registered Agent Name & Address

WATSON, TODD
7785 BAYMEADOWS WAY, SUITE 107
JACKSONVILLE, FL 32256

Authorized Person(s) Detail**Name & Address**

Title MGR

SPIRES, CHARLES
35 MAGNOLIA AVENUE, SUITE 2084
ST. AUGUSTINE, FL 32084-2833

Annual Reports

No Annual Reports Filed

Document Images

[04/11/2001 -- MERGER](#)

[View image in PDF format](#)

[03/07/2001 -- Florida Limited Liabilities](#)

[View image in PDF format](#)



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St. Johns County, FL

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[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 1914500000
 Location Address 28 MAGNOLIA AVE
 SAINT AUGUSTINE 32084-0000
 Neighborhood WMS ADDN (597)
 Tax Description* CITY OF ST AUGUSTINE WILLIAMS ADDITION LOT 3 BLK F OR4583/1376
 *The Description above is not to be used on legal documents.
 Property Use Code Multi-Family (Less than 10 Units) (0800)
 Subdivision Williams Addition
 Sec/Twp/Rng 52-7-30
 District City of St Augustine (District 452)
 Millage Rate 20.4933
 Acreage 0.180
 Homestead N

View Map

Owner

Owner Name Beta Three Of Alachua LLC 100%
 Mailing Address PO BOX 4289
 SAINT AUGUSTINE, FL 32085-0000

Valuation

	2018
Building Value	\$89,670
Extra Features Value	\$0
Total Land Value	\$79,560
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$169,230
Total Deferred	\$11,301
Assessed Value	\$157,929
Total Exemptions	\$0
Taxable Value	\$157,929

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$83,572	\$208	\$63,495	\$0	\$0	\$147,275	\$143,572	\$3,703	\$143,572
2016	\$74,058	\$208	\$57,630	\$0	\$0	\$131,896	\$130,520	\$1,376	\$130,520
2015	\$65,805	\$208	\$57,630	\$0	\$0	\$123,643	\$118,655	\$4,988	\$118,655
2014	\$55,385	\$208	\$52,275	\$0	\$0	\$107,868	\$107,868	\$0	\$107,868
2013	\$47,919	\$208	\$51,638	\$0	\$0	\$99,765	\$99,765	\$0	\$99,765
2012	\$44,271	\$208	\$51,638	\$0	\$0	\$96,117	\$96,117	\$25,000	\$71,117
2011	\$45,487	\$208	\$57,375	\$0	\$0	\$103,070	\$103,070	\$26,535	\$76,535
2010	\$47,476	\$208	\$63,750	\$0	\$0	\$111,434	\$111,434	\$30,717	\$80,717

Building Information

Building

1

Roof Structure

Gable Hip

Actual Area 646
 Conditioned Area 588
 Actual Year Built 1935
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Wood

Roof Cover Composite Shingle, Roll Composite
 Interior Flooring Pine Wood
 Interior Wall Plaster
 Heating Type None
 Heating Fuel
 Air Conditioning None
 Baths

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	90%
Roofing Cover	Roll Composite	10%
Interior Walls	Plaster	100%
Interior Flooring	Pine Wood	100%
Heating Type	None	100%
Air Conditioning	None	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Piers and Posts	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	588	588
FOPN PRCH	0	8
FINSH DECK	0	50
Total SqFt	588	646

Building 2
 Actual Area 1083
 Conditioned Area 929
 Actual Year Built 1935
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Wood

Roof Structure Gable Hip
 Roof Cover Metal
 Interior Flooring Carpet, Hardwood
 Interior Wall Drywall
 Heating Type Air Duct
 Heating Fuel
 Air Conditioning Central
 Baths

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Metal	100%
Interior Walls	Drywall	100%
Interior Flooring	Carpet	50%
Interior Flooring	Hardwood	50%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Average	100%
Foundation	Piers and Posts	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	929	929
HSCRN PORC	0	55
ENC G/V PR	0	84
FOPN PRCH	0	15
Total SqFt	929	1083

Extra Features

Code Description	BLD	Length	Width	Height	Units
Residential Fence	0	0	0	0	91

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Multi-Family (Less than 10 Units)	51	150	51	FF	\$79,560

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
7/20/2018	7/20/2018	\$285,000.00	WD	4583	1376	Q	I	KALATA REVOCABLE TRUST ETAL	BETA THREE OF ALACHUA LLC
7/20/2018	5/15/2018	\$0.00	DC	4583	1372	U	I	KALATA ANDREW JOHN (DECD)	KALATA REVOCABLE TRUST ETAL
6/2/2015	5/27/2015	\$0.00	WD	4035	708	U	I	KALATA ANDREW J,BRENDA M	KALATA REVOCABLE TRUST
	9/1/1988	\$46,900.00		797	191	Q	I		KALATA ANDREW J,BRENDA M
	1/1/1977	\$0.00		339	671	U	I		
	1/1/1977	\$47,500.00		339	664	Q	I		

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

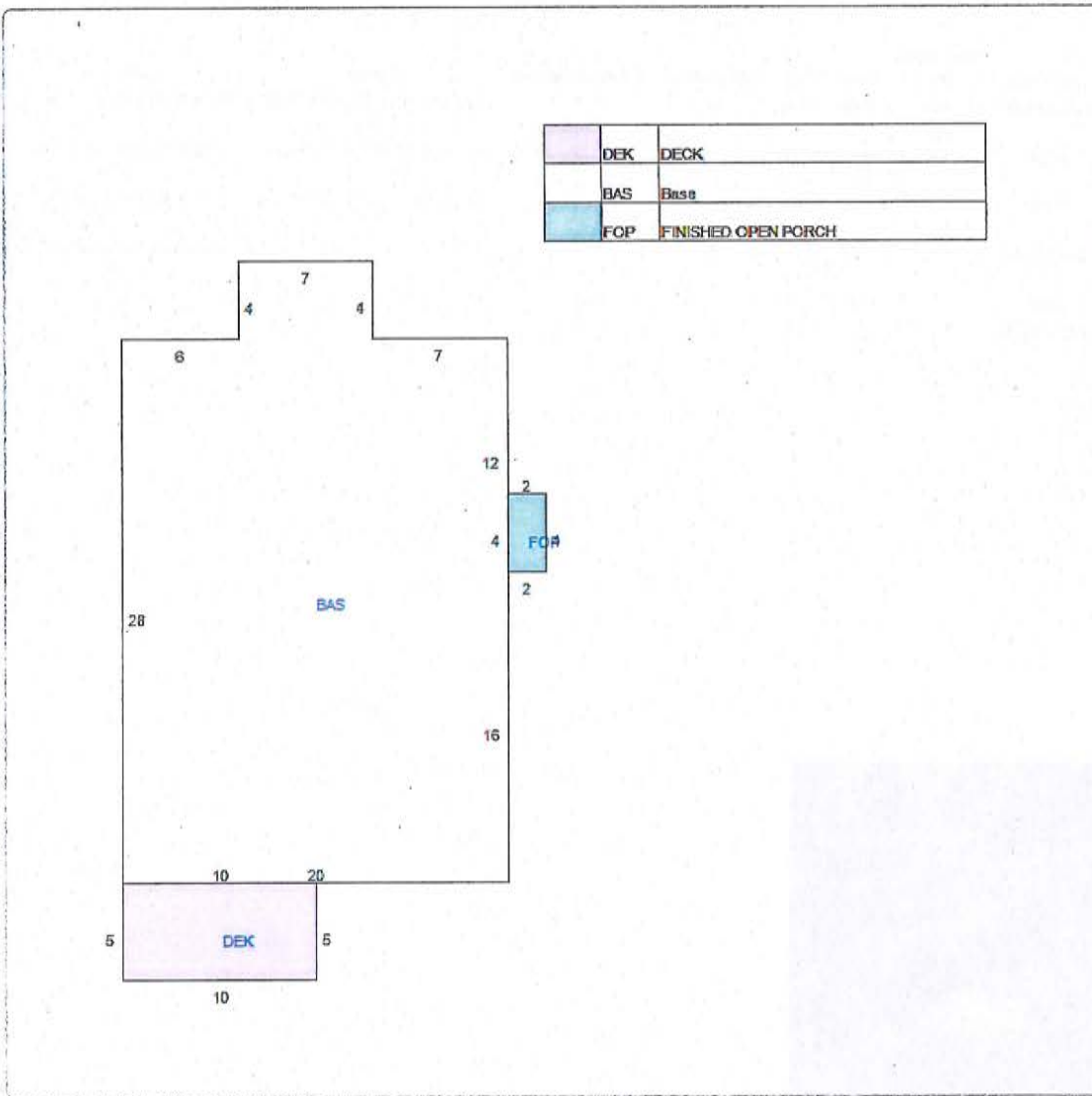
Tax Estimator

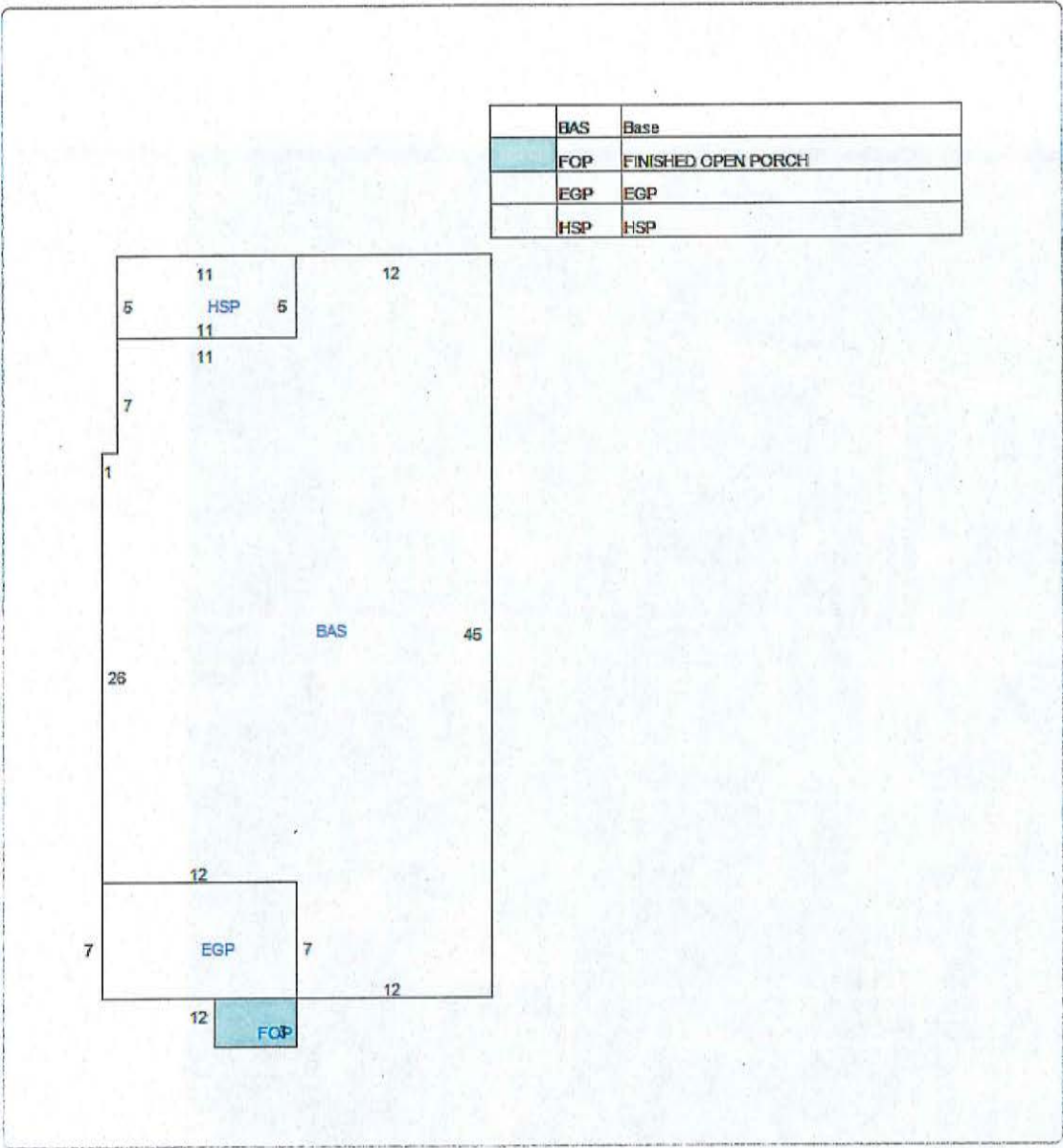
[Tax Estimator](#)

Map



Sketches





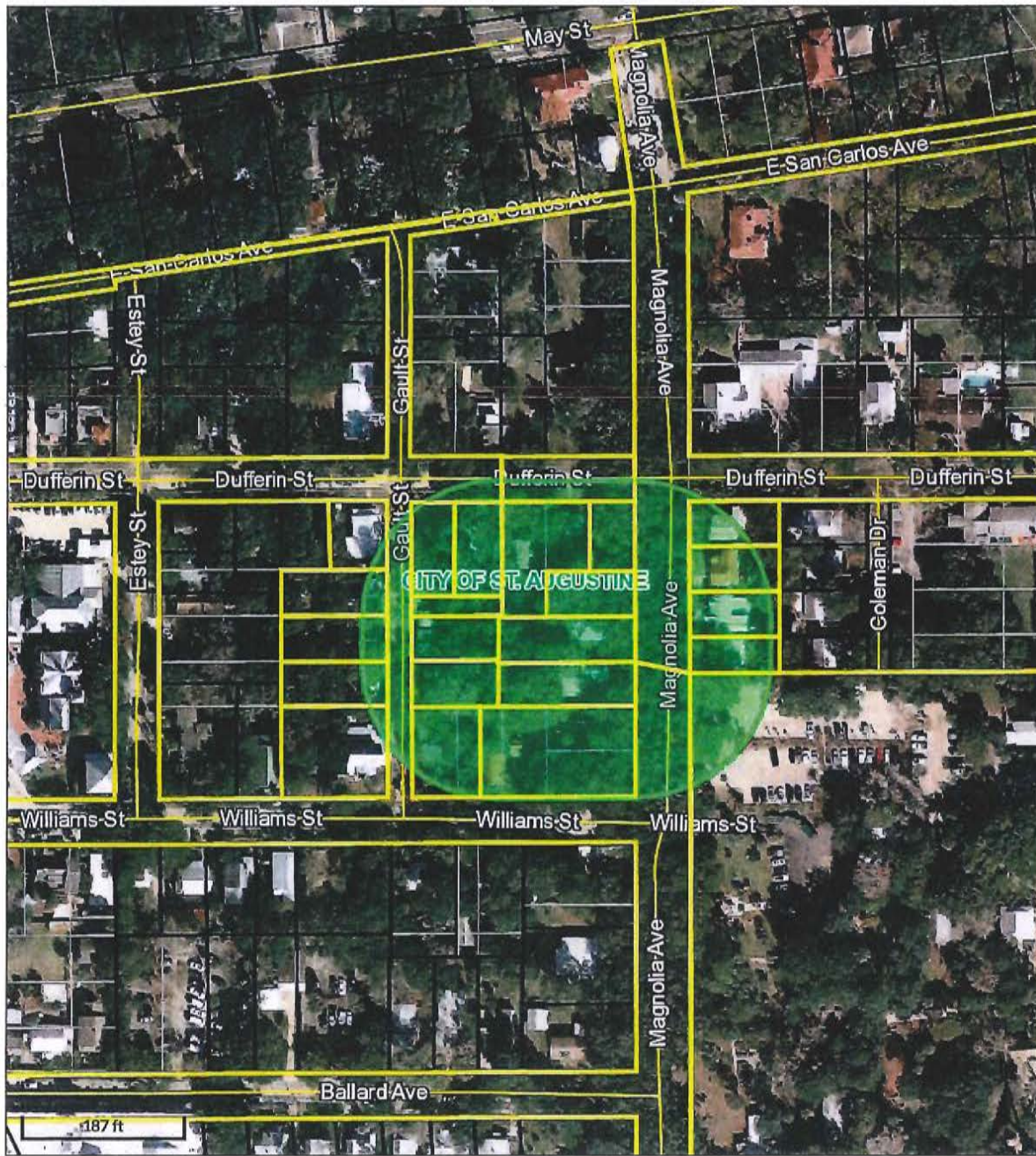
	BAS	Base
	FOP	FINISHED OPEN PORCH
	EGP	EGP
	HSP	HSP

No data available for the following modules: Exemptions.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

Last Data Upload: 10/12/2018, 11:33:10 PM





Overview



Legend

- Parcels
- Cities

Date created: 10/15/2018
Last Data Uploaded: 10/12/2018 11:33:10 PM

Developed by  **Schneider**
GEOSPATIAL



St. Johns County, FL

Parcel Results

25 Results

Parcel ID	Owner	Property Address	Legal Description	Map
1907500001	WILLIAMS ADDN SUBD CITY		WILLIAMS ADDN SUBD CITY	Map
1912850000	FITZ-GERALD FAMILY TRUST D:12-2004 FITZ-GERALD ALBERT S TRUSTEE FITZ-GERALD CHERYL A TRUSTEE	27 DUFFERIN ST	WILLIAMS ADDN CITY EAST PART	Map
1912900000	CASSESE LOUIS A, MARGARITA CASSESE MARGARITA	168 GAULT ST	CITY OF ST AUGUSTINE WILLIAMS	Map
1913000000	NEW WORLD RENTAL PROPERTIES LLC	166 GAULT ST	WILLIAMS ADDN LOT 4 BLK D	Map
1913100000	VETTER MARIANNE	164 GAULT ST	WILLIAMS ADDN LOT 5 BLK D	Map
1913200000	MANOFSKY EDWARD T TRUST AGREEMENT D:06-17-1974 MANOFSKY STEPHANIE LYNN TRUSTEE	20 WILLIAMS ST	WILLIAMS ADDN LOT 6 BLK D	Map
1914400000	PORTER WILLIAM ERNEST AND BETTY ANN REV TRUST PORTER WILLIAM ERNEST TRUSTEE	26 MAGNOLIA AVE	WILLIAMS ADDN CITY LOT 2 BLK F	Map
1914500000	BETA THREE OF ALACHUA LLC	28 MAGNOLIA AVE 28 MAGNOLIA AVE	CITY OF ST AUGUSTINE WILLIAMS	Map
1914600000	NEW WORLD RENTAL PROPERTIES LLC	171 GAULT ST	WILLIAMS ADDN LOT 8 & N3FT LOT	Map
1914600090	NEW WORLD RENTAL PROPERTIES LLC	27 B DUFFERIN ST	WILLIAMS ADDN LOT 9 & N3FT OF	Map
1914700000	NEW WORLD RENTAL PROPERTIES LLC	169 GAULT ST	WILLIAMS ADDN LOT 10 BLK F	Map
1914800000	NEW WORLD RENTAL PROPERTIES LLC	167 GAULT ST 167 GAULT ST	WILLIAMS ADDN LOT 11 BLK F	Map
1914900000	NEW WORLD RENTAL PROPERTIES LLC	163 GAULT ST	WILLIAMS ADDN LOT 12 BLK F	Map
1916000000	FOUNTAIN OF YOUTH PROP INC BARNETT BANK	11 MAGNOLIA AVE 11 MAGNOLIA AVE 11 MAGNOLIA AVE 11 MAGNOLIA AVE 11 MAGNOLIA AVE	4-55 FOUNTAIN OF YOUTH PARK	Map
1918100001	MIRAMAR ON THE BAY		3/41 MIRAMAR ON THE BAY	Map
1918300000	SMITH CHRISTOPHER G, LAURA L SMITH LAURA L	28 WILLIAMS ST	3/41 MIRAMAR ON THE BAY	Map
1918400000	JACOB FREDERICK, JEAN JACOB JEAN	24 MAGNOLIA AVE	3/41 MIRAMAR ON THE BAY	Map
1918500000	SCHUETTE THOMAS, LESLIE TRUST SCHUETTE THOMAS P SCHUETTE LESLIE S	MAGNOLIA AVE	3/41 MIRAMAR ON THE BAY	Map
1918600000	LAPATO JARROD J ETAL QUACKENBUSH DAWN M	31 DUFFERIN ST	3/41 MIRAMAR ON THE BAY	Map
1918600080	NEW WORLD RENTAL PROPERTIES LLC	29 A DUFFERIN ST 29 B DUFFERIN ST	3/41 MIRAMAR ON THE BAY	Map
1919201000	MIRAMAR		4/54 MIRAMAR ROWS	Map
1920150090	DETMER RANDY, PEARL BURKE DETMER PEARL BURKE	25 MAGNOLIA AVE	4-54 MIRAMAR BLK G LOT 9	Map
1920150100	BAUMAN JULIE D	27 MAGNOLIA AVE	4-54 MIRAMAR BLK G LOT 10	Map
1920150110	HUERTAS JOSE A, DIANA P HUERTAS DIANA P	29 MAGNOLIA AVE	4-54 MIRAMAR LOT 11 BLK G	Map
1920150120	RACE CHARLES A, KAREN L RACE KAREN L	31 MAGNOLIA AVE	4-54 MIRAMAR ALL LOT 12 BLK G	Map

Field Export

25 Results

Download Format:

Excel (.xlsx)

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AUMAN JULIE D
7 MAGNOLIA AVE
AINT AUGUSTINE FL 32084-2827

BETA THREE OF ALACHUA LLC
PO BOX 4289
SAINT AUGUSTINE FL 32085-0000

CASSESE LOUIS A, MARGARITA
168 GAULT ST
SAINT AUGUSTINE FL 32084-2826

ETMER RANDY, PEARL BURKE
5 MAGNOLIA AVE
AINT AUGUSTINE FL 32084-0000

FITZ-GERALD FAMILY TRUST D:12-2004
380 RIM ROCK RD
NIPOMA CA 93444-0000

FOUNTAIN OF YOUTH PROP INC
17 CORDOVA ST
SAINT AUGUSTINE FL 32084-3618

UERTAS JOSE A, DIANA P
9 MAGNOLIA AVE
AINT AUGUSTINE FL 32084-2827

JACOB FREDERICK, JEAN
24 MAGNOLIA AVE
SAINT AUGUSTINE FL 32084-0000

LAPATO JARROD J ETAL
31 DUFFERIN ST
SAINT AUGUSTINE FL 32084-0000

IANOFSKY EDWARD T TRUST AGREEM
3 WILLIAMS ST
AINT AUGUSTINE FL 32084-2877

MIRAMAR
-

MIRAMAR ON THE BAY

EW WORLD RENTAL PROPERTIES LLC
ONALD LEACH
621 DONALD ST
ACKSONVILLE FL 32205-

NEW WORLD RENTAL PROPERTIES LLC
GERALD LEACH
1621 DONALD ST
JACKSONVILLE FL 32205-0000

NEW WORLD RENTAL PROPERTIES LL
GERALD LEACH
1621 DONALD ST
JACKSONVILLE FL 32205-0000

IEW WORLD RENTAL PROPERTIES LLC
ERALD LEACH
621 DONALD ST
ACKSONVILLE FL 32205-0000

NEW WORLD RENTAL PROPERTIES LLC
GERALD LEACH
1621 DONALD ST
JACKSONVILLE FL 32205-0000

NEW WORLD RENTAL PROPERTIES LL
GERALD LEACH
1621 DONALD ST
JACKSONVILLE FL 32205-0000

IEW WORLD RENTAL PROPERTIES LLC
ERALS LEACH
621 DONALD ST
ACKSONVILLE FL 32205-0000

PORTER WILLIAM ERNEST AND BETTY A
3741 COASTAL HWY
SAINT AUGUSTINE FL 32084-0000

RACE CHARLES A, KAREN L
31 MAGNOLIA AVE
SAINT AUGUSTINE FL 32084-0000

ICHUETTE THOMAS, LESLIE TRUST
34 ESTRADA AVE
AINT AUGUSTINE FL 32084-0000

SMITH CHRISTOPHER G, LAURA L
28 WILLIAM ST
SAINT AUGUSTINE FL 32084-0000

VETTER MARIANNE
775 NEWARK POMPTON TURNPIKE
POMPTON PLAINS NJ 07444-0000

VILLIAMS ADDN SUBD CITY



St. Johns County, FL

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2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 1914500000
 Location Address 28 MAGNOLIA AVE
 SAINT AUGUSTINE 32084-0000
 Neighborhood WMS ADDN (597)
 Tax Description* CITY OF ST AUGUSTINE WILLIAMS ADDITION LOT 3 BLK F OR4583/1376
 *The Description above is not to be used on legal documents.
 Property Use Code Multi-Family (Less than 10 Units) (0800)
 Subdivision Williams Addition
 Sec/Twp/Rng 52-7-30
 District City of St Augustine (District 452)
 Millage Rate 20.4933
 Acreage 0.180
 Homestead N

View Map

Owner

Owner Name Beta Three Of Alachua LLC 100%
 Mailing Address PO BOX 4289
 SAINT AUGUSTINE, FL 32085-0000

Valuation

	2018
Building Value	\$89,670
Extra Features Value	\$0
Total Land Value	\$79,560
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$169,230
Total Deferred	\$11,301
Assessed Value	\$157,929
Total Exemptions	\$0
Taxable Value	\$157,929

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$83,572	\$208	\$63,495	\$0	\$0	\$147,275	\$143,572	\$3,703	\$143,572
2016	\$74,058	\$208	\$57,630	\$0	\$0	\$131,896	\$130,520	\$1,376	\$130,520
2015	\$65,805	\$208	\$57,630	\$0	\$0	\$123,643	\$118,655	\$4,988	\$118,655
2014	\$55,385	\$208	\$52,275	\$0	\$0	\$107,868	\$107,868	\$0	\$107,868
2013	\$47,919	\$208	\$51,638	\$0	\$0	\$99,765	\$99,765	\$0	\$99,765
2012	\$44,271	\$208	\$51,638	\$0	\$0	\$96,117	\$96,117	\$25,000	\$71,117
2011	\$45,487	\$208	\$57,375	\$0	\$0	\$103,070	\$103,070	\$26,535	\$76,535
2010	\$47,476	\$208	\$63,750	\$0	\$0	\$111,434	\$111,434	\$30,717	\$80,717

Building Information

Building

1

Roof Structure

Gable Hip

Actual Area 646
 Conditioned Area 588
 Actual Year Built 1935
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Wood

Roof Cover Composite Shingle, Roll Composite
 Interior Flooring Pine Wood
 Interior Wall Plaster
 Heating Type None
 Heating Fuel None
 Air Conditioning None
 Baths

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	90%
Roofing Cover	Roll Composite	10%
Interior Walls	Plaster	100%
Interior Flooring	Pine Wood	100%
Heating Type	None	100%
Air Conditioning	None	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Piers and Posts	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	588	588
F OPN PRCH	0	8
FINSH DECK	0	50
Total SqFt	588	646

Building 2
 Actual Area 1083
 Conditioned Area 929
 Actual Year Built 1935
 Use Single Family Residence
 Style 01
 Class N
 Exterior Wall Wood

Roof Structure Gable Hip
 Roof Cover Metal
 Interior Flooring Carpet, Hardwood
 Interior Wall Drywall
 Heating Type Air Duct
 Heating Fuel
 Air Conditioning Central
 Baths

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Metal	100%
Interior Walls	Drywall	100%
Interior Flooring	Carpet	50%
Interior Flooring	Hardwood	50%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Average	100%
Foundation	Piers and Posts	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	929	929
HSCRN PORC	0	55
ENC G/V PR	0	84
F OPN PRCH	0	15
Total SqFt	929	1083

Extra Features

Code	Description	BLD	Length	Width	Height	Units
	Residential Fence	0	0	0	0	91

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Multi-Family (Less than 10 Units)	51	150	51	FF	\$79,560

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
7/20/2018	7/20/2018	\$285,000.00	WD	4583	1376	Q	I	KALATA REVOCABLE TRUST ETAL	BETA THREE OF ALACHUA LLC
7/20/2018	5/15/2018	\$0.00	DC	4583	1372	U	I	KALATA ANDREW JOHN (DECD)	KALATA REVOCABLE TRUST ETAL
6/2/2015	5/27/2015	\$0.00	WD	4035	708	U	I	KALATA ANDREW J, BRENDA M	KALATA REVOCABLE TRUST
	9/1/1988	\$46,900.00		797	191	Q	I		KALATA ANDREW J, BRENDA M
	1/1/1977	\$0.00		339	671	U	I		
	1/1/1977	\$47,500.00		339	664	Q	I		

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

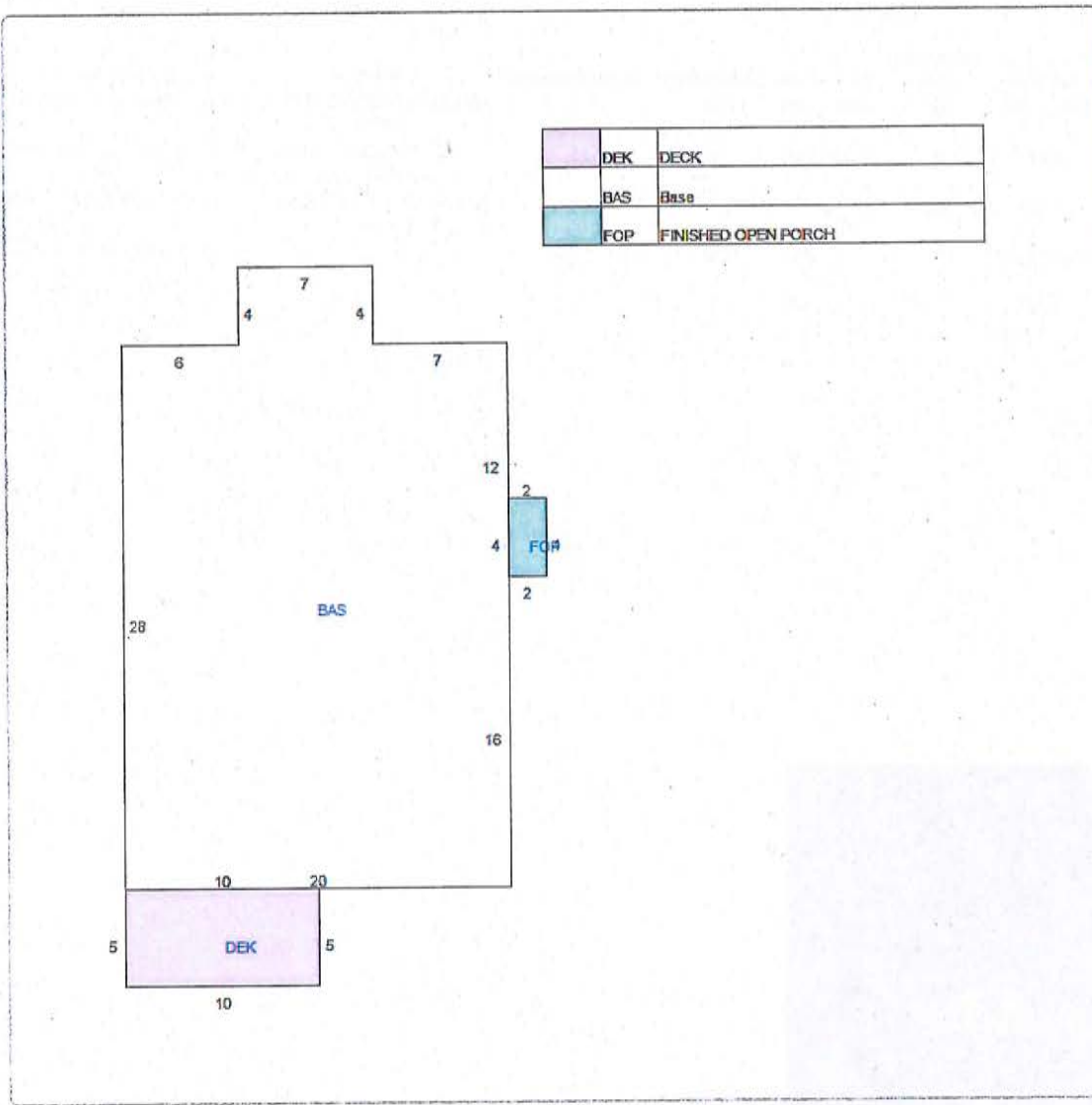
Tax Estimator

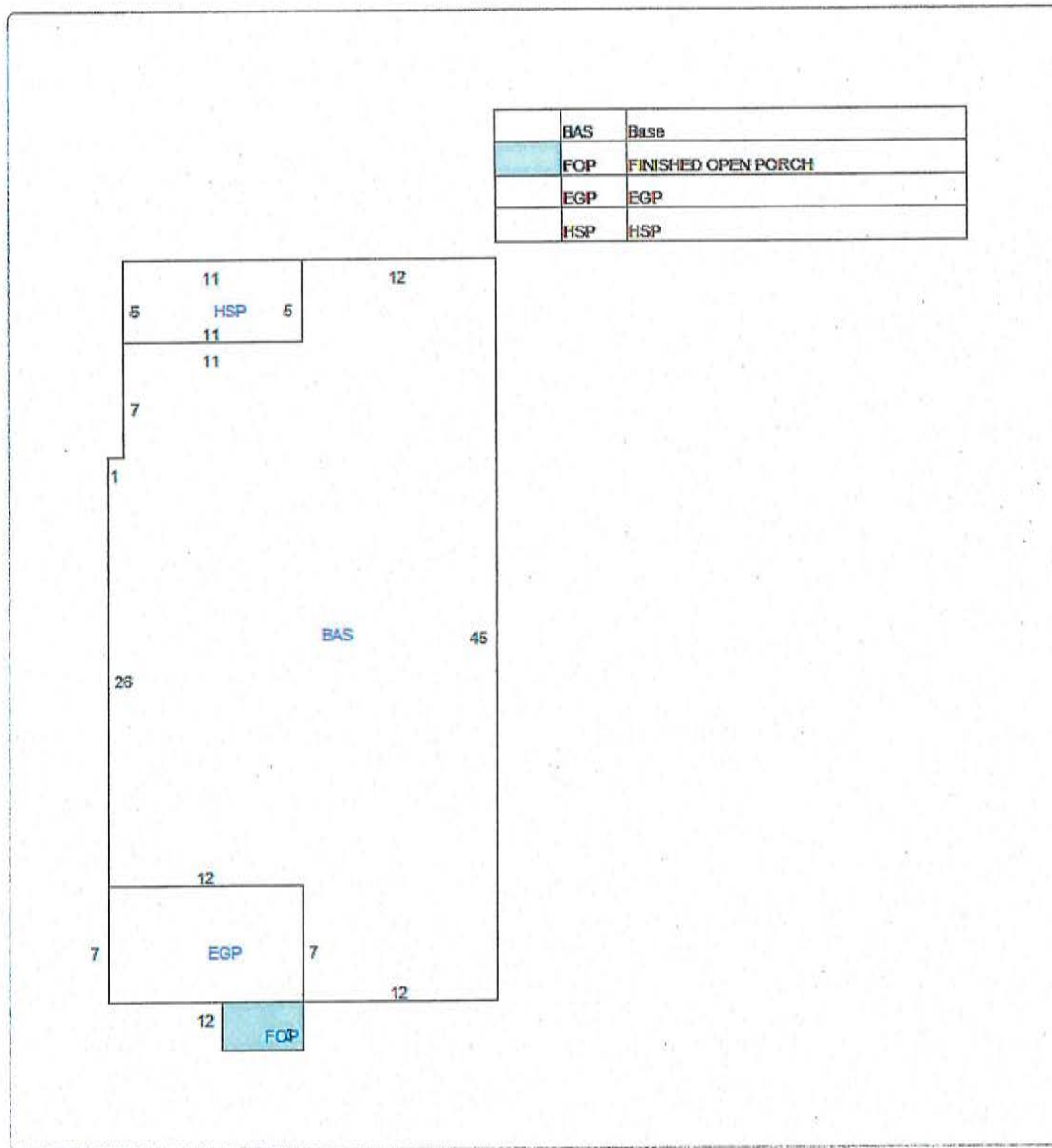
[Tax Estimator](#)

Map



Sketches





No data available for the following modules: Exemptions.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

Last Data Upload: 10/12/2018, 11:33:10 PM

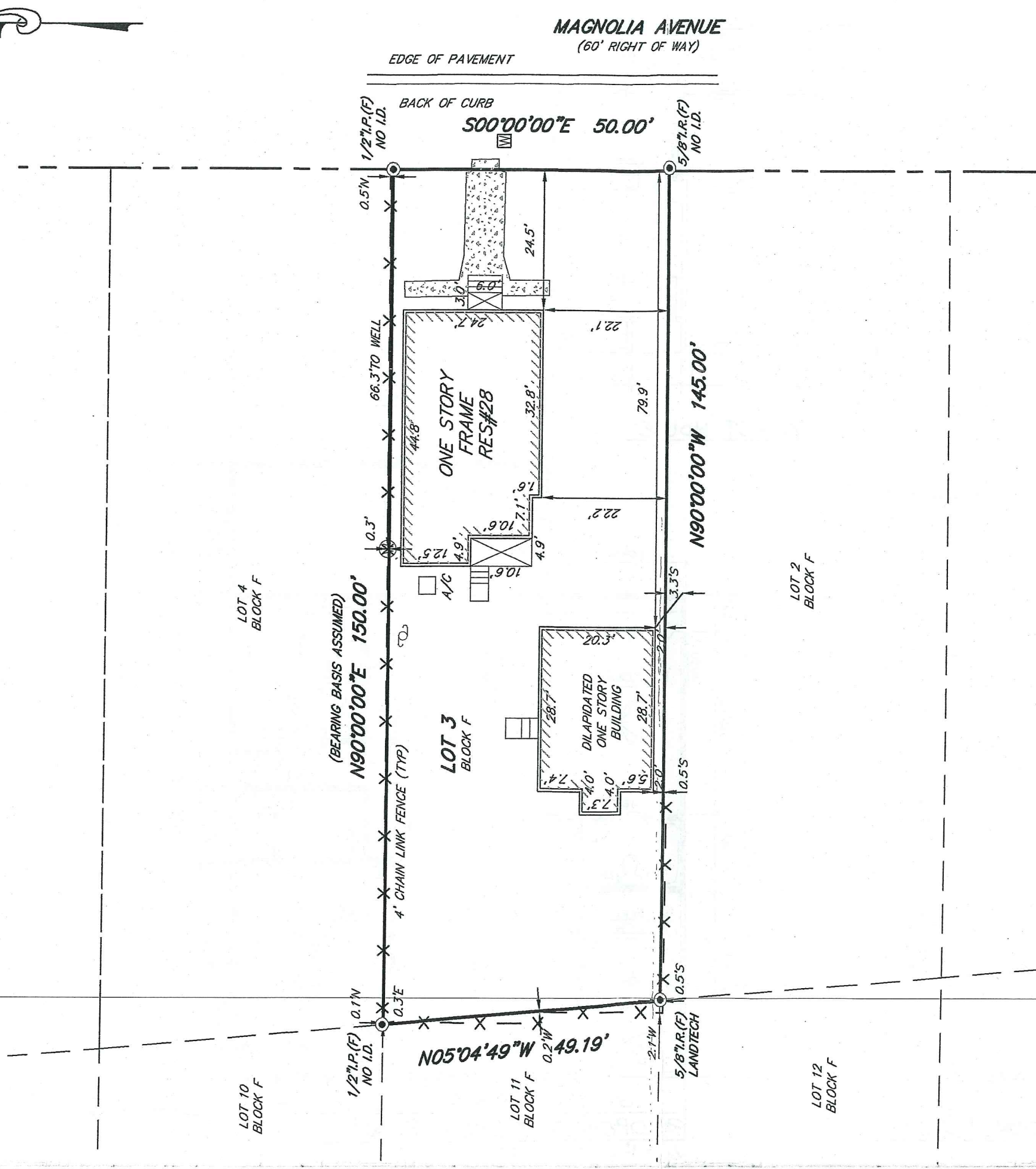
Developed by
 **Schneider**
GEOSPATIAL

RECEIVED
JAN 15 2016
PLANNING DEPT.

MAP SHOWING SURVEY OF

AN UNDIVIDED ONE-HALF INTEREST IN LOT NUMBER THREE(3) IN BLOCK (F) OF THE WILLIAMS ADDITION AS PER OFFICIAL MAP OF ST. AUGUSTINE, DATED JANUARY 1, 1905 AND NOW ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR ST. JOHNS COUNTY, FLORIDA; THE ABOVE LOT BEING MORE PARTICULARLY DESCRIBED AS LOT 3, IN BLOCK 1 OF THE H. WILLIAMS SECOND ADDITION TO ST. AUGUSTINE, AS PER PLAT OF SAME RECORD IN DEED BOOK KK, PAGE 1, ST. JOHNS COUNTY RECORDS; SAID LOT HAVING A FRONTAGE ON MAGNOLIA AVENUE OF 50 FEET AND DEPTH OF 150 FEET.

CERTIFIED TO:
JONI GEORGETTE SPIRES
ESTATE TITLE OF ST. AUGUSTINE, INC.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY



AREA = 0.17 ± ACRES
OR 7,201 ± sq. ft.

GRAPHIC SCALE



LEGEND

1/2" I.P. (F)	AIR CONDITIONER PAD	RES.	RESIDENCE
5/8" I.P. (F)	IDENTIFICATION	RES.	CENTERLINE
G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	RES.	WATER METER
7' ft.	SQUARE FEET	RES.	EXPOSED CONCRETE
1/2" I.P. (F)	IRON PIPE FOUND	RES.	COVERED AREA
5/8" I.P. (F)	IRON ROD FOUND	RES.	
5/8" I.P. (S)	IRON ROD SET (LANDTECH)	RES.	

GENERAL NOTES:

This survey made without benefit of an abstract of title. No right-of-way or easements of record were furnished to this firm except as shown.

The certification of this survey is a professional opinion based on the existing field and documentary evidence available at the time this survey was prepared.

This office has not abstracted this parcel of land for any recorded claims of title, easements or restrictions. This surveyor shall not be held liable for the existence of any such claims.

Use of this survey for purposes other than that which it was intended, without written verification, will be at the user's sole risk and without liability to this surveyor.

All distances, bearings or angles are as field measured. Deed or plat measurements are noted if different.

No underground structures, utilities or foundations were located or determined by this survey.

For building setbacks call the appropriate county codes enforcement office. All distances, bearings or angles are as field measured. Deed or plat measurements are noted if different.

The measurements for this survey were made in accordance with the United States Standards.

Encroachments as shown herein are only those above ground, visible objects observed by the surveyor.

This survey is certified to the last field date.

The specific rights implied by this survey are not transferable.

This surveyor's liability shall not exceed the fee as stated by this surveyor.

NOTE:

THIS SURVEY IS PROTECTED BY COPYRIGHT AND IS CERTIFIED ONLY TO THE PARTIES LISTED ABOVE AND ONLY FOR THIS PARTICULAR TRANSACTION. ANY USE OR REPRODUCTION OF THIS SURVEY WITHOUT THE EXPRESS PERMISSION OF THE SURVEYOR IS PROHIBITED. USE OF THIS SURVEY IN ANY SUBSEQUENT TRANSACTION IS NOT AUTHORIZED. THE SURVEYOR EXPRESSLY DISCLAIMS ANY CERTIFICATION TO ANY PARTIES IN FUTURE TRANSACTIONS. NO PERSON OTHER THAN THOSE LISTED SHOULD RELY UPON THIS SURVEY.

According to the Federal Emergency Management Agency FIRM Map No: 125146-0312H effective date: 09/02/04, the property described herein appears to lie in Zone AE 9'

Basis of bearing structure: BEARING BASIS ASSUMED

Basis of elevations: N.G.V.D. 29

JOB NO.	18-0720	LAST FIELD DATE	07/10/18	SCALE	1"= 20'	SHEET/PAGE	724/81	CHECK BY	N.H.F.	DWG. BY	R.J.B.
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TYPE: BOUNDARY

© COPYRIGHT 2017, BY LANDTECH & ASSOCIATES, INC. ALL RIGHTS RESERVED.

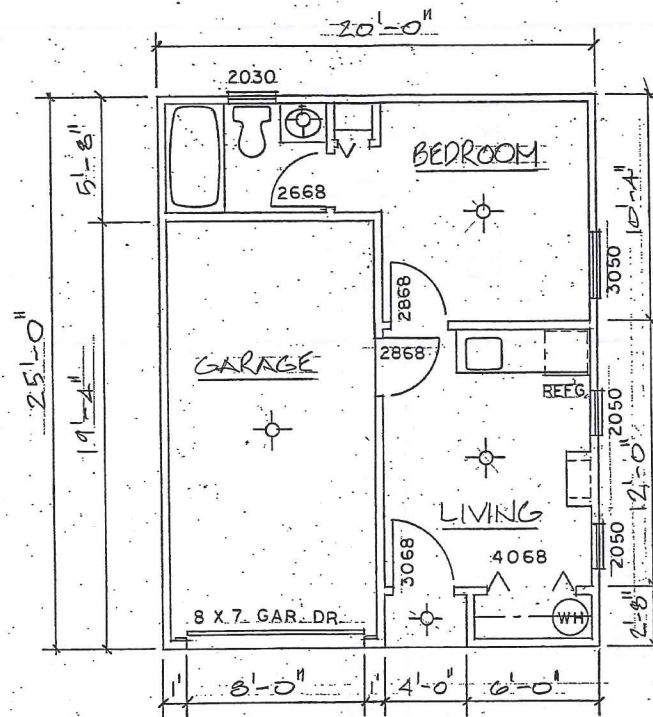
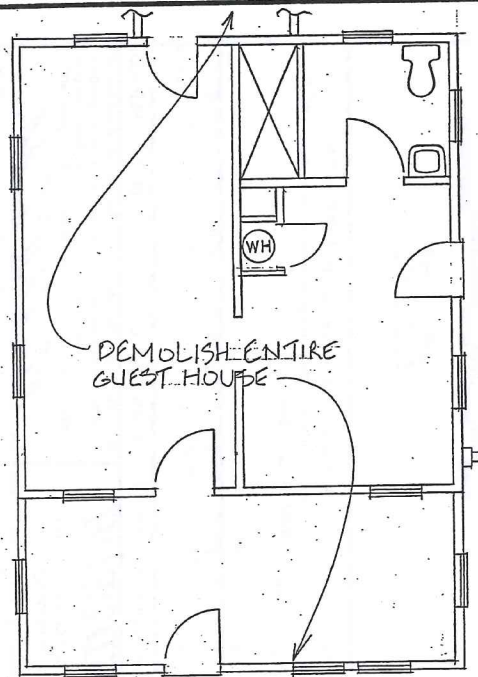
LANDTECH
Associates, Inc.
LAND SURVEYOR'S

4475 U.S. HIGHWAY #1 SOUTH SUITE 202
ST. AUGUSTINE, FLORIDA 32086
(904) 471-6877 FAX (904) 471-6876

NICHOLAS H. FRANKLIN, P.L.S. 4620
FOR LANDTECH AND ASSOCIATES L.B. #7537

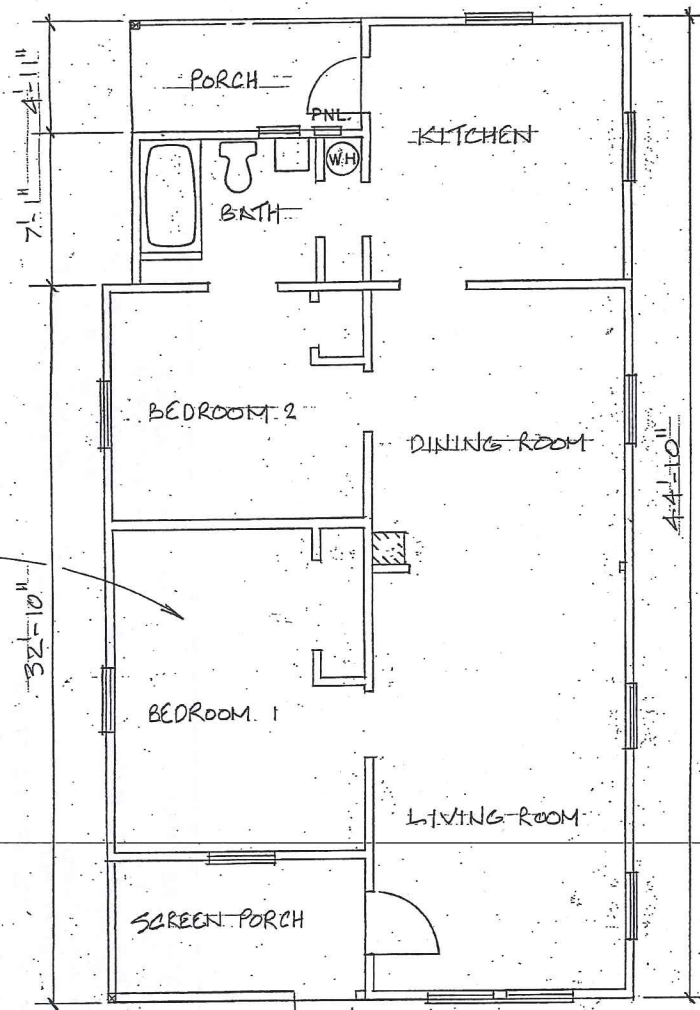
Not valid without the signature and the original rolled seal of a Florida licensed surveyor and mapper. Additions or deletions to survey maps or reports by other than the signing party is prohibited without the written consent of the signing party.

Nicholas H. Franklin



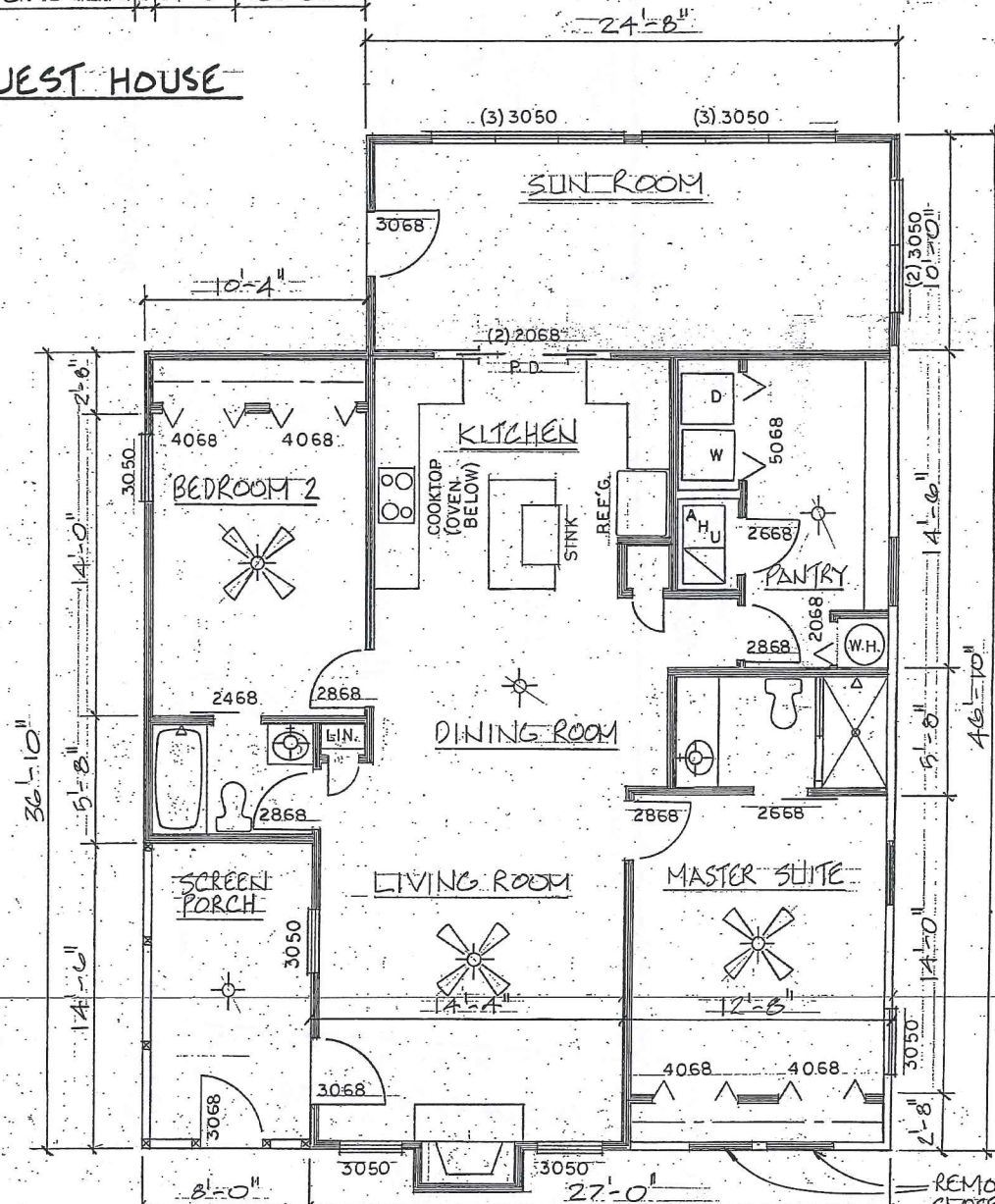
GUEST HOUSE

REMOVE ENTIRE EXISTING ROOF, SALVAGE RAFTERS & CEILING JOISTS, REMOVE EXISTING WALLS AS NEEDED TO ACHIEVE PROPOSED FLOOR PLAN.



EXISTING FLOOR PLAN

1/4" = 1'-0"



PROPOSED FLOOR PLAN

1/4" = 1'-0"

REMOVE WINDOW, CLOSE UP OPENING

REVISIONS	BY

PAUL H. ENGINEERING GROUP, LLC
 CERT. OF AUTHORIZATION 32056
 8160 BAYMEADOWS WAY WEST, STE 145
 JACKSONVILLE, FL 32256
 E-Mail: paul@hengineering.com
 PH/FAX: (904) 737-8878/737-8885

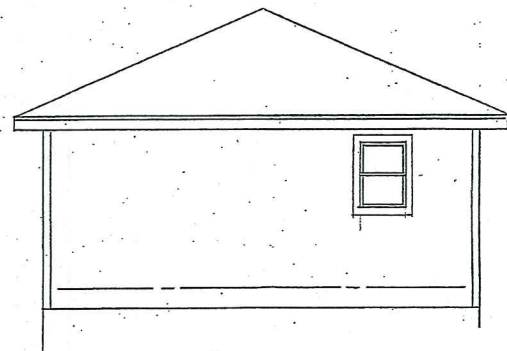
RENOVATION & ADDITION TO RES.

FOR: MS. JONI SPIRES

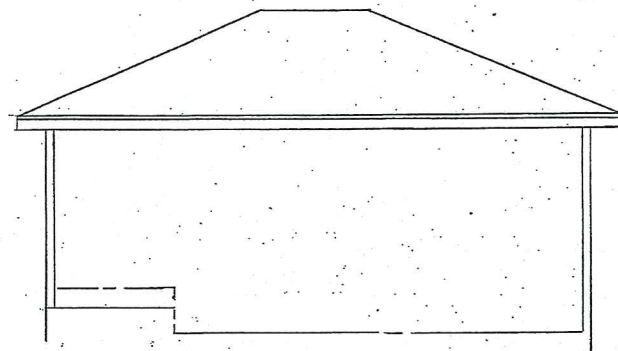
28 MAGNOLIA AVE., ST. AUGUSTINE, FL 32084

Date	
Scale	AS NOTED
Drawn	CLG
Job	180824
Sheet	51
Of	Sheets

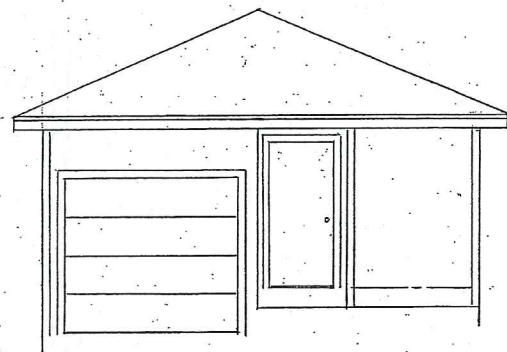
RECEIVED
 OCT 15 2018
 Planning Division Dept



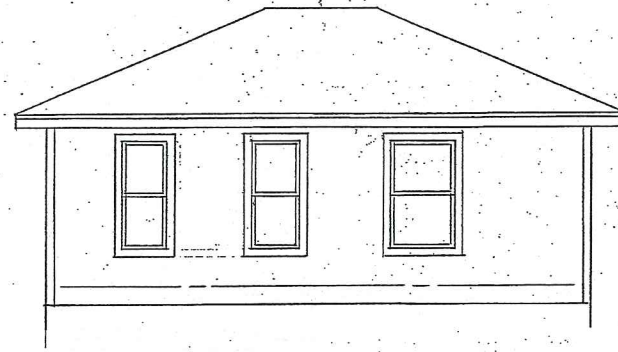
GUEST HOUSE - REAR ELEV.
1/4" = 1'-0"



GUEST HOUSE - LEFT SIDE ELEV.
1/4" = 1'-0"



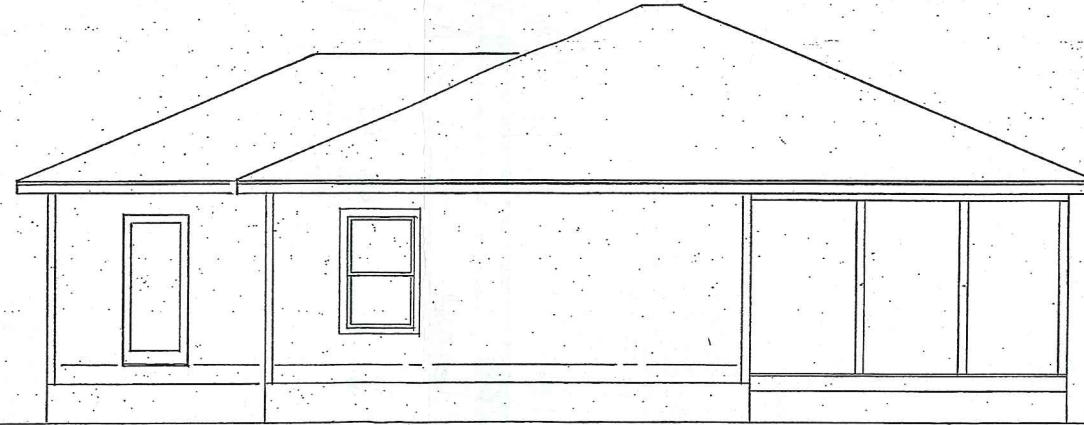
GUEST HOUSE - FRONT ELEV.
1/4" = 1'-0"



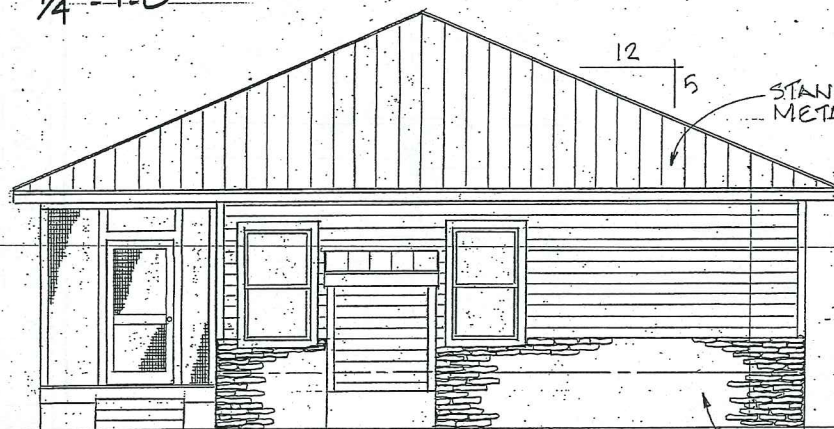
GUEST HOUSE - RIGHT SIDE ELEV.
1/4" = 1'-0"



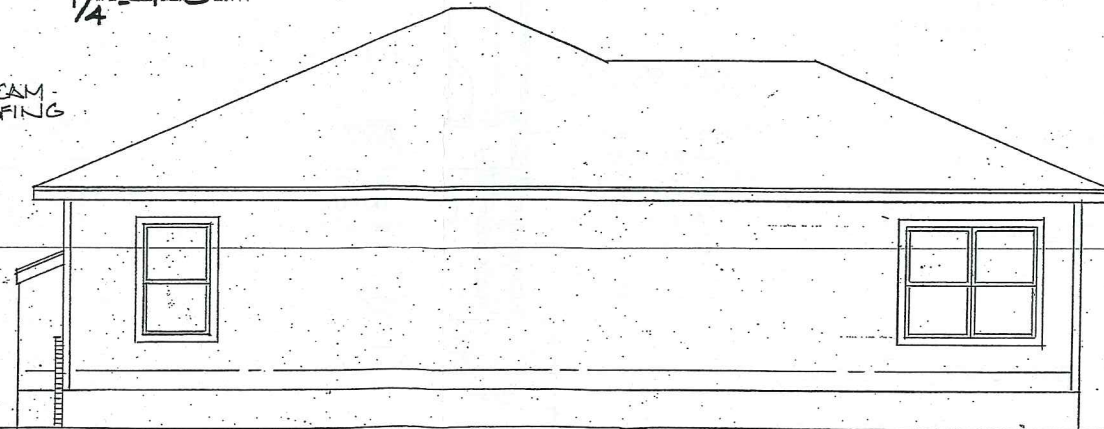
MAIN HOUSE - REAR ELEVATION
1/4" = 1'-0"



MAIN HOUSE - LEFT SIDE ELEVATION
1/4" = 1'-0"



MAIN HOUSE - FRONT ELEVATION
1/4" = 1'-0"



MAIN HOUSE - RIGHT SIDE ELEVATION
1/4" = 1'-0"

REVISIONS	BY

PAUL LI ENGINEERING GROUP, LLC
CERT. OF AUTHORIZATION# 32056
8160 BAYMEADOWS WAY WEST, STE. 415
JACKSONVILLE, FL 32256
E-MAIL: paul@paulli.com
Ph/Fax: (904) 737-6876/737-2385

RENOVATION & ADDITION TO RES.
FOR: MS. JONI SPIRES
26 MAGNOLIA AVE., ST. AUGUSTINE, FL 32084

Date	
Scale	AS NOTED
Drawn	CLG
Job	180824
Sheet	52

RECEIVED
OCT 15 2019
Paul Li Engineering Group, LLC



CITY OF
ST. AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0146 Address: 195 San Marco Avenue

Eric Searcy Rentals, LLC, Owner Antigua Veterinary Practice, Applicant

Project description: To appeal the staff interpretation of the Design Standards that a metal roof is not a compatible replacement roof material to maintain the character of the legacy building as per 6.4.1.c.

Architectural Style:	Frame Vernacular	Florida Master Site File:	SJ2051
National Register:	Contributes to Nelmar Terrace NRHD	Construction date:	ca. 1917
Archaeology Zone:	N/A	Zoning District:	CL-1
Parcel number:	154610 0000	Typology:	Residential South
Agenda Item:	9(a)	Previous Action(s):	N/A

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting an Appeal of a Staff Interpretation of the San Marco Avenue Design Standards for Entry Corridors (DSEC) based upon the staff decision not to approve a building permit to change the roof from the existing diamond patterned asbestos shingle roof to a sheet metal roof with a finding that the replacement material is not a compatible alternative to the existing or historic shape and pattern.

- The building is a ca. 1917 Frame Vernacular building originally a residence that was converted to a business and is a contributing building to the Nelmar Terrace National Register Historic District and included as a legacy building in the San Marco Design Standards for Entry Corridors
- A compatible alternative material for the asbestos shingle roof is an asphalt shingle roof, like the similar building next door, which was presented to the applicant as an option that could be approved administratively. This material mimics the shape and pattern as per the design standards 6.4.1.c1.
- Contractors verbally indicated there is a wood shingle roof under the asbestos shingle roof confirming that a metal roof was not used previously on this building
- A letter from the roof contractor indicates that a replacement shingle roof is not in the best interests of the property based on the structure and HARB could evaluate this application as a technical and economic infeasibility as per 6.4.1.c3

STAFF RECOMMENDATION:

The HARB may take the following actions:

1. Based upon the application for appeal and such other information that was filed, the HARB may **AFFIRM** the staff determination if no basis for reversal was demonstrated.
2. Based upon the application for appeal and such other information that was filed, the HARB may **REVERSE** the staff determination with one of these findings:
 - a. The metal roof is a compatible roof material
 - b. The applicant demonstrated a technical or economic infeasibility of using a compatible roof material and removal of the historic roof material is deemed necessary.


Jenny Wolfe, MS Architectural Studies
Historic Preservation Officer

DSEC F2018-0146
195 San Marco
November 15, 2018

SUMMARY SCOPE OF WORK:

- Replace the existing diamond patterned asbestos shingle roof with a metal roof (details not provided)

CITY CODES/DESIGN GUIDELINES:

CITY OF ST. AUGUSTINE CODE OF ORDINANCES

Sec. 28-353. - Design standards for entry corridors.

The Design Standards for Entry Corridors, as originally prepared by Herbert-Halback, Inc., dated January 24, 2000, and subsequently amended by resolution from time to time ("DSEC standards"), are hereby adopted and incorporated herein by reference. All new construction and site development within the entry corridors, excluding work within right-of-way, shall conform to these standards unless a variance is granted pursuant to the criteria enumerated in the DSEC standards. Any change in the use of a parcel of property shall require that the site, excluding buildings and facilities, be developed to conform to these standards, unless technically infeasible. Each element or space of a building or facility that is altered shall comply with these standards, unless technically infeasible. When an alteration to a building or facility that incorporates exterior renovation constitutes fifty (50) percent or more of the assessed value of the building or facility, the entire building or facility shall be made to conform to these standards.

San Marco Avenue Design Standards for Entry Corridors

Section 1. Purpose and Intent

The purpose of the standards contained in this document is to:

- a. Promote the unique characteristics of the San Marco Avenue overlay area that distinguish it from "Anywhere, USA";
- b. To facilitate the development of vacant land and the reimagination and repurposing of underutilized properties in this area into a high-quality, multi-modal mixed-use environment;
- c. To provide standards and criteria by which proposed development in the area will be reviewed.

Legacy Structures – an existing, authentic and form giving structure as identified by the city's Historic Preservation Officer and noted in the map included herein. Existing buildings of architectural significance that have retained physical integrity and contribute to the historic character of the San Marco corridor (see map in Appendix D) based on the presence of traditional building materials and an original form/opening patterns of building as evidenced by physical inspection and sources of data such as the Florida Master Site File (FMSF).

4.3. Corridor Review Committee

4.3.1. Activities Requiring Review.

- g. Appeals.

4.3.2. Review Criteria.

The CRC shall use the following criteria (in addition to the standards contained herein) when reviewing an application:

- a. The proposed project meets the intent of the San Marco Avenue Design Standards as defined in Section 1;
- b. Approval of the proposal will not set an unintended precedent; (note that no review decision creates assumption of precedent)

6.4.1 c. Existing Buildings/Renovations and Additions

Existing buildings that are being renovated or expanded shall meet the following standards:

1. Buildings that already feature a particular style or present some of the characteristics of a style shall be carefully restored to preserve such features. Otherwise, they should be redesigned to improve compatibility with the context of San Marco Avenue. Where a building exists that is considered a legacy building, redevelopment shall maintain the character features of the building and site arrangement. Primary features such as window shapes and sizes, opening patterns and entry doors, roof shapes and material pattern, siding patterns and finishes, porch and stair elements, foundations, and storefronts may be repaired and altered to the extent that the overall character of these elements is maintained.
3. For rehabilitations of existing buildings, historic features used for architectural detail shall be preserved, restored, or reconstructed unless technically or economically infeasible, unless the removal is approved by the CRC. Removal will only be permissible if deemed necessary by the CRC. The Applicant shall note the historic and architecturally significant elements on the building elevations submitted, along with a statement noting if the element will be retained, removed, or repurposed.

DSEC F2018-0146
195 San Marco
November 15, 2018

LIST OF ATTACHMENTS:

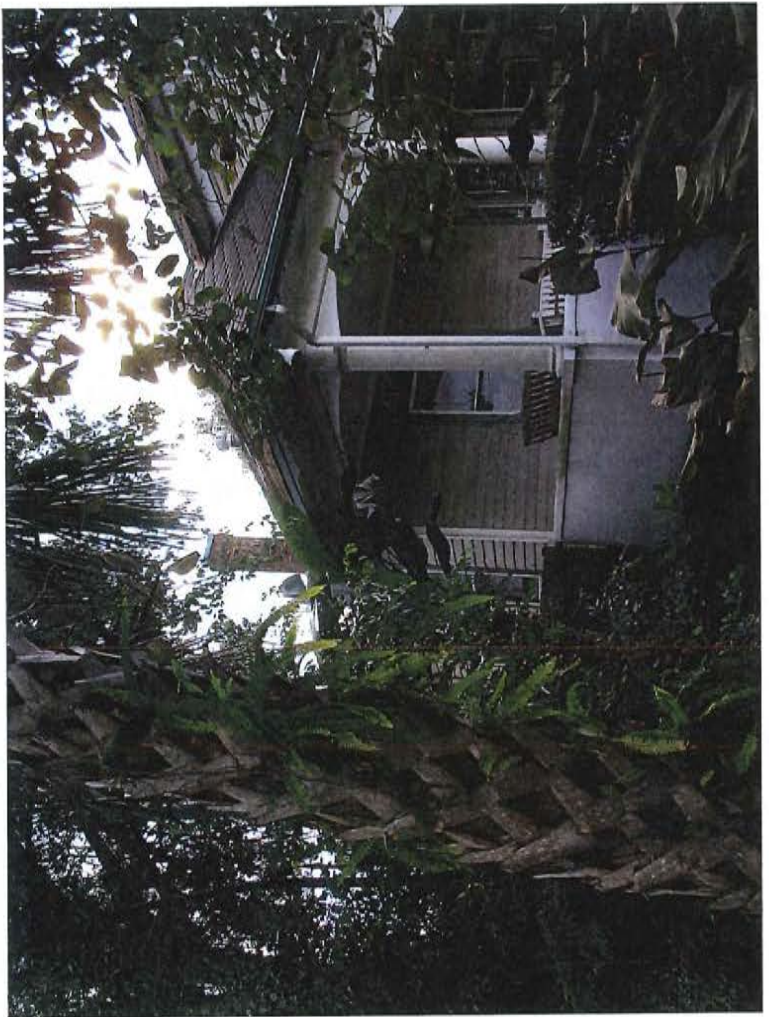
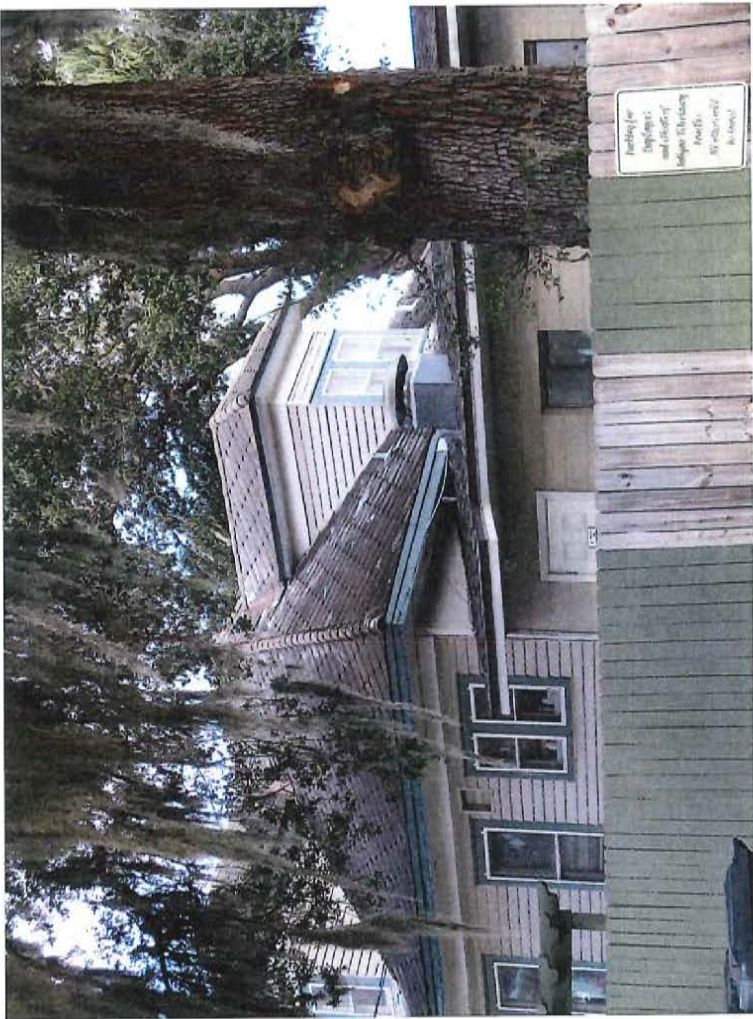
1. Staff photographs

(Similar building next door)









FLORIDA MASTER SITE FILE
HISTORIC ST. AUGUSTINE PRESERVATION BOARD
HISTORIC PROPERTIES INVENTORY FORM

I. LOCATION & LEGAL DESCRIPTION

FDAHRM _____ 802== Site No. 85J 2051 1009==
Site Name: 195 San Marco Avenue 830== Survey Date: 7906 820==
Address: 195 San Marco Avenue, St. Augustine, Fla. 32084 905==
Instructions for Locating: _____
_____ 813== County: St. Johns 808==
Location: Nelmar Terrace 88 868==
(subdivision) (block) (lot)

868==
Owner of Site: Name: Quigley, Mrs. Frank S. ;
Address: c/o Harold D. Quigley, Adm.
1874 Rio Vista Drive
Paris, Kentucky 40361 902==
Occupant or Manager: _____ 904==
Type of Ownership: Private 848== Zoning: RS2
NR Classification Category: Building 916== Recording Date: _____ 832==
UTM: 17 469015 3308816 890== Location: T07S R30E N7 812==
(zone) (easting) (northing) (T) (R) (S)
Map Reference: USGS St. Augustine 7.5 MIN 1956 (PR 1970) 809==
Recorder: Name & Title: Nolan, David (Historic Sites Specialist) ;
Address: H.S.A.P.B. 818==

II. SITE DESCRIPTION

Condition of Site:		Threats to Site:	
() Excellent	863==	() Zoning	878==
(x) Good	863==	() Development	878==
() Fair	863==	() Deterioration	878==
() Deteriorated	863==	() Borrowing	878==
		() Transportation	878==
Integrity of Site:		() Fill	878==
(x) Altered	858==	() Dredge	878==
() Unaltered	858==	() Other	878==
(x) Original Site	858==		
() Restored - Date:	858==		
() Moved - Date:	858==		

**SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)**

II. SITE DESCRIPTION, continued.

Original Use: Priv. Residence 838== Present Use: Priv. Residence 850==
 Date: +1917 844== Period: 20th Cent 845== Culture: American 840==
 Architect: _____ 872==
 Builder: _____ 874==
 Style: Frame vernacular 964==
 Plan Type: Rectangular 966==
 Exterior Fabrics: Wood, weatherboard, with cornerboards
 _____ 854==
 Structural Systems: Wood frame 856==
 Features of Structure: (942)
 Window Type: DHS, 1/1, sidelights, glass in door 942==
 Foundation: Concrete block piers with lattice infill 942==
 Roof Type: Hip 942==
 Secondary Roof Structures: Hip dormers 942==
 Porches & Balconies: 1 story open front porch
 _____ 942==
 Chimney Location: Offset, lateral slope 942==
 Materials: (882)
 Chimney: Brick 882==
 Roof Surfacing: Composition shingles (diamond) 882==
 Ornament Exterior: Round wood posts
 _____ 882==
 Quantitative Data: (950-954).
 Chimneys: 2 952== Dormers: 3 954== Stories: 1½ 950==
 Other: _____ 956==
 Surroundings: Mixed commercial/residential 864==
 Relationship to Surroundings: Residential building on commercial street
 _____ 859==

III. PHOTOGRAPHY

Photographic Records Numbers: _____ 860==
 Contact Prints

IV. SIGNIFICANCE

Areas of Significance: Architecture, Transportation

920==

Statement of Significance: (911==)

ARCHITECTURE

This one and one-half story Frame Vernacular residence at 195 San Marco Avenue was built between 1913 and 1917, making it one of the earlier homes in Nelmar Terrace. It has a one-story open front porch and round wood columns.

Nelmar Terrace is a development of the World War I period and the 1920's. Houses in the area show the influence of the Colonial Revival, Bungalow, and Mediterranean Revival styles popular at the time. The substantial houses with spacious lawns on tree-lined streets form one of the city's pleasant residential neighborhoods. The area is bounded on the north by the campus of the Florida School for the Deaf and the Blind; on the south by the old city limits; on the west by the commercial district of San Marco Avenue; and on the east by Macaris Creek. The area is threatened generally by commercial encroachment from the west and by traffic along San Marco Avenue and May Street (Highway 1A). There is a drainage problem when it rains.

HISTORY

In the early 18th century, the northeast corner of Nelmar Terrace Subdivision was the southern section of the Macaris Indian village. During the first decade of the nineteenth century, the Spanish government issued three land grants in this area, two of which formed the northern border of the colonial defense perimeter known as the Mil y Quinientos (The Fifteen Hundred). This boundary, later San Carlos Avenue, was the northern city limits of St. Augustine until the mid-1920's.(1) During the 1830's and early 1840's, Thomas Douglas, a justice of the Florida Supreme Court, acquired a large tract of land which became known as the Douglas Plantation, which presently includes all of Nelmar Terrace Subdivision, and constructed a plantation house and other buildings in the eastern section. C. M. Fuller, a local real estate developer, purchased the Nelmar Terrace Tract in 1913 and began selling lots and constructing houses two years later. Nelmar Terrace presently remains an almost exclusively residential neighborhood.(2)

In the 1930's this was the residence of Glen Thompson, proprietor of the Glen Thompson Motor Company which dealt in "Chrysler and Graham-Paige automobile, sales and service."(3)

V. BIBLIOGRAPHY

1. American State Papers; Public Lands, 5 Vols. (Washington: Duff Green, 1834) IV, 58, 377; V, 57-58, 377, 414; Works Project Administration, Spanish Land Grants in Florida, 5 Vols. (Tallahassee, 1940), III, 15; V, 38-39, 62-64.
2. F. M. Dorr, "St. Augustine and Vicinity, 1860"; St. Johns County Court House, Deed Records, Deed Book J, pp. 48-49; Deed Book L, p. 37; Deed Book M, p. 90; Deed Book N, pp. 93, 101; Deed Book S, p. 18; Deed Book T, pp. 347-349; Deed Book U, pp. 54, 214.
3. St. Augustine City Directory, 1930.





CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION



☒ **APPEAL OF STAFF INTERPRETATION OF THE
DESIGN STANDARDS**

Application Fee: \$200.00

BDAC Project No. 2018-0144

Receipt No. 1470609

Meeting Date: 11/15/18

Advertising Costs \$

Paid on

Receipt No.

1. NAME OF APPLICANT KARL ERIC SEARCY DVM

Business (if applicable) ANTIGUA VETERINARY PRACTICE

Address 195 SAN MARCO AVE

City ST. AUGUSTINE State FL Zip Code 32084

Daytime telephone (required) 904-824-1414 Other phone 904-392-7203 cell

2. NAME OF PROPERTY OWNER SAME

Business (if applicable) RECEIVED

Address OCT 19 2018

City _____ State _____ Zip Code _____ Planning/Building Dept.

Daytime telephone (required) _____ Other phone _____

3. PROJECT STREET ADDRESS SAME - 195 San Marco Ave

4. LEGAL DESCRIPTION: Lot 2 Block 51 Subdivision NELMAR TERRACE Parcel LOT 88

5. Please complete the following for an APPEAL:

Appeal of a staff denial of a permit for your project must be filed within two weeks. Appeals as a third party for the staff approval or denial of a permit must be filed within 30 days.

a) Date of action being appealed: ~ 9-10-18

b) Describe the impact of this action on the appellant: PREVENTS US FROM USING
THE MOST DURABLE and ENERGY-EFFICIENT ROOFING

c) Specific grounds for the appeal: SHEET METAL ROOFING IS MORE
HISTORICAL THAN ASBESTOS TILES

d) Specific action being requested: ALLOW US TO USE SHEET METAL
ROOFING ON OUR BUILDING.

6. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

PRINT APPLICANT'S/APPELLANT'S NAME KARL ERIC SEARCY DVM

SIGNATURE OF APPLICANT/APPELLANT Karl Eric Searcy DVM DATE 10-19-18

PRINT OWNER'S NAME KARL ERIC SEARCY, DVM

SIGNATURE OF OWNER Karl Eric Searcy DVM DATE 10-19-18

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

RECEIVED
OCT 19 2018
Planning/Building Dept.

September 28, 2018

Watertite Roofing of North Florida Inc.
1711 Dobbs Rd. suite E.
Saint Augustine, FL 32084

To whom it may concern,

Concerning the property at 195 San Marco Ave., Saint Augustine, FL 32084. It is in our professional opinion as a roofing company that the approved roofing materials (asphalt shingles) for this project would not be in the best interest of this property giving it's architectural structure. Fastening the shingles to manufacture specification would be impossible, leading to unnecessary leaks and reducing the lifespan of the roof.

Sincerely yours,

Carl Claypool

Carl Claypool.

904-342-9868
PHONE

Public Records of St. Johns County, FL Clerk # 2008007807, O.R. 3042 PG 754,
02/07/2008 at 02:21 PM REC. \$9.00 SUR. \$9.50 Doc. D \$.70

②

This Instrument Prepared By:
Maja S. Sander, Esquire
Cobb & Cole, P.A.
Post Office Box 2491
150 Magnolia Avenue
Daytona Beach, FL 32115

←
J. Sander
(EMU)

**TITLE TO THE DESCRIBED PROPERTY WAS NOT EXAMINED
BY THE PREPARER OF THIS DEED AND NO OPINION IS
GIVEN AS TO THE MARKETABILITY OR CONDITION OF TITLE.**

Parcel I.D. No: 154610-0000

WARRANTY DEED

THIS INDENTURE is made this 2 day of ^{January 9 2008} ~~November 2007~~ by and between **KARL E. SEARCY, a/k/a K. ERIC SEARCY**, and **DEBRA A. SEARCY**, husband and wife, whose mailing address is 195 San Marco Avenue, Saint Augustine, Florida 32084-2734, (hereinafter collectively referred to as "Grantor") and **ERIC SEARCY RENTALS, LLC**, a Florida limited liability company, whose mailing address is 195 San Marco Avenue, Saint Augustine, Florida 32084-2734 (hereinafter referred to as "Grantee").

WITNESSETH, that Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) in hand paid and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, and sold to Grantee, its successors, and its assigns, forever, the following described land, situate, lying, and being in Saint Johns County, Florida, to-wit (the "Property"):

**LOT 88, NELMAR TERRACE, ACCORDING TO THE MAP OR
PLAT THEREOF AS RECORDED IN MAP BOOK 2, PAGE 51,
PUBLIC RECORDS OF SAINT JOHNS COUNTY, FLORIDA.**

SUBJECT to covenants, restrictions, easements of record, and taxes for 2007.

GRANTOR has full power to sell, transfer, and convey the Property and is lawfully seized of the Property in fee simple.

GRANTOR warrants that the Property is not the homestead of Grantor within the meaning set forth in the Constitution of the State of Florida.

TOGETHER WITH all singular the tenements, hereditaments, and appurtenances belonging to or in anywise appertaining to the Property.

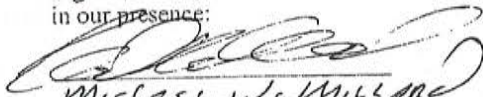
AND Grantor does covenant to and with Grantee, its successors, and its assigns that, in all things preliminary to and in and about the transfer and this conveyance, the Laws of the State of Florida have been followed and complied with in all respects.

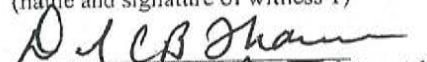
AND Grantor does hereby fully warrant the title to the Property and will defend the same against the lawful claims of all persons whomsoever.

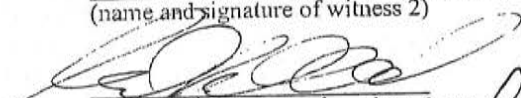
038901-001 : MSAN12/MSAN12 - 00538534.WPD; 1

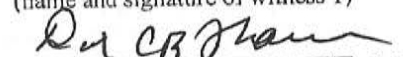
IN WITNESS WHEREOF, Grantor has hereunto caused these presents to be executed the day and year first written above.

Signed, sealed, and delivered
in our presence:

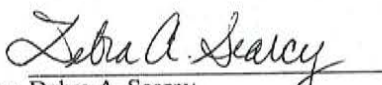

MICHAEL W. MILLARD
(name and signature of witness 1)


DAVID C.B. THOMAS
(name and signature of witness 2)


MICHAEL W. MILLARD
(name and signature of witness 1)


DAVID C.B. THOMAS
(name and signature of witness 2)


By: 
Name: Karl E. Searcy

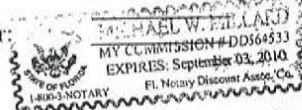
By: 
Name: Debra A. Searcy

STATE OF FLORIDA
COUNTY OF SAINT JOHNS

The foregoing instrument was acknowledged before me this 2 day of JANUARY, 2008 ~~November 2007~~ by Karl E. Searcy, who is personally known to me or has produced _____ as identification.

NOTARY PUBLIC


Sign: 
Print: MICHAEL W. MILLARD
State of Florida At Large (Seal)
My Commission Expires: _____
Title/Rank: _____
Commission Number: _____

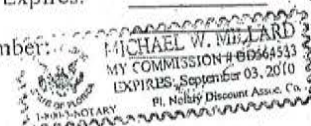


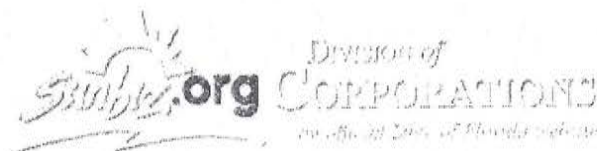
STATE OF FLORIDA
COUNTY OF SAINT JOHNS

The foregoing instrument was acknowledged before me this 2 day of JANUARY 2008 ~~November 2007~~ by Debra A. Searcy, who is personally known to me or has produced _____ as identification.

NOTARY PUBLIC

Sign: 
Print: MICHAEL W. MILLARD
State of Florida At Large (Seal)
My Commission Expires: _____
Title/Rank: _____
Commission Number: _____





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Limited Liability Company
ERIC SEARCY RENTALS, LLC

Filing Information

Document Number	L07000115570
FEI/EIN Number	26-1455860
Date Filed	11/15/2007
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	01/06/2015

Principal Address

195 SAN MARCO AVENUE
ST. AUGUSTINE, FL 32084

Mailing Address

195 SAN MARCO AVENUE
ST. AUGUSTINE, FL 32084

Registered Agent Name & Address

YSELONIA, JOHN, Dr.
195 SAN MARCO AVE
ST AUGUSTINE, FL 32084

Name Changed: 01/06/2015

Address Changed: 04/07/2009

Authorized Person(s) Detail

Name & Address

Title MGR

SEARCY, KARL E
195 SAN MARCO AVENUE
ST. AUGUSTINE, FL 32084

Title MGR

YSELONIA, JOHN
195 SAN MARCO AVENUE
ST AUGUSTINE, FL 32084

ST. AUGUSTINE, FL 32084

Annual Reports

Report Year	Filed Date
2016	03/08/2016
2017	01/24/2017
2018	01/30/2018

Document Images

01/30/2018 -- ANNUAL REPORT	View image in PDF format
01/24/2017 -- ANNUAL REPORT	View image in PDF format
03/08/2016 -- ANNUAL REPORT	View image in PDF format
01/06/2015 -- REINSTATEMENT	View image in PDF format
01/17/2013 -- ANNUAL REPORT	View image in PDF format
02/14/2012 -- ANNUAL REPORT	View image in PDF format
03/03/2011 -- ANNUAL REPORT	View image in PDF format
02/25/2010 -- ANNUAL REPORT	View image in PDF format
04/07/2009 -- ANNUAL REPORT	View image in PDF format
01/15/2008 -- ANNUAL REPORT	View image in PDF format
11/15/2007 -- Florida Limited Liability	View image in PDF format

Florida Department of State, Division of Corporations



St. Johns County, FL

Quick Links

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[Tax Estimator](#)
[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 1546100000
Location Address 195 SAN MARCO AVE
 SAINT AUGUSTINE 32084-0000
Neighborhood CLASS C MEDICAL OFFICE (202.06)
Tax Description* 2-51 NELMAR TERRACE LOT 88 OR453/694 & 3042/754
 *The Description above is not to be used on legal documents.
Property Use Code Professional Service Buildings (Owner Occupied) (1905)
Subdivision Nelmar Terrace, Replat Of Portion Of
Sec/Twp/Rng 49-7-30
District City of St Augustine (District 452)
Millage Rate 20.2171
Acreage 0.250
Homestead N

View Map

Owner

Owner Name Searcy Eric Rentals LLC 100%
Mailing Address 195 SAN MARCO AVE
 SAINT AUGUSTINE, FL 32084-2734

Valuation

	2018
Building Value	\$71,093
Extra Features Value	\$8,334
Total Land Value	\$215,860
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$295,287
Total Deferred	\$88,897
Assessed Value	\$206,390
Total Exemptions	\$0
Taxable Value	\$206,390

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$52,078	\$8,831	\$161,895	\$0	\$0	\$222,804	\$187,627	\$35,177	\$187,627
2016	\$52,078	\$9,271	\$161,895	\$0	\$0	\$223,244	\$170,570	\$52,674	\$170,570
2015	\$54,681	\$2,100	\$157,500	\$0	\$0	\$214,281	\$149,655	\$64,626	\$149,655
2014	\$55,141	\$2,159	\$78,750	\$0	\$0	\$136,050	\$136,050	\$0	\$136,050
2013	\$58,204	\$2,217	\$78,750	\$0	\$0	\$139,171	\$139,171	\$0	\$139,171
2012	\$61,267	\$2,276	\$78,750	\$0	\$0	\$142,293	\$142,293	\$0	\$142,293
2011	\$64,331	\$2,334	\$89,250	\$0	\$0	\$155,915	\$155,915	\$0	\$155,915
2010	\$67,394	\$2,393	\$99,750	\$0	\$0	\$169,537	\$169,537	\$0	\$169,537

Building Information

Building 1 Roof Structure Gable Hip

Actual Area 2591
 Conditioned Area 2961
 Actual Year Built 1925
 Use Medical Offices
 Style 01
 Class N
 Exterior Wall Wood

Roof Cover Asbestos
 Interior Flooring Pine Wood
 Interior Wall Drywall
 Heating Type Air Duct
 Heating Fuel
 Air Conditioning Central
 Baths

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Asbestos	100%
Interior Walls	Drywall	100%
Interior Flooring	Pine Wood	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	10 Fixtures	100%
Electrical	Average	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%
Condition	Good	100%

Description	Conditioned Area	Actual Area
1.5 STORY	2331	1554
MASN ADDI	630	630
F OPN PRCH	0	407
Total SqFt	2961	2591

Extra Features

Code Description	BLD	Length	Width	Height	Units
Garage	0	0	0	0	440
Wood Fence	0	89	0	0	89
Handicap Ramp	0	61	5	0	305
MASON FP	0	0	0	0	1

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Owner Occupied Professional Service Buildings	70	150	10793	SF	\$215,860

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	1/2/2008	\$100.00	WD	3042	754	U	I	SEARCY K ERIC,DEBRA A	SEARCY ERIC RENTALS LLC
	1/1/1980	\$40,000.00		453	694	U	I		SEARCY K ERIC,DEBRA A

Area Sales Report

Recent Sales in Area

Clerk of Court

[Clerk of Court](#)

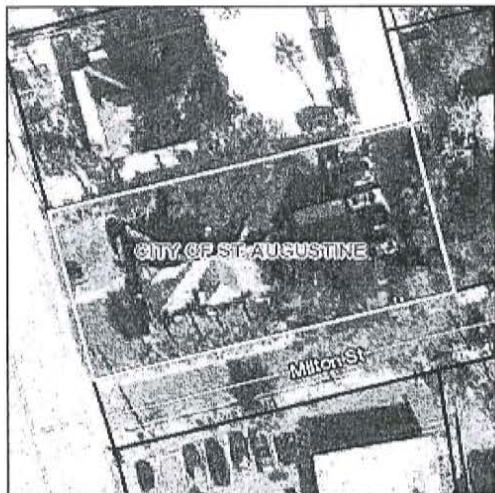
Tax Collector

[My Tax Bill](#)

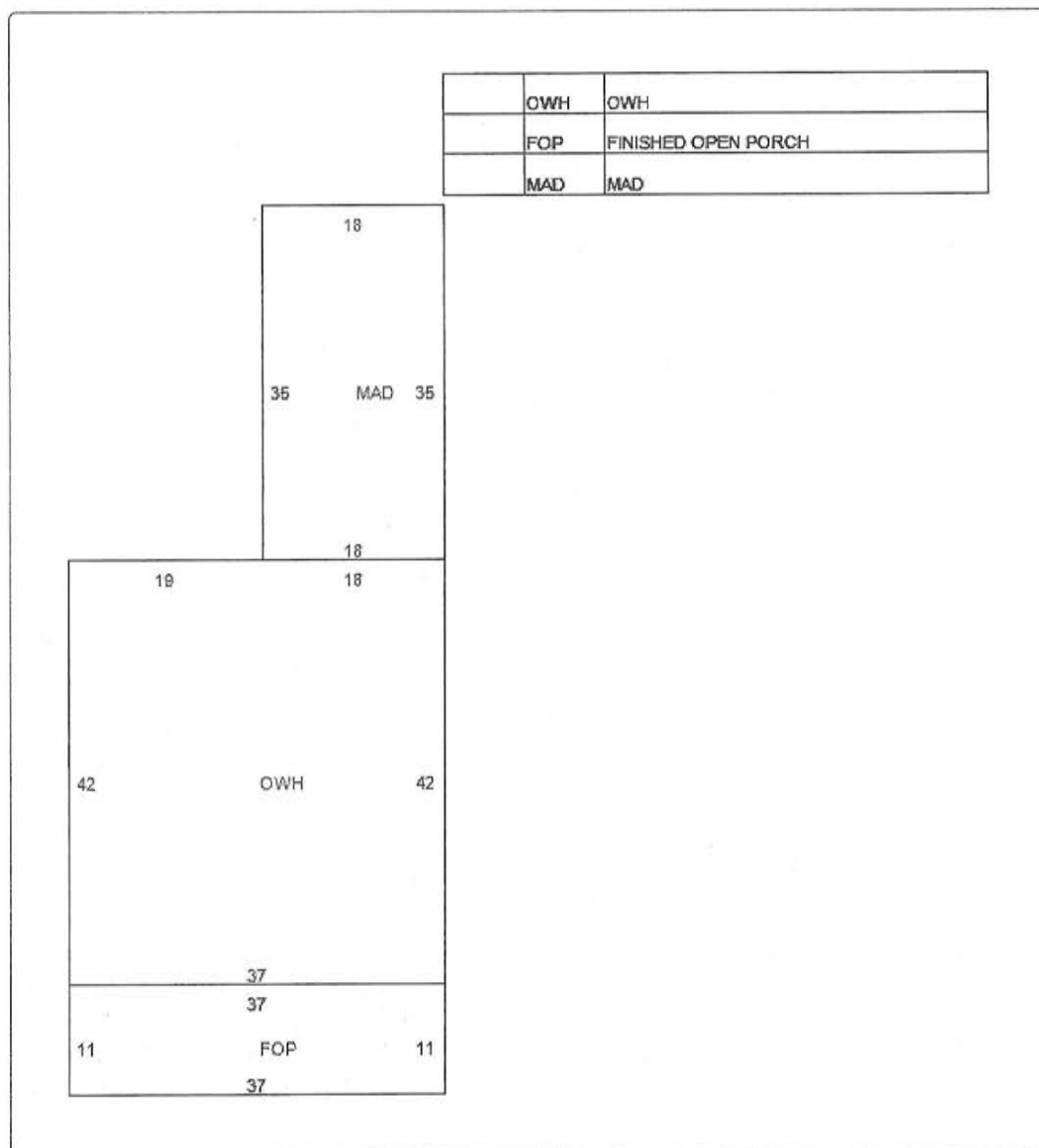
Tax Estimator

[Tax Estimator](#)

Map



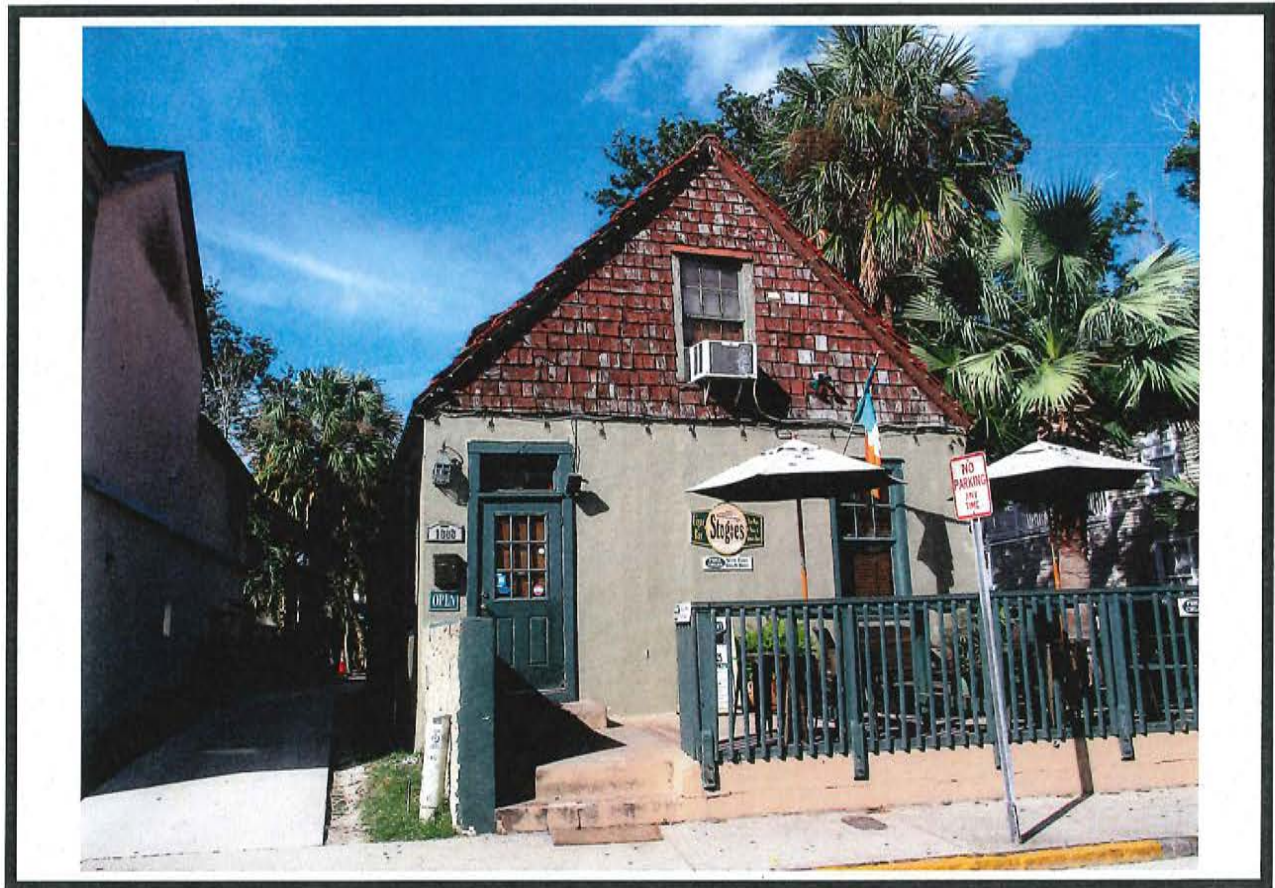
Sketches





CITY OF
ST. AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0145

Address: 36 Charlotte Street

Martin Gould - Applicant
EMA Inc. - Owner

Project description: To construct a trellis over the front seating area and to convert the front fence into a wall.



CITY OF
ST AUGUSTINE
— EST. 1565 —

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0145

Address: 36 Charlotte Street

Martin Gould - Applicant
Stogies Jazz Club - Owner

Project description: To construct a trellis over the front seating area and to convert the front fence into a wall.

Architectural Style:	St. Augustine Colonial Revival	Florida Master Site File:	8SJ530
National Register:	Contributing to the St. Augustine Town Plan Historic District	Construction date:	1899
Archaeology Zone:	IA	Zoning District:	HP-3
Parcel number:	196710 0000		
Agenda Item:	10(a)	Previous Action(s):	N/A

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Appropriateness to construct a trellis over the front seating area and to convert the front fence into a wall.

- The building was a historic Frame Vernacular residence which was converted to a St. Augustine Colonial Revival design in the 1970s which included removal of the front porch roof and posts, covering the wood siding with stucco, and replacing the asbestos shingle roof with a clay tile roof.
- The current fence was installed in the 1990s.
- A stucco covered masonry wall is appropriate for the St. Augustine Colonial Revival. The applicant will need to provide further information on the final stucco texture as well as the proposed paint color.
- The proposal to construct a pergola attached to the front of the building and cover the 'front yard' space is not consistent with the character of pergolas to be constructed in side and/or rear yard areas. Because this building was a different style historically there may be an opportunity for flexibility to construct a porch feature that is compatible with the building setback condition and the current architectural style but a zoning analysis would be required to determine available lot coverage for the roofed area.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can take the following actions for the **Certificate of Appropriateness** for **36 Charlotte Street**:

1. Approve the proposal to construct a stucco wall with the condition that the stucco texture and finish color will be provided.
2. Continue the proposal to construct a pergola on the front of the building to provide the applicant an opportunity to consider design alternatives that are compatible and which take into consideration zoning requirements and architectural character of the building.

Kelli Mitchell, Historic Preservation Planner

F2018-0145
36 Charlotte Street
November 15, 2018

SUMMARY SCOPE OF WORK:

- Cover existing coquina masonry wall with stucco
- Remove existing wood porch banister and replace with a 5'-2" CMU wall that will be covered in stucco
- Install new trellis in the front porch area

CITY CODES/DESIGN GUIDELINES:

Architectural Guidelines for Historic Preservation

St. Augustine Colonial Revival (Post-1850)

The St. Augustine Colonial Revival style is unique to St. Augustine, and combines elements of the Spanish Colonial and the various Mediterranean Influence styles as locally interpreted. This style involves both new construction and the conversion of older buildings into this style during the "Mediterranean Revival" craze of the 1920s. Buildings in this style more accurately reflect changes to colonial buildings over the years rather than how colonial buildings originally appeared.

Identifying features of this style usually include stucco exterior finish, tile roofs, wood balconies, ornamental ironwork and exterior shutters.

Buildings may or may not be constructed directly on the street, although the size of yards varies.

Common building plans are L-shaped and rectangular. Buildings are two to two and one-half stories. Walled yards are common, although the heights of the walls vary considerably. True loggias are not used but galleries or porches are common. An arch motif is common. Balconies may be wood or ornamental iron, and may have corbels. If balconies are roofed, a shed roof or hip roof is common.

Foundations may be continuous brick or poured concrete, or less commonly, brick or concrete block piers. Construction may be poured concrete or coquina concrete, coquina block or wood frame. Exterior finishes include stucco, brick, rusticated brick, unfinished poured concrete or coquina concrete, drop siding or weatherboards with corner boards, and wood shingles.

Roof types are gable, hip or flat with a parapet. Pitched roofs are covered with composition shingles, diamond composition shingles, corrugated metal, metal v-crimp, clay tile, wood shakes and wood shingles. Flat roofs are built-up. Chimneys are common, and may be brick or coquina, with or without a metal cap, and may be finished with stucco.

Windows are double hung sash twelve-over-twelve, six-over-six, two-over-two, fixed multi-pane, or less commonly sixteen-over-sixteen, nine-over-nine, nine-over-six or eight-over-eight. Fixed sheet (plate glass) windows are often used on commercial buildings. Attic louvers, sidelights, fanlights, transoms, metal shutters and moveable blinds are occasionally used. Windows are sometimes covered with iron grill work or rejas. Functional exterior wood shutters may also be used.

Detailing consists of exterior shutters, rejas or lattice, iron grill work, wood or iron balconies, galleries with an arch motif, and walled yards.

Accessory Buildings including porches

Do...

- Identify, retain and preserve porches and their functional and decorative features that are important in defining the overall historic character of the building such as columns, balustrades and stairs.
- Protect and maintain the masonry, wood and architectural metal that comprise porches through appropriate surface treatments such as cleaning, rust removal, limited paint removal and re-application of protective coatings.
- Retain porches and steps that are appropriate to a building and its subsequent development. Porches and additions reflecting later architectural styles are often important to the building's historical development and should be retained.
- Replace in kind an entire porch that is too deteriorated to repair, if the form and detailing are still evident, using the physical evidence as a model to replicate the feature. If using the same type of material is not technically or economically feasible, then a compatible substitute material may be considered.
- Design and construct a new porch when the historic porch is completely missing. It may be a restoration based on historical, pictorial and physical documentation; or it may be new design that is compatible with the historic character of the building.
- Design and install additional porches when required for the new use in a manner that preserves the historic character of the building, such as by limiting such alterations to non-character-defining elevations.

Don't...

- Fail to provide adequate protection to materials on a cyclical basis so that deterioration of porches results.
- Fail to undertake adequate measures to assure the protection of porches.
- Use a substitute material that does not convey the visual appearance of the surviving parts of the porch or that is physically or chemically incompatible. This includes replacing spindles or band-sawn balusters with square cut lumber, rounded railings with flat, chamfered posts and round columns with square, or wooden railing with ornamental iron for a "Spanish" appearance.

Don't... [Cont.]

- Remove or alter porches and steps that are appropriate to the building's development and style.
- Remove a porch that is unrepairable and not replace it; or replace it with a new porch that does not convey the same visual appearance.
- Strip porches and steps of original material and architectural materials such as hand rails, balusters, columns, brackets and roof decorations.
- Create a false historical appearance because the replaced porch is based on insufficient historical, pictorial and physical documentation.
- Install porches that are incompatible in size and scale with the historic building or which obscure, damage or destroy character-defining features.

Post-1821

Accessory buildings should be compatible with the primary building in both design, materials and level of detail and ornamentation. The mass, scale and lot coverage of accessory buildings must be in proportion to the primary building. Accessory buildings should not be more than one story high.

Parking, Landscaping and Site Features

Do...

- Retain distinctive features such as size, scale, mass, color and materials of buildings, including roofs, porches and stairways.
- Base new site work on documentation or physical evidence. Avoid conjectural changes to the site.
- Provide continued protection of wood, masonry and architectural metals which comprise site features through appropriate cleaning, rust removal, limited paint removal, and re-application of protective coatings.

Don't...

- Construct a new site feature that is incompatible with the district or building because of its size, scale or materials.
- Change the appearance of a building or site by removing historic plants, trees, fencing, walkways, outbuildings and other features before evaluating their importance.
- Add conjectural landscape features to the site such as period reproduction lamps, fences, fountains or vegetation that is historically inappropriate, thus creating a false sense of historic development.
- Create a false historic appearance because the replacement feature is based on insufficient historical, pictorial or physical documentation.
- Introduce a new landscape feature, including plant material, that is visually incompatible with the site, or that alters or destroys the historic site patterns or vistas.

Post-1821

Trees, shrubs and vine covered trellises are appropriate and effective ways of providing shade for patios and buildings.

Trellises should be constructed of simple round wooden posts and poles.

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided. [Retention of Distinguishing Architectural Character]

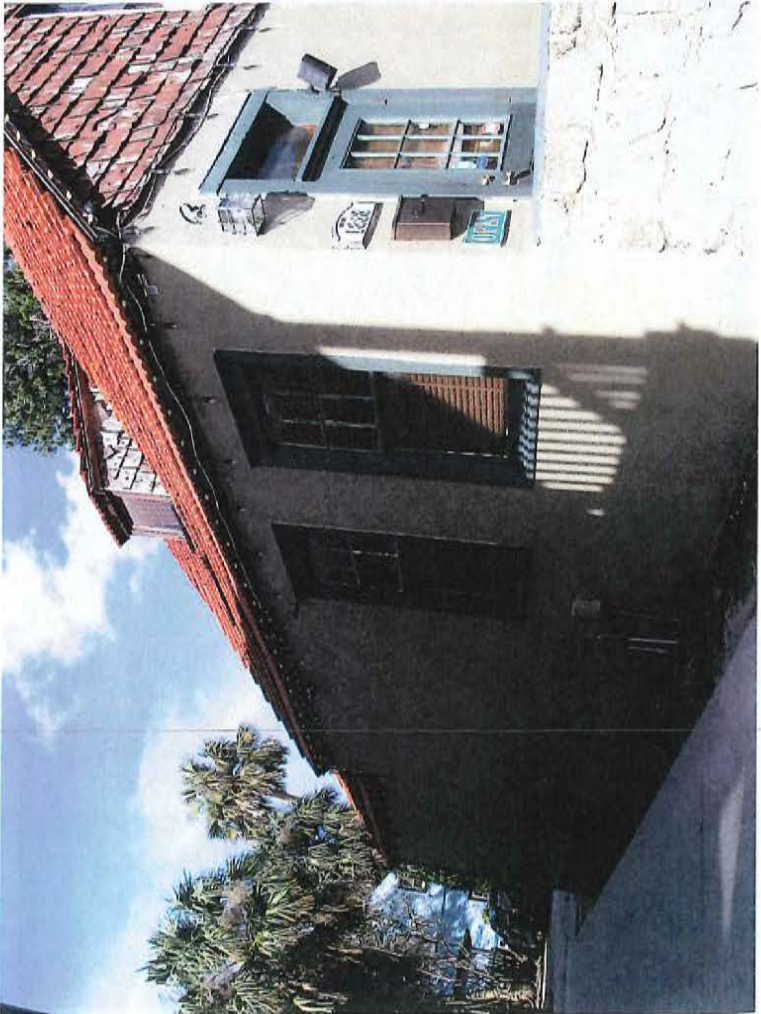
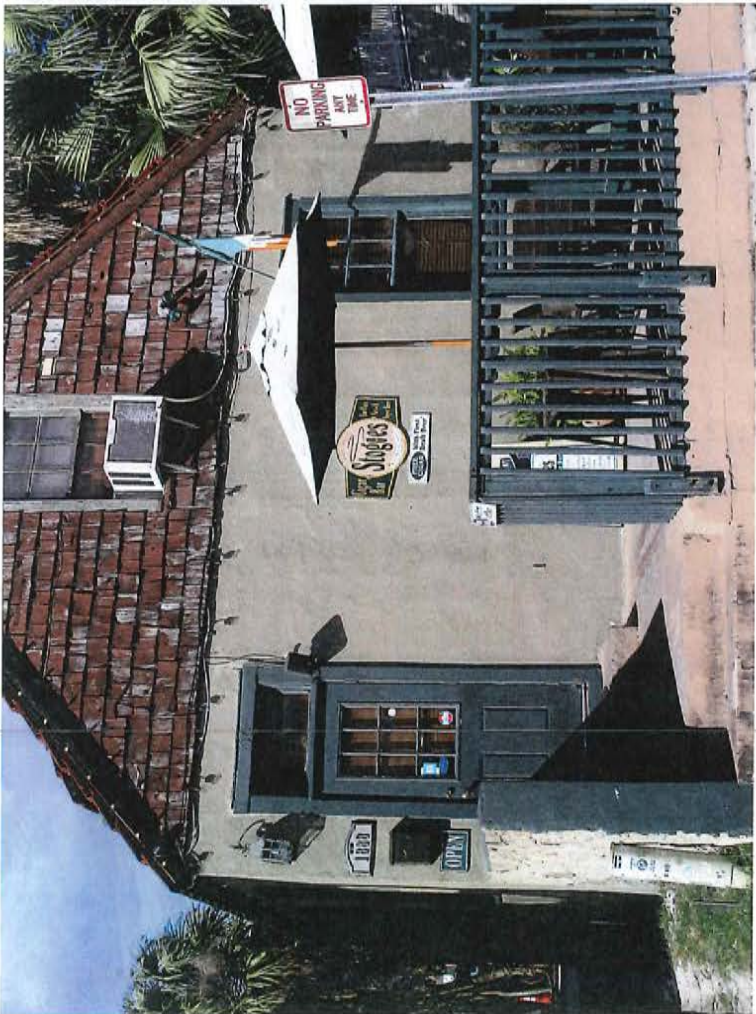
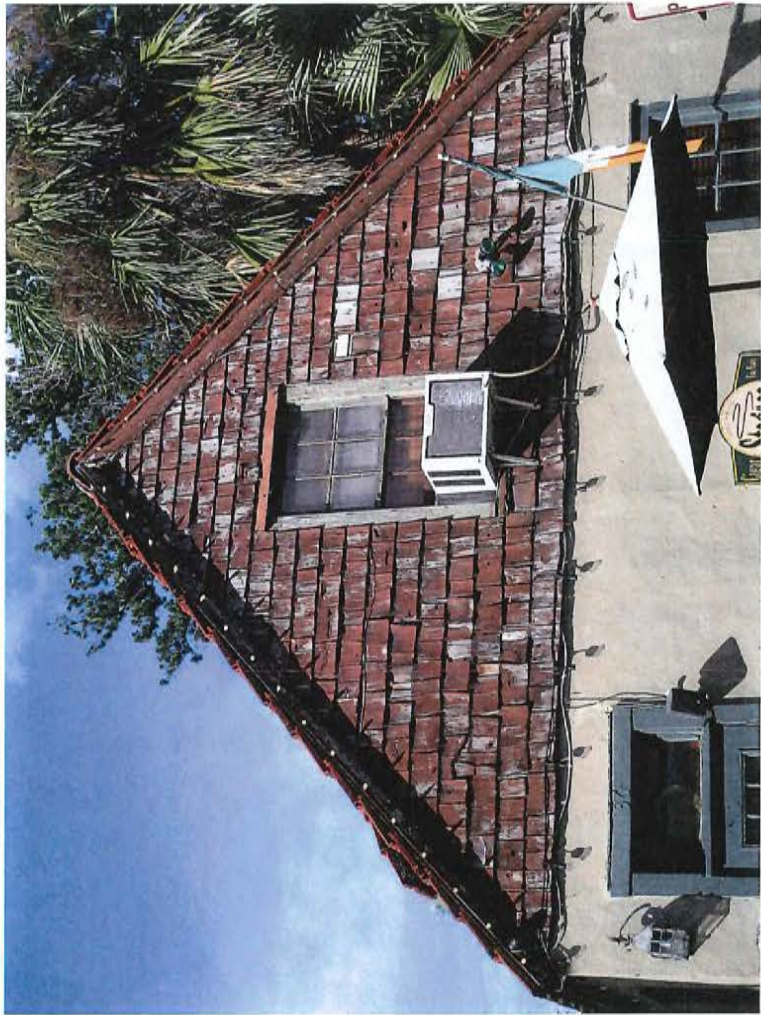
4. Most properties change over time; those changes have acquired historic significance in their own right shall be retained and preserved. [Retention of Significant Later Alterations and Additions]

10. New additions and related or adjacent new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. [Reversibility of New Alterations and Additions]

F2018-0145
36 Charlotte Street
November 15, 2018

LIST OF ATTACHMENTS:

1. Staff Photos
2. Florida Master Site File
3. Sanborn Maps







FLORIDA MASTER SITE FILE
HISTORIC ST. AUGUSTINE PRESERVATION BOARD
HISTORIC PROPERTIES INVENTORY FORM

I. LOCATION & LEGAL DESCRIPTION

FDAHRM 802== Site No. 88J530 1009==
 Site Name: 36 Charlotte Street 830== Survey Date: 7808 820==
 Address: 36 Charlotte Street, St. Augustine, FL 32084 905==
 Instructions for Locating: _____
 _____ 813== County: St. Johns 808==
 Location: City of St. Augustine 8 _____ 10 & 11 868==
 (subdivision) (block) (lot)
 _____ 868==
 Owner of Site: Name: Thompson, Pierre D. & John D. Bailey ;
 Address: P.O. Drawer 1067
 St. Augustine, FL 32083 902==
 Occupant or Manager: Dr. George Barringer, M.D., Psychiatry (occupant) 904==
 Type of Ownership: Private 848== Zoning: HP-3
 NR Classification Category: Building 916== Recording Date: _____ 832==
 UTM: 17 469860 3307030 890== Location: T07S R30E N18 812==
 (zone) (easting) (northing) (T) (R) (S)
 Map Reference: USGA St. Augustine 7.5 MIN 1956 (PR 1970) 809==
 Recorder: Name & Title: Nolan, David (Historic Sites Specialist) ;
 Address: H.S.A.P.B. 818==

II. SITE DESCRIPTION

Condition of Site:	Threats to Site:
() <u>Excellent</u> 863==	() <u>Zoning</u> 878==
(x) <u>Good</u> 863==	() <u>Development</u> 878==
() <u>Fair</u> 863==	() <u>Deterioration</u> 878==
() <u>Deteriorated</u> 863==	() <u>Borrowing</u> 878==
	() <u>Transportation</u> 878==
Integrity of Site:	() <u>Fill</u> 878==
(x) <u>Altered</u> 858==	() <u>Dredge</u> 878==
() <u>Unaltered</u> 858==	() <u>Other</u> 878==
(x) <u>Original Site</u> 858==	
() <u>Restored - Date:</u> 858==	
() <u>Moved - Date:</u> 858==	

**SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)**

II. SITE DESCRIPTION, continued.

Original Use: Priv. Res. 838== Present Use: Commercial 850==
 Date: + 1899 844== Period: 19th cent. 845== Culture: American 840==
 Architect: _____ 872==
 Builder: _____ 874==
 Style: St. Augustine Colonial Revival 964==
 Plan Type: Rectangular 966==
 Exterior Fabrics: Stucco, wood shingles butt _____
 _____ 854==
 Structural Systems: Wood frame 856==
 Features of Structure: (942)
 Window Type: DHS 6/6 942==
 Foundation: _____ 942==
 Roof Type: Gable 942==
 Secondary Roof Structures: Shed hood, shed dormer 942==
 Porches & Balconies: _____
 _____ 942==
 Chimney Location: _____ 942==
 Materials: (882)
 Chimney: _____ 882==
 Roof Surfacing: Clay tile 882==
 Ornament Exterior: Rejas, finial _____
 _____ 882==
 Quantitative Data: (950-954)
 Chimneys: _____ 952== Dormers: 1 954== Stories: 1½ 950==
 Other: _____ 956==
 Surroundings: Mixed, Commercial/Residential 864==
 Relationship to Surroundings: Faces rear of motel one block from restored area. _____
 _____ 859==

III. PHOTOGRAPHY

Photographic Records Numbers: _____ 860==
 Contact Prints _____

IV. SIGNIFICANCE

Areas of Significance: Architecture, Inventions, Commerce, Families,

Communications

920==

Statement of Significance: (911==)

ARCHITECTURE

This one and one-half story St. Augustine Colonial Revival residence at 36 Charlotte Street was constructed between 1894 and 1899. The dwelling is listed on the 1899 and 1904 Sanborn Fire Insurance Maps as 38 Charlotte and as a one-story structure. Before remodeling in the 1970's the wood frame house consisted of a one-story open front porch with jigsaw brackets and chamfered posts. Jigsaw bargeboards decorate the gable roof. It has since been remodeled to the St. Augustine Colonial Revival look by architect William Forrester. The porch and chimney have been removed and a stucco finish added. Rejas accent the front windows and a finial projects from the clay tile roof.

The area of the old colonial city between Hypolita Street and the City Gate has been the major area of restoration efforts over the past two decades and is one of St. Augustine's leading tourist attraction areas. There are eight colonial buildings and structures in the area, a number of reconstructions, and other buildings designed or remodeled in the St. Augustine Colonial Revival style. Restorations and reconstructions line most of St. George Street. Elements contributing to its colonial ambiance include buildings constructed right at the street line, walls lining the street (some of tabby or exposed coquina), overhanging balconies and ornamental rejas. Side streets like Spanish and Cuna still have a number of post-colonial buildings. The bayfront has a number of commercial structures of modern vintage. The area generally retains the old colonial street patterns, though there have been major alterations around the City Gate and bayfront. Traffic is limited in the area and banned on St. George Street, but there are still serious traffic and parking problems because the area is so heavily traveled. Because of the commercial value of the land, there are continuing pressures for new development in the area. It is an area of combined tourist, commercial, and residential usage. It is bounded on the east by the Castillo de San Marcos, the seawall and the bayfront. On the west it is bounded by the Model Land Company subdivision developed by Henry Flagler. This section of the colonial city is part of the National Landmark District, listed on the National Register of Historic Places.

HISTORY

The northernmost section of the walled colonial city was bounded in the

(over)

V. BIBLIOGRAPHY

1. Pedro Ruiz de Olano, "Plano del Fuerte de San Agustín de la Florida, y sus contornos," August 8, 1740; Juan Jose Elixio de la Puente, "Plano de la . . . Plaza de San Agustín," January 22, 1764; Mariano de la Rocque, "Plano Particular de la Ciudad de San Agustín de la Florida," April 25, 1788; East Florida Papers, Escrituras, 1784-1821; Albert Manucy, The Houses of St. Augustine, 1565-1821 (St. Augustine, 1962), pp. 22-25 and 41-47; Patricia Griffin, "Mullet on the Beach; The Minorcans of Florida: 1768-1788," Ph.D. diss. (University of Florida, 1977), pp. 106-108 and 134-151;

18th and early 19th centuries by the Cubo defense line and City Gate on the north and by the Rosario defense line, present-day Cordova Street, on the west. This area first developed in the late 17th century as a work camp during the construction of the Castillo de San Marcos and later as a neighborhood after the completion of the fort in 1695. All structures were destroyed in the 1702 siege of the city, those generally north of Cuna Street by the Spanish to establish a clear field of fire from the fort, and those south by the invading South Carolinians. By mid-century buildings had been rebuilt mainly along St. George and Spanish Streets, and a number of them still stand on St. George: Avero, DeMesa, Arrivas, Rodriguez-Sanchez, and Paredes Houses. During the British period, the Minorcans generally settled in this section of town, and it remained the "Minorcan quarter" well into the 19th century. New construction continued in the Second Spanish Period (1784-1821), with a number of extant structures, such as the Triay House, the Oldest Schoolhouse, and the City Gate, dating from this period.(1) By the mid-19th century, development expanded westward along Hypolita and Cuna Streets. The post-Civil War years brought intense commercialization to part of Hypolita Street and all of St. George Street as the main thoroughfare became lined with shops, boarding houses, and large hotels. The areas off of St. George Street remained essentially residential, and Spanish Street became by 1900 one of several exclusively Black neighborhoods outside Lincolnville, with its own school and church in the southernmost block of the street. St. George Street underwent major changes in the late 19th and early 20th centuries with the construction of the massive city hall at Hypolita Street and with the demolition of colonial structures and the erection of brick commercial buildings.(2) This section of the street gradually deteriorated into a depressed business district. Since 1959 the Historic St. Augustine Preservation Board, in conjunction with the St. Augustine Restoration Foundation and private citizens, has restored and reconstructed twenty-five buildings along St. George and Cuna Streets as part of a movement to recognize the city's disappearing colonial past. Several of the Preservation Board's buildings are operated as part of a living-history museum, San Agustin Antiguo. In addition to the Restoration Area, this section of the city, especially along Spanish and Cuna Streets, also has a large concentration of 19th century buildings, particularly from the pre-Flagler era, and even some pre-Civil War structures. Avenida Menendez, formerly Bay Street, has become a modern commercial street adjacent to both the Restoration Area and the Castillo de San Marcos.(3)

This residence at 36 Charlotte Street was once the home of Edgar Manucy, a barber and descendent of colonists who migrated from New Smyrna to St. Augustine in 1777.(4) In 1905 the property, referred to as 38 Charlotte Street, was owned by Andrew Burgess, an inventor of small firearms; however, the house was occupied by members of the Bridier family. Eoline, a binder at the Record Company; Daughtery J., a clerk at St. George's Pharmacy; and J. B.,

a carpenter, lived in the building for a time before moving to 30 Charlotte.(5)

ARCHAEOLOGY

For archaeological significance of the walled colonial city see Master Site File Form 8SJ10.

John Bostwick, et. al, "A Sub-Surface Archaeological Survey of the Northern Colonial City," (St. Augustine: HSAPB, 1978).

2. Anon., "Copy of a Plan of the City of St. Augustine," 1833; 1885 and 1894 Birds-Eye Views; Sanborn Fire Insurance Map, 1884-1930; St. Augustine City Directory, 1885, 1899, 1904.

3. Sanborn Fire Insurance Map, 1884-1958; City Directory, 1959, 1960.

4. City Directory, 1899.

5. C. D. Manucy and R. Ranson, Supplement to Official City Map, (St. Augustine, 1905), p. 22; City Directory, 1904, 1911-12.

☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **SJ00530**
 Field Date **4-26-2016**
 Form Date **4-26-2016**
 Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 36 Charlotte Street Multiple Listing (DHR only) _____
 Survey Project Name Inv. of Structures within the St. Augustine NRHD Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☒ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 36 Direction _____ Street Name Charlotte Street Type Street Suffix Direction Michael Rebr
 Address: 36
 Cross Streets (nearest / between) _____
 USGS 7.5 Map Name ST. AUGUSTINE USGS Date 1956 Plat or Other Map _____
 City / Town (within 3 miles) St. Augustine In City Limits? ☒ yes ☐ no ☐ unknown County St. Johns
 Township 7S Range 30E Section 18 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 1967100000 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting Northing
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year 1899 ☐ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Commercial From (year): _____ To (year): _____
 Current Use Bar From (year): _____ To (year): _____
 Other Use Private Residence (House/Cottage/Cabin) From (year): _____ To (year): _____
 Moves ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: _____ Nature exterior fabric, roof
 Additions: ☒ yes ☐ no ☐ unknown Date: _____ Nature rear additions and front patio
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown Describe _____

DESCRIPTION

Style Colonial Revival Exterior Plan Rectangular Number of Stories 2
 Exterior Fabric(s): 1. Stucco 2. Wood shingles 3. _____
 Roof Type(s): 1. Gable 2. _____ 3. _____
 Roof Material(s): 1. Tile unspecified 2. _____ 3. clay tile
 Roof secondary strucs. (domers etc.) 1. Shed dormer 2. _____
 Windows (types, materials, etc.) wood 6/1 SHS with wood trim and sill on first floor; wood 6/6 on 2nd floor

Distinguishing Architectural Features (exterior or interior ornaments) gable front with minimal overhang

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) normal setback sits at angle to street with side and front patio; parking in rear

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____ SHPO - Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info Date _____ Init. _____
 Keeper - Determined eligible: ☐ yes ☐ no Date _____
 NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Wood frame 2. _____ 3. _____
 Foundation Type(s): 1. Piers 2. _____
 Foundation Material(s): 1. Brick 2. _____
 Main Entrance (stylistic details) single 9 light hollow core metal door offset to left of facade with wood trim and transom flush with exterior
 Porch Descriptions (types, locations, roof types, etc.) front concrete patio with wood railing and side gravel patio

Condition (overall resource condition): ☐ excellent ☐ good ☒ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource _____

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- | | | | |
|--|--|--|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input checked="" type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input checked="" type="checkbox"/> city directory | <input checked="" type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input checked="" type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input checked="" type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input type="checkbox"/> other methods (describe) _____ | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
 Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) contributes to SJ10

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

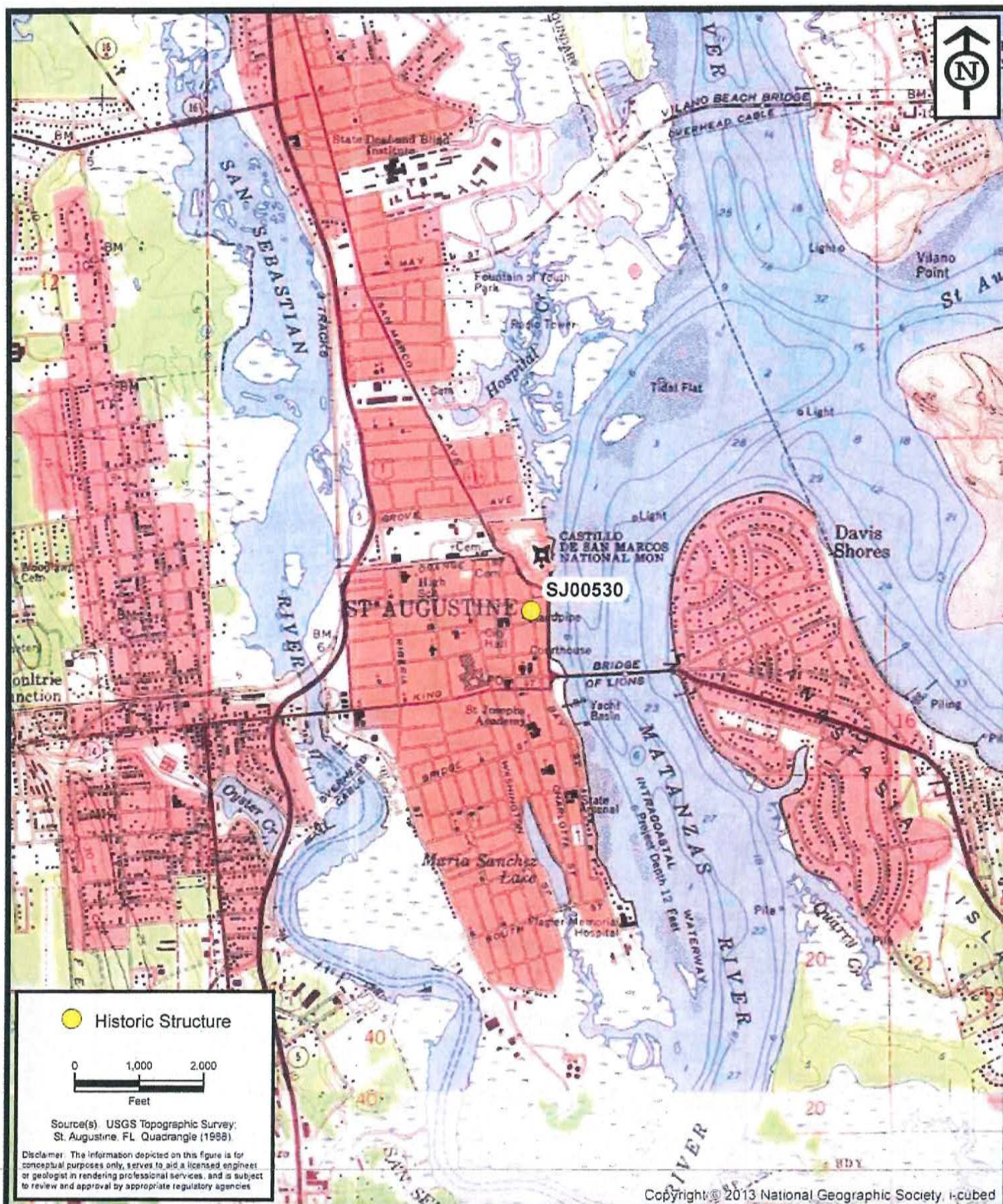
- 1) Document type _____ Maintaining organization _____
 Document description _____ File or accession #s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #s _____

RECORDER INFORMATION

Recorder Name Patricia Davenport Affiliation Environmental Services, Inc.
 Recorder Contact Information 7220 Financial Way Ste. 100 Jacksonville, FL 32256 904-470-2200, pdavenport@esinc.cc
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



**ENVIRONMENTAL
SERVICES, INC.**

7220 Financial Way, Suite 100
Jacksonville, Florida 32256
(904) 470-2200
(904) 470-2112 Fax

www.environmentalservicesinc.com

Project Location - SJ00530
City of St. Augustine
Historic Structure Survey
St. Johns County, Florida

Project:	AJ15441.00
Date:	May 2016
Drawn By:	AVL
Checked By:	JRN
Approved By:	PD
Figure:	1



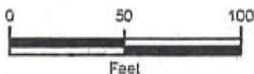
S CASTILLO DR

AVENIDA MENENDEZ

AVENIDA MENENDEZ

SJ00530

- Historic Structure
- ▭ Parcel Location



Source(s): ESRI Topographic Basemap

Disclaimer: The information depicted on this figure is for conceptual purposes only. It serves to aid a licensed engineer or geologist in rendering professional services and is subject to review and approval by appropriate regulatory agencies.

Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



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Parcel Location - SJ00530
City of St. Augustine
Historic Structure Survey
St. Johns County, Florida

Project:	AJ15441.00
Date:	May 2016
Drawn By:	AVL
Checked By:	JRN
Approved By:	PD
Figure:	2



0



File -

36 Charlotte St.

ad - 8, 10, 11

PHILIP E. NETHERCUT
SUITE 130, ONE DUNWOODY PARK
ATLANTA, GA. 30338

January 12, 1980

Mr Robert Williams
State Historic Preservation Officer
Tallahassee, Florida 32304

Dear Mr Williams,

I am writing at the suggestion of Mr Wallace Jones in the Southeastern Region office of the Heritage Conservation and Recreation Service in Atlanta.

Mrs P E Nethercut, my wife, and Mrs R D Nethercut, my sister-in-law, have purchased a building in the historic district of St Augustine, Florida. Its address is 36 Charlotte Street. They are renovating the building, which we would like to have certified as a historic structure.

It is our understanding that your office will review the historic significance of the building following receipt of our Historic Preservation Certification Application. Mr Jones asked us to request from you the necessary application forms for this submission. Will you please send them to: Mrs P E Nethercut, 9240 Huntcliff Trace NE, Atlanta, Ga 30338?

Mr Jones was kind enough to contact Mr Michael Scardaville of the Historic St Augustine Preservation Board by telephone to confirm for us that this 36 Charlotte Street property is in the registered historic district and that the age of the building would meet the requirements for consideration as a certified historic structure.

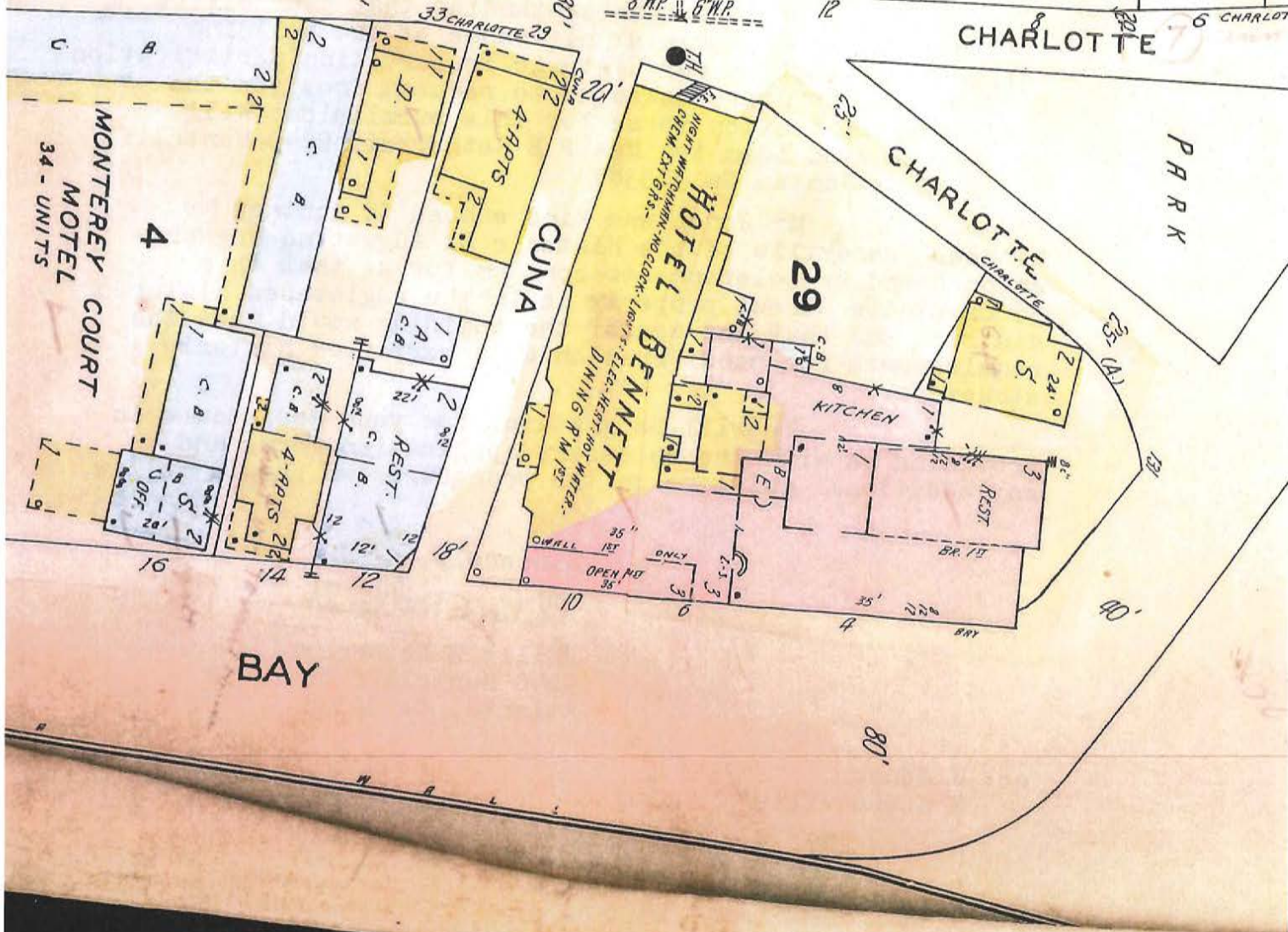
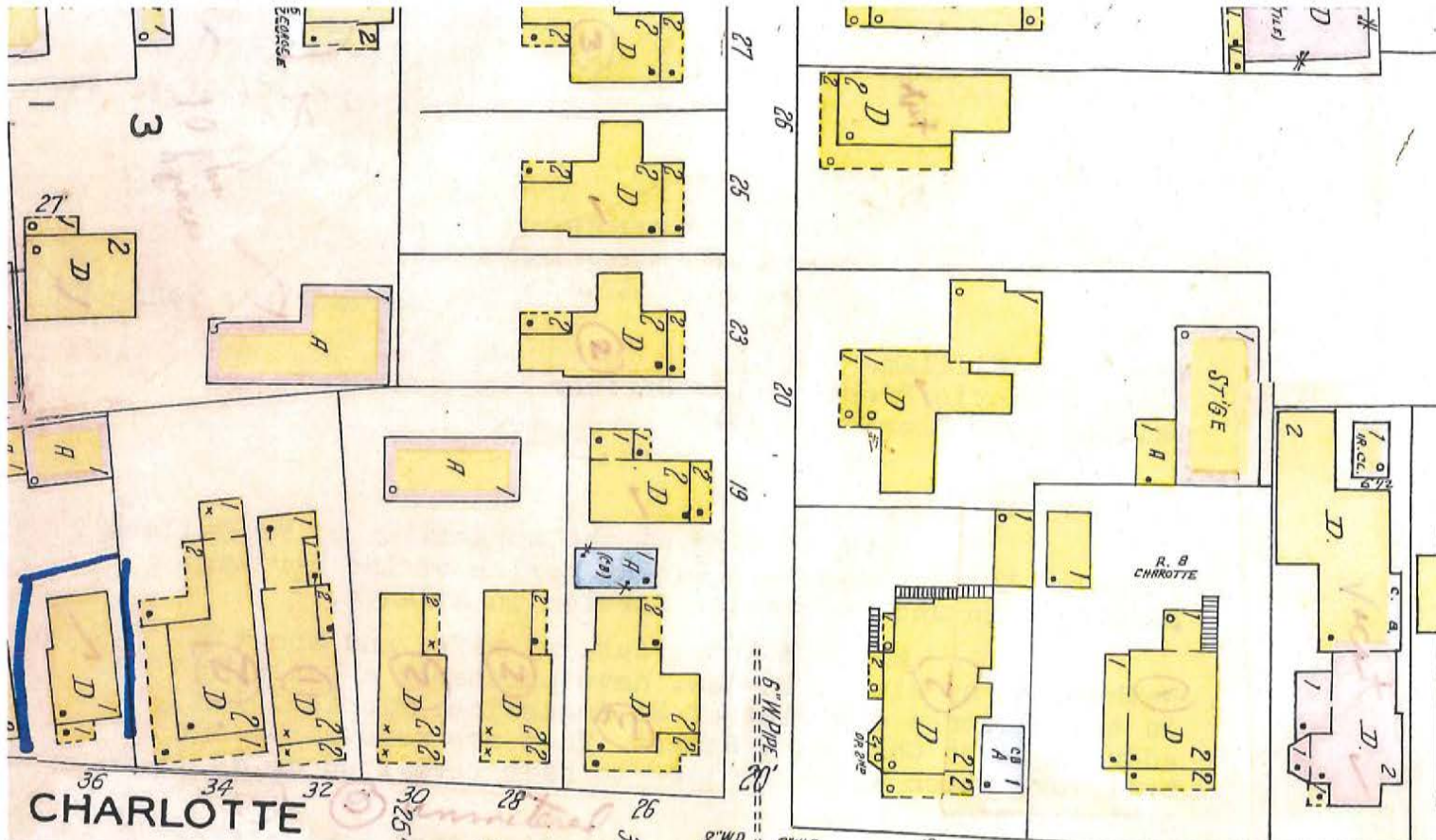
We will be grateful for your assistance in providing us with the necessary application forms and any additional guidance on the procedures we should follow.

Sincerely,

Philip E Nethercut

Philip E Nethercut
9240 Huntcliff Trace NE
Atlanta, Ga 30338

cc: W Jones
M Scardaville ✓



OCT 18 2018

CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION

Planning/Building Dept



☐ OPINION ☒ **CERTIFICATE OF APPROPRIATENESS**

\$50.00	Alterations to single family home, site work, and site feature
\$150.00	Construction of new single family home, major alterations, ad valorem tax exemption
\$100.00	Alterations to all other buildings, site work, or features except single family home
\$200.00	New construction except single family home

BDAC Project No. 2018-0141Receipt No. 1470648Meeting Date: 11-15-18

Advertising Costs \$ _____

Paid on _____

Receipt No. _____

1. NAME OF APPLICANT MARTIN E. BOLDBusiness (if applicable) ARCHITECTAddress 50 CHARLOTTE STCity ST. AUGUSTINE State FL Zip Code 32084Daytime telephone 904 629-0202 Other phone/email 904 347-4235*The above contact information will be used for correspondence. Please ensure this information is accurate.*2. NAME OF PROPERTY OWNER Jeffrey M. HolleranBusiness (if applicable) STUGIES JAZZ CLUBAddress 30 CHARLOTTE STCity ST. AUGUSTINE State FL Zip Code 32084

Daytime telephone (required) _____ Other phone _____

3. PROJECT STREET ADDRESS 30 CHARLOTTE ST

4. LEGAL DESCRIPTION: Lot _____ Block _____ Subdivision _____ Parcel _____

5. EXISTING USE _____ PROPOSED USE SAME

6. PROPOSED PROJECT WORK

A. DEMOLITION (If historic architectural features will be permanently removed a Certificate of Demolition is required and must be heard simultaneous with this application) ☐ YES ☒ NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

REPAIR REPLACE

☐ ☐ Roof _____☐ ☐ Roof structures (dormers, chimneys, etc.) _____☐ ☐ Exterior finishes (stucco, masonry, siding) _____☐ ☐ Porch/Deck/Balcony _____☐ ☐ Awning/Canopy _____☐ ☐ Exterior Doors _____☐ ☐ Windows _____☐ ☐ Shutters _____☐ ☐ Foundation (including infill) _____☐ ☐ Exterior lighting & other appurtenances _____☐ ☒ Existing fences, walls & gates _____☐ ☐ Existing parking, walkways & other site features _____

C. NEW CONSTRUCTION (check and specify all work items that apply)

- ☐ New building_____
- ☐ New addition_____
- ☐ New roof structures (dormers, chimneys, etc.)_____
- ☐ New porch/deck/balcony_____
- ☒ New awning/canopy_____
- ☐ New entrances_____
- ☐ New window opening/sashes_____
- ☐ New exterior lighting_____
- ☐ New fence/wall/gate_____
- ☐ New parking/walkways/other site features_____
- ☐ Exterior utility service/mechanical equipment_____

D. PAINT COLORS (check one)

- match exist* ☒ Scheme with pre-approved paint colors (exterior colors available upon request)
- ☐ Custom color scheme (provide color samples & building elevations showing color placement)
- ☐ No painting associated with proposed project

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

Install trellis at entrance, replace existing fence with wall.

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is for an Opinion of Appropriateness, I must still obtain a Certificate of Appropriateness before project work can begin. If this application is for a Certificate of Appropriateness and it is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work. Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME

MARTIN F. GULD

SIGNATURE OF APPLICANT

Martin F. Guld

DATE

10-19-16

PRINT OWNER'S NAME

Jeffrey M. Holleran

SIGNATURE OF OWNER

Jeffrey M. Holleran
904-669-3971

DATE

10-18-18

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

C. NEW CONSTRUCTION (check and specify all work items that apply)

- ☐ New building
- ☐ New addition
- ☐ New roof structures (dormers, chimneys, etc.)
- ☐ New porch/deck/balcony
- ☒ New awning/canopy
- ☐ New entrances
- ☐ New window opening/sashes
- ☐ New exterior lighting
- ☐ New fence/wall/gate
- ☐ New parking/walkways/other site features
- ☐ Exterior utility service/mechanical equipment

D. PAINT COLORS (check one)

- ☒ Scheme with pre-approved paint colors (exterior colors available upon request)
- ☐ Custom color scheme (provide color samples & building elevations showing color placement)
- ☐ No painting associated with proposed project

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PRINT APPLICANT'S NAME

MARTIN F. SPULD

SIGNATURE OF APPLICANT

[Signature]

DATE

10-19-18

PRINT OWNER'S NAME

Jeffrey M. Holleran

Emily Alexander

SIGNATURE OF OWNER

[Signature]

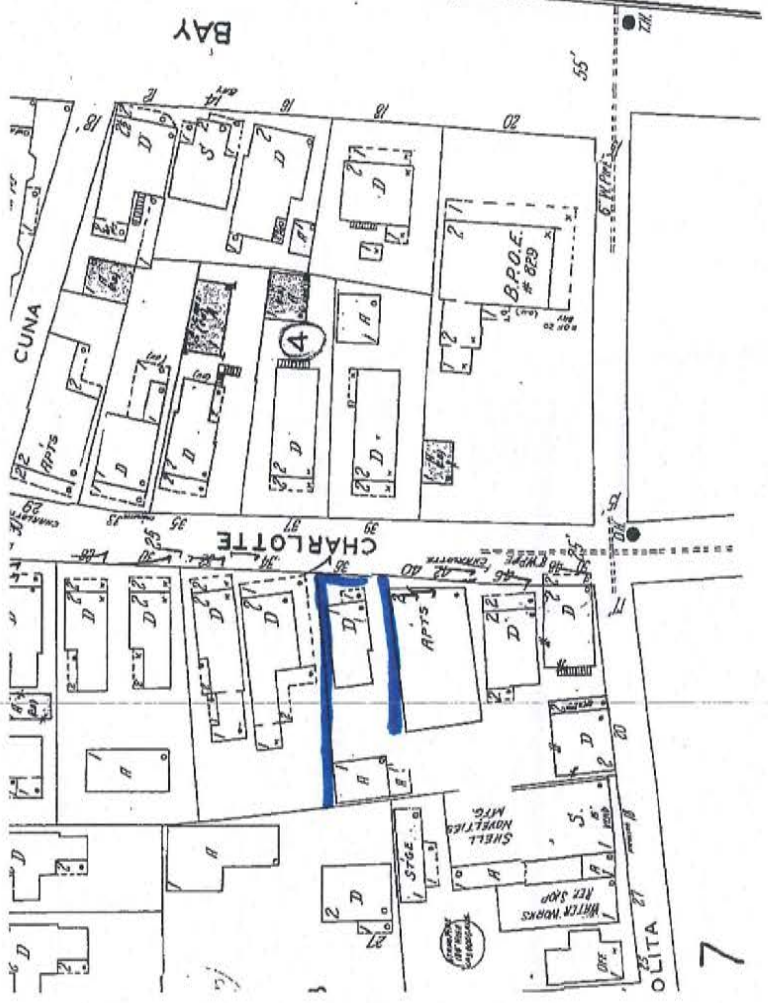
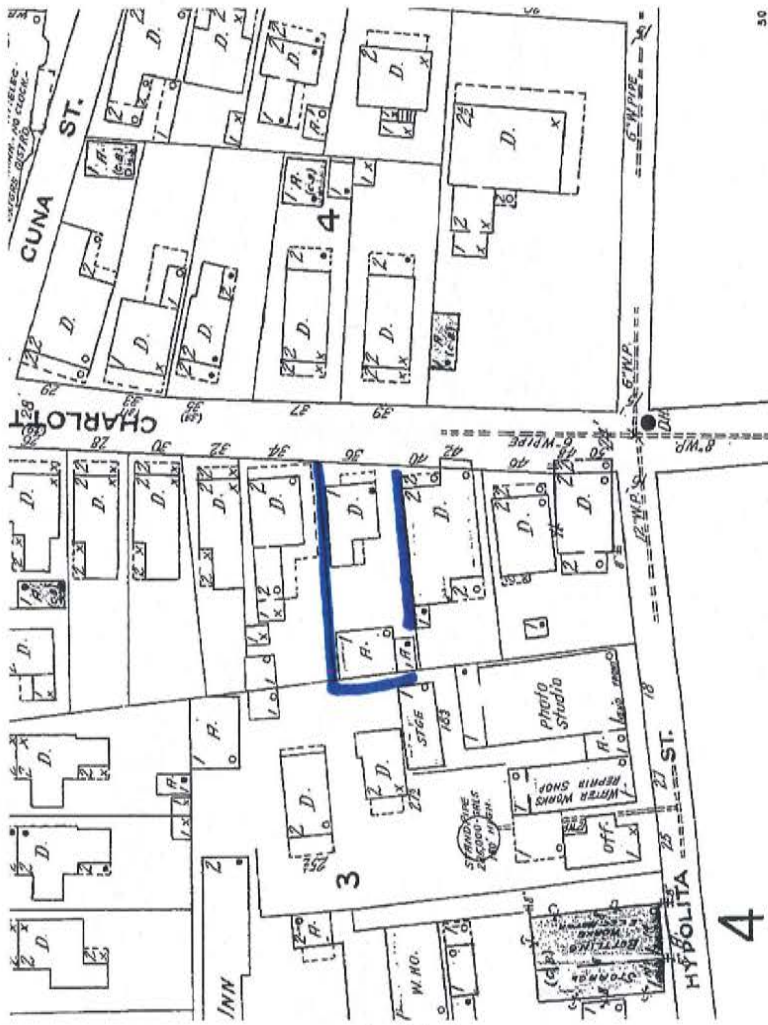
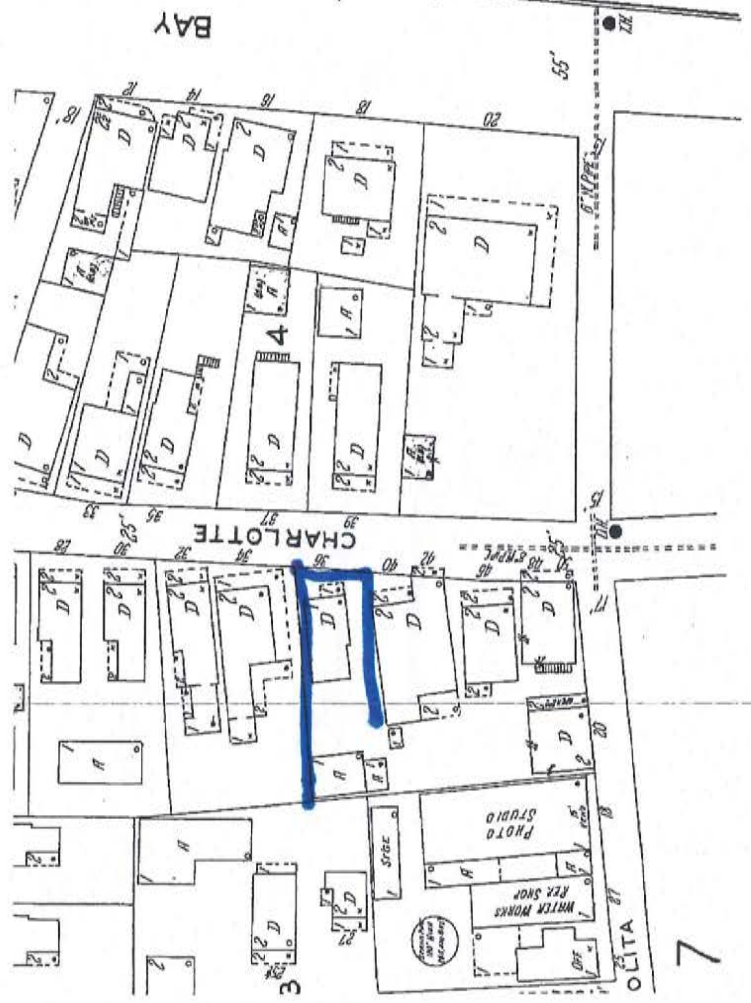
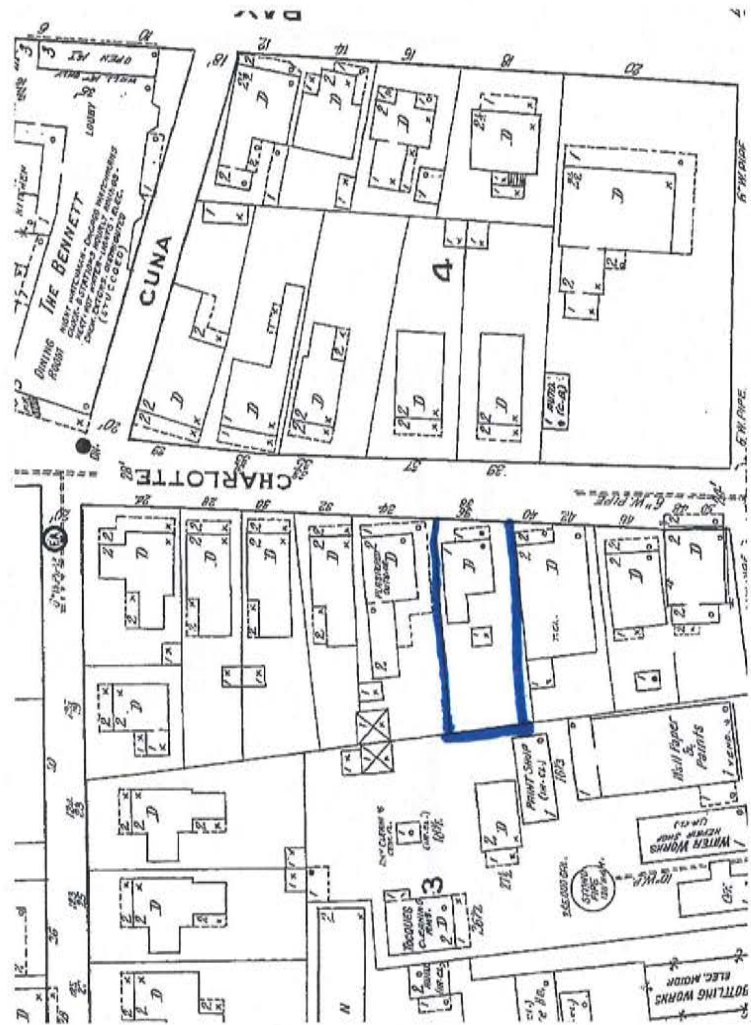
DATE

10-18-18

904-669-3971

[Signature]

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.



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Planning/Building Dept.





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Profit Corporation

STOGIES' CIGAR EMPORIUM & COFEE HOUSE, INC.

Filing Information

Document Number	P00000108577
FEI/EIN Number	59-3596134
Date Filed	11/20/2000
State	FL
Status	ACTIVE
Last Event	CANCEL ADM DISS/REV
Event Date Filed	03/05/2007
Event Effective Date	NONE

Principal Address

36 Charlotte Street
ST. AUGUSTINE, FL 32084

Changed: 04/25/2018

Mailing Address

36 CHARLOTTE STREET
ST. AUGUSTINE, FL 32084

Changed: 04/25/2018

Registered Agent Name & Address

HOLLERAN, JEFFREY M
36 CHARLOTTE STREET
ST. AUGUSTINE, FL 32084

Address Changed: 04/25/2018

Officer/Director Detail

Name & Address

Title P

HOLLERAN, JEFFREY M
36 CHARLOTTE STREET
ST. AUGUSTINE, FL 32084

Annual Reports

Report Year	Filed Date
2016	02/10/2016
2017	04/28/2017
2018	04/25/2018

Document Images

04/25/2018 -- ANNUAL REPORT	View image in PDF format
04/28/2017 -- ANNUAL REPORT	View image in PDF format
02/10/2016 -- ANNUAL REPORT	View image in PDF format
02/25/2015 -- ANNUAL REPORT	View image in PDF format
02/28/2014 -- ANNUAL REPORT	View image in PDF format
04/12/2013 -- ANNUAL REPORT	View image in PDF format
02/13/2012 -- ANNUAL REPORT	View image in PDF format
04/28/2011 -- ANNUAL REPORT	View image in PDF format
04/22/2010 -- ANNUAL REPORT	View image in PDF format
04/29/2009 -- ANNUAL REPORT	View image in PDF format
04/30/2008 -- ANNUAL REPORT	View image in PDF format
03/05/2007 -- REINSTATEMENT	View image in PDF format
04/28/2001 -- ANNUAL REPORT	View image in PDF format
11/20/2000 -- Domestic Profit	View image in PDF format

Florida Department of State, Division of Corporations



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Profit Corporation

E. M. A., INC.

Filing Information

Document Number 498786
FEI/EIN Number 59-1666702
Date Filed 03/12/1976
State FL
Status ACTIVE
Last Event REINSTATEMENT
Event Date Filed 01/12/2017

Principal Address

15 DOLPHIN DR.
SAINT AUGUSTINE, FL 32080

Changed: 04/27/2004

Mailing Address

234 COQUINA AVENUE
SAINT AUGUSTINE, FL 32080

Changed: 04/21/2015

Registered Agent Name & Address

ALEXANDER, MARK
20 CUNA STREET
ST. AUGUSTINE, FL 32084

Name Changed: 01/12/2017

Address Changed: 02/22/1991

Officer/Director Detail

Name & Address

Title VD

ALEXANDER, EMILY M
15 DOLPHIN DRIVE
ST AUGUSTINE, FL 32080

Title F I M

ALEXANDER, MARK D.
234 COQUINA AVE.
ST AUGUSTINE, FL 32080

Title S

ALEXANDER, MARGO J.
234 COQUINA AVE.
ST AUGUSTINE, FL 32080

Annual Reports

Report Year	Filed Date
2016	01/12/2017
2017	01/12/2017
2018	04/27/2018

Document Images

04/27/2018 -- ANNUAL REPORT	View image in PDF format
01/12/2017 -- REINSTATEMENT	View image in PDF format
04/21/2015 -- ANNUAL REPORT	View image in PDF format
03/25/2014 -- ANNUAL REPORT	View image in PDF format
03/01/2013 -- ANNUAL REPORT	View image in PDF format
03/28/2012 -- ANNUAL REPORT	View image in PDF format
03/01/2011 -- ANNUAL REPORT	View image in PDF format
02/19/2010 -- ANNUAL REPORT	View image in PDF format
02/03/2009 -- ANNUAL REPORT	View image in PDF format
04/10/2008 -- ANNUAL REPORT	View image in PDF format
04/27/2007 -- ANNUAL REPORT	View image in PDF format
05/01/2006 -- ANNUAL REPORT	View image in PDF format
04/13/2005 -- ANNUAL REPORT	View image in PDF format
04/27/2004 -- ANNUAL REPORT	View image in PDF format
04/15/2003 -- ANNUAL REPORT	View image in PDF format
03/14/2002 -- ANNUAL REPORT	View image in PDF format
04/20/2001 -- ANNUAL REPORT	View image in PDF format
04/04/2000 -- ANNUAL REPORT	View image in PDF format
03/29/1999 -- ANNUAL REPORT	View image in PDF format
03/26/1998 -- REINSTATEMENT	View image in PDF format
03/03/1995 -- ANNUAL REPORT	View image in PDF format

90 16411

O.R. 861 PG 0939

0269*90-2374SA

CORPORATION WARRANTY DEED

THIS WARRANTY DEED made and executed the 28th day of June, 1990 A.D. by HIGHLANDER PROPERTY ENTERPRISES CORP. N.V., a Pennsylvania corporation authorized to do business in the State of Florida, hereinafter called the Grantor to E. M. A. INC., a Florida corporation, whose Post Office Address is: 15 DOLPHIN DRIVE, ST. AUGUSTINE, FL 32084 hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

WITNESSETH: That the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee, all that certain land situate in St. Johns County, Florida, whose parcel identification numbers are: 196710-0000 & 196710-0110 to wit:

Property as described on attached "Schedule A" which description is made a part hereof by reference as though fully and completely set forth herein.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining. TO HAVE AND TO HOLD, the same in Fee Simple forever. AND the Grantor hereby covenants with said Grantee that it is lawfully seized of said land in Fee Simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 1989.

IN WITNESS WHEREOF the Grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.

(Corporate Seal)

Signed, sealed and delivered in the presence of:

Catherine Light
(Witness)
Theresa J. Fazio
(Witness)

HIGHLANDER PROPERTY ENTERPRISES CORP. N.V.

By: Pittagore Hattoun, V.P.

Documentary Tax Pd. \$ 1072.50

\$ 5 Intangible Tax Pd.

STATE OF PENNSYLVANIA)
COUNTY OF WESTMORELAND)

SS:

Carl "Rud" M. ... D.C.
County ... DM ...

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, personally appeared: Pittagore Hattoun, well known to me to be the Vice President of the corporation named as Grantor in the foregoing deed and he acknowledged executing the same in the presence of two subscribing witnesses freely and voluntarily under authority duly vested in him by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and seal in the County last aforesaid and in the State last aforesaid this 28th day of June, 1990 A.D.

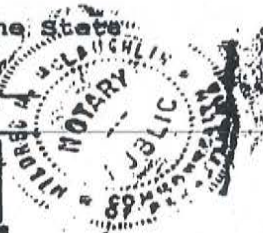
(SEAL)

Michael M. M. Lough
Notary Public

My Commission Expires:

Prepared by:
LUANNE R. HICKEY
NORTH FLORIDA TITLE COMPANY
1510 PONCE DE LEON BLVD., SUITE A
ST. AUGUSTINE, FL 32084

Notarial Seal
Michael M. M. Lough, Notary Public
Greenburg, Westmoreland County
My Commission Expires July 25, 1992
Member, Pennsylvania Association of Notaries



O.R. 861 PG 0940

SCHEDULE "A"

Parcel 1: In the City of St. Augustine, being all that lot or parcel of land described as follows: Beginning on Charlotte Street at the North-east corner of lot of A. J. Watts and running thence 100 feet more or less Westerly along the Northern boundary of said Watts' lot to the North West corner thereof, thence in Northerly direction along the East boundary line of the lots of Daniel E. Wright and Lorillard 38 feet more or less to the South West corner of Lot owned by W. J. Sherman, thence Easterly 105 feet more or less along the Southern boundary line of said Sherman's lot to the South East corner thereof on Charlotte Street, thence Southwardly 38 feet along the West line of Charlotte Street to the place of beginning, also being described as Lot 10, Block 8, City of St. Augustine, Florida.

Parcel 2: Lot 11, Block 8, in the City of St. Augustine, Florida according to the official map of said city dated June 12, 1923, filed October 4, 1923, in the office of the Clerk of the Circuit Court, St. Johns County, Florida.

COPY

FILED AND RECORDED IN
PUBLIC RECORDS OF
ST. JOHNS COUNTY, FLA.

90 JUN 29 PM 4:10

Paul "Buck" Minter
CLERK OF CIRCUIT COURT



St. Johns County, FL

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[Tax Estimator](#)
[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 1967100000
Location Address 36 CHARLOTTE ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CITY COMM/HISTORICAL (610.03)
Tax Description* CITY OF ST AUGUSTINE LOT 10 BLK 8 OR680/226 & 227 & 861/939
 *The Description above is not to be used on legal documents.
Property Use Code Nightclubs, Cocktail Lounges & Bars (3300)
Subdivision City of St Augustine
Sec/Twp/Rng 18-7-30
District City of St Augustine (District 452)
Millage Rate 20.2171
Acreage 0.090
Homestead N

View Map

Owner

Owner Name E M A Inc 100%
Mailing Address 15 DOLPHIN DR
 SAINT AUGUSTINE, FL 32080-4530

Valuation

Building Value	2018
Extra Features Value	\$39,556
Total Land Value	\$1,693
Agricultural (Assessed) Value	\$178,464
Agricultural (Market) Value	\$0
Just (Market) Value	\$0
Total Deferred	\$219,713
Assessed Value	\$0
Total Exemptions	\$219,713
Taxable Value	\$0
	\$219,713

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$37,523	\$1,693	\$178,464	\$0	\$0	\$217,680	\$214,997	\$2,683	\$214,997
2016	\$39,399	\$1,693	\$162,240	\$0	\$0	\$203,332	\$195,452	\$7,880	\$195,452
2015	\$47,896	\$0	\$131,820	\$0	\$0	\$179,716	\$177,684	\$2,032	\$177,684
2014	\$29,711	\$0	\$131,820	\$0	\$0	\$161,531	\$161,531	\$0	\$161,531
2013	\$30,735	\$0	\$131,820	\$0	\$0	\$162,555	\$162,555	\$0	\$162,555
2012	\$32,272	\$0	\$131,820	\$0	\$0	\$164,092	\$164,092	\$0	\$164,092
2011	\$36,154	\$0	\$150,480	\$0	\$0	\$186,634	\$186,634	\$0	\$186,634
2010	\$37,266	\$0	\$167,200	\$0	\$0	\$204,466	\$204,466	\$0	\$204,466

Building Information

Building 1

Roof Structure Wood Truss

Actual Area 1116
 Conditioned Area 1311
 Actual Year Built 1965
 Use Nightclubs, Cocktail Lounges & Bars
 Style 04
 Class N
 Exterior Wall Stucco, Wood Shingle

Roof Cover Clay Tile
 Interior Flooring Pine Wood
 Interior Wall Plaster
 Heating Type Air Duct
 Heating Fuel
 Air Conditioning Central
 Baths

Category	Type	Pct
Exterior Wall	Wood Shingle	25%
Exterior Wall	Stucco	75%
Roofing Structure	Wood Truss	100%
Roofing Cover	Clay Tile	100%
Interior Walls	Plaster	100%
Interior Flooring	Pine Wood	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	10 Fixtures	100%
Electrical	Average	100%
Foundation	Piers and Posts	100%
Insulation	2" Fiberglass	100%
Floor System	Wood Frame	100%
Condition	Poor	100%

Description	Conditioned Area	Actual Area
1.5 STORY	1311	874
PATIO	0	242
Total SqFt	1311	1116

Extra Features

Code Description	BLD	Length	Width	Height	Units
Handicap Ramp	0	0	0	0	135

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Nightclubs, Cocktail Lounges & Bars	38	110	4056	SF	\$178,464

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	6/1/1990	\$0.00		861	939	U	I		EMA INC
	6/1/1990	\$195,000.00		861	939	Q	I		
	7/1/1985	\$0.00		680	227	U	I		
	7/1/1985	\$0.00		680	226	U	I		

Area Sales Report

Recent Sales in Area

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

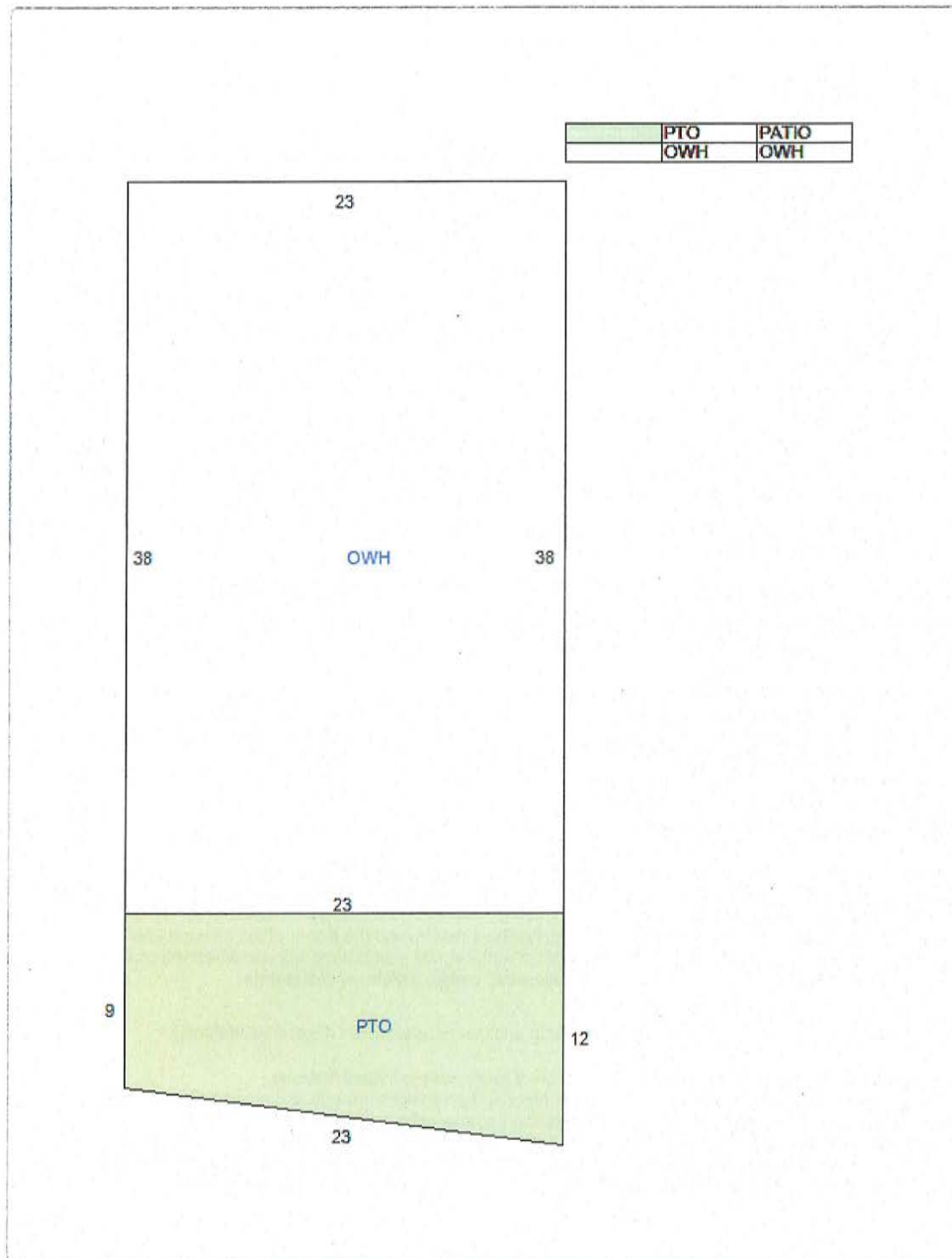
Tax Estimator

[Tax Estimator](#)

Map



Sketches



No data available for the following modules: Exemptions.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

Last Data Upload: 10/22/2018, 10:08:11 AM

Developed by
 **Schneider**
GEOSPATIAL

COMPLETENESS REVIEW CHECKLIST

A Certificate or Opinion of Appropriateness application and related plans shall be submitted for review and approval by the Historic Architectural Review Board for exterior alterations and new construction associated with any building in designated historic preservation zoning districts (HP-1 through HP-5). In addition, a Certificate of Appropriateness shall be required for any proposed work on buildings immediately adjacent and in view of historic preservation zoning districts HP-1, HP-2, and HP-3. All proposed work items shall be reviewed for consistency and compliance with the 2011 edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. Copies of this document are available for a fee upon request and on the website at: http://www.staugustinegovernment.com/your_government/documents/AGHP2.pdf

Relevant information necessary for Certificate or Opinion of Appropriateness review shall include but not be limited to the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Architectural Guidelines for Historic Preservation*. The minimum application requirements for each scope of work are indicated below. Discuss the project with Planning Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal or will be advertised as incomplete and may be delayed. Minor details may be submitted up to 10 days before the meeting to the Planning and Building Department and HARB will determine if additional materials may be presented at the meeting.

INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

The below is a list of requirements based upon the scope of work. To be completed by planning staff

ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing roof and affected features
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only)

EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing surface or feature including close-up and full building perspective
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing the siding, finish, or feature and the extent of the affected area
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture

PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.

AWNING/CANOPY

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing awning/canopy or location of proposed awning/canopy
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the façade
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing the existing awning/canopy and the extent of the affected area

EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Photographs of existing door(s) or location of proposed new door opening(s)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	For new openings, a scaled wall section
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Documentation of justification for changing the existing door(s) and the extent of the affected area.

CONTINUED

The below is a list of requirements based upon the scope of work. (To be completed by planning staff)

WINDOWS (windows, shutters, and other associated features)

- | OK | Need | N/A | |
|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | For new openings, a scaled wall section with proposed window |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

FOUNDATION (replacement, infill, alteration including elevation)

- | OK | Need | N/A | |
|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

EXTERIOR ELECTRICAL/MECHANICAL (light fixtures, vents, utilities, pool systems, vending)

- | OK | Need | N/A | |
|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building |

FENCES/WALLS/GATES

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|--------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed fence/wall/gate and detail photo of any existing fence/wall/gate |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section |

PARKING, LANDSCAPE OR OTHER SITE FEATURE (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing |

NEW CONSTRUCTION (accessory structure/outbuilding, garage, and other new buildings)

- | OK | Need | N/A | |
|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled site plan showing the property line and proposed construction |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled landscape plan |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Wall sections |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Refer to required details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code |

❖ Other details necessary for review:

*Also, need
Need to verify the materials of the trellis, as well as
photographs of existing site*

Project number: 2018-0141 Project Address: 36 Charlotte St.
Reviewed by: Kelli Mitchell Date: _____



City of St. Augustine



St. Augustine, Florida
Nation's Oldest City

Planning/Building

October 26, 2018

Martin Gould
50 Charlotte Street
St. Augustine, Florida 32084

RE: Project Street Address 36 Charlotte

Mr. Gould:

Please accept this letter as acknowledgement of your application to the Historic Architectural Review Board meeting scheduled for November 15, 2018. The meeting is scheduled to begin at 1:00 in the Alcazar Room at 75 King Street.

Additionally, this letter notifies you of the sufficiency of your application. The building owner's signature is required for any formal action to be taken on the application and should be given to staff as soon as possible. The checklist from the application form is also included and was used to review the documents provided with your application. The formal staff evaluation of the proposed project may recommend additional materials and/or include conditions associated with the staff recommendation. The HARB may request additional information during the course of the public hearing.

Additional materials will be accepted in the Planning and Building Department only up to 10 days before the meeting as per Resolution 2010-09. After that, the HARB has the discretion whether or not to consider any other additional materials presented at the meeting and your application may be continued because of its incomplete status, if applicable.

I look forward to reviewing your application in more detail. A copy of the staff report will be mailed to you at the address provided on the application and if you do not receive it before the week of the meeting please contact our department to obtain a copy.

Sincerely,

Kelli Mitchell

Historic Preservation Planner

IMPORTANT NOTICE: Now that the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the code. Costs associated with legal notice will be assessed by the city and must be paid prior to the issuance of any development permit. Costs associated for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing will also be assessed to the applicant.



City of St. Augustine



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Nation's Oldest City

Planning/Building

October 26, 2018

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Sincerely,

Kelli Mitchell

Kelli Mitchell

Historic Preservation Planner

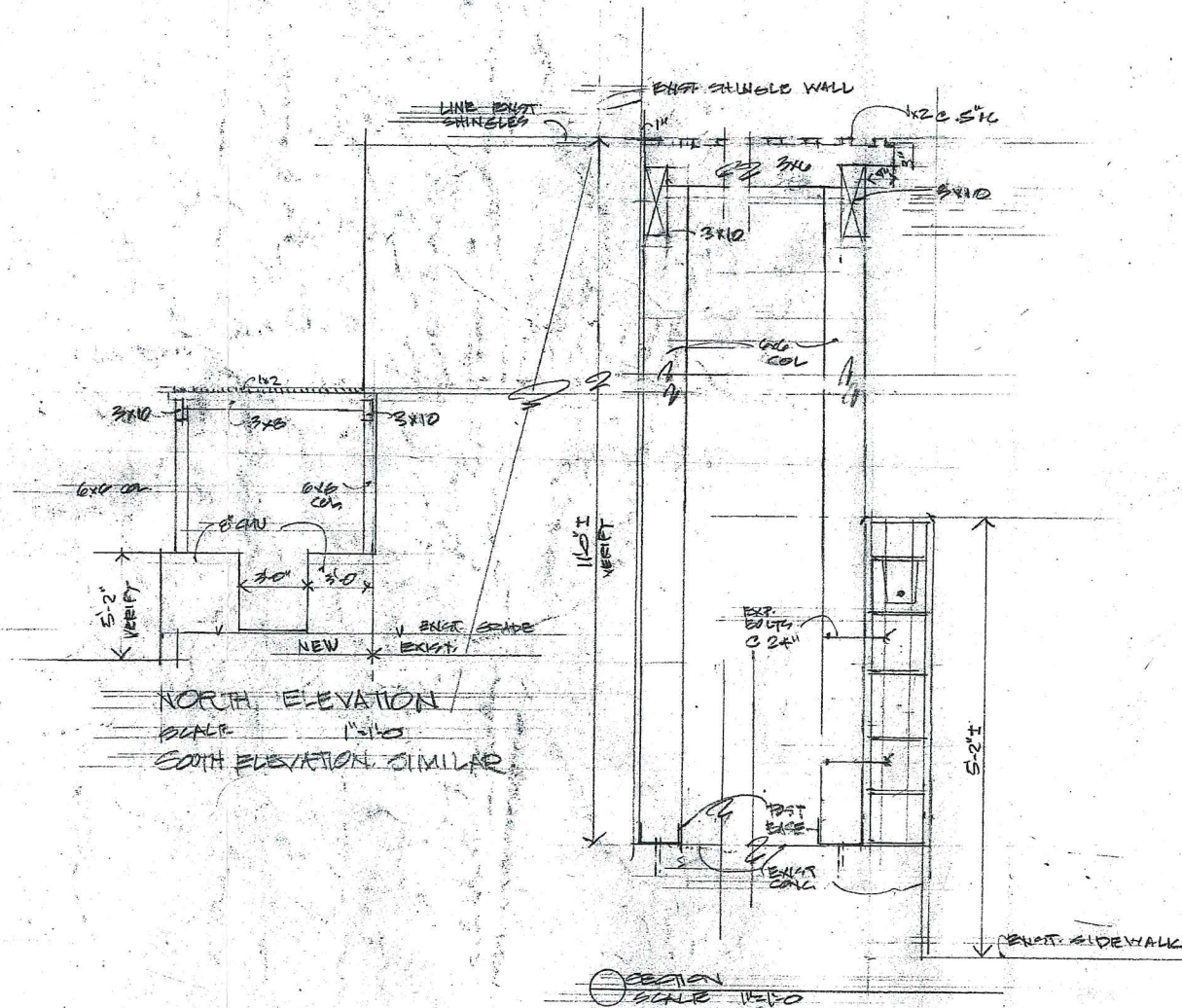
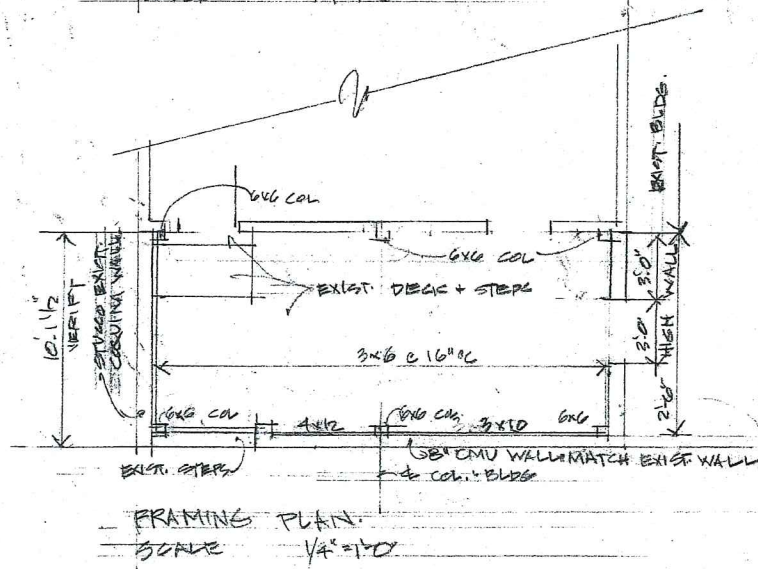
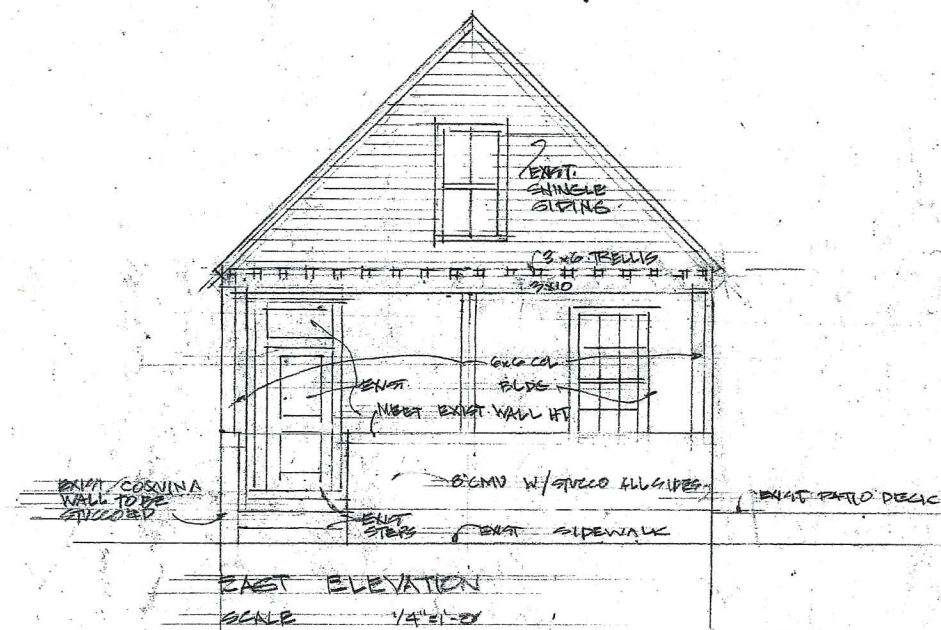
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RECEIVED

OCT 19 2018

Planning / Building Dept.



SPECIFICATIONS

1. DESCRIPTION OF WORK: WORK GENERALLY CONSISTS OF THE FOLLOWING:
 A. REMOVE EXIST. FENCE FAIL EXIST.
 B. INSTALL NEW TRELLIS LOW WALL
 ALL AS SHOWN & SPECIFIED
 2. GENERAL CONDITIONS: CONTRACTOR SHALL FURNISH ALL LABOR & MATERIAL NECESSARY FOR A COMPLETE JOB. CONTRACTOR IS RESPONSIBLE FOR VERIFYING SITE & VERIFYING ALL CONDITIONS PRIOR TO BEGINNING WORK. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES & LAWS WHICH PRECEDENT OVER THESE DRAWINGS & SPECIFICATIONS. ALL WORK SHALL BE OF THE BEST QUALITY. CONTRACTOR SHALL OBTAIN ALL NECESSARY INSURANCE & BE ABLE TO SHOW PROOF OF SAME. ALL WORK TO BE GUARANTEED FOR ONE YEAR FROM DATE OF CERTIFICATE OF OCCUPANCY UNLESS OTHERWISE NOTED. AT CONCLUSION OF WORK JOBSITE SHALL BE LEFT FREE OF DEBRIS & DEBRIS REMOVED. CONTRACTOR SHALL COORDINATE WORK OF ALL TRADES & CAUSE AS LITTLE INCONVENIENCE TO OWNER & NEIGHBORS AS POSSIBLE.

3. REMOVALS: REMOVE AS NECESSARY FOR NEW WORK. REPAIR EXISTING SURFACES AFFECTED BY NEW WORK & PATCH TO MATCH ADJACENT SURFACES.

4. CONCRETE: MASONRY UNITS SHALL CONFORM TO ASTM C-90. MORTAR SHALL BE TYPE M OR S.

5. CARPENTRY: ALL WOOD TO BE PRESSURE-TREATED.

6. STUCCO: TO BE 2 COAT WORK & MATCH EXISTING.

7. PAINTING: PAINT TO BE SHERWIN-WILLIAMS BENJAMIN MOORE OR EQUIT. NEW WOOD: 1 COAT LATEX PRIMER & 2 COATS LATEX SEMI-GLOSS ENAMEL.

8. NEW STUCCO: 1 COAT LATEX PRIMER & 2 COATS LATEX FLAT ENAMEL. 2. COATS TO MATCH EXIST.

RECEIVED

OCT 19 2018

Planning/Building Dept.

INSTALL TRELLIS WALL
 EXISTING JAZZ CLUB
 24 CHARLOTTE STREET
 ST AUGUSTINE, FLORIDA



MARTIN F. GOULD
 architect

50 CHARLOTTE STREET
 ST. AUGUSTINE
 FLORIDA
 32084

AR0006263

DATE 10/10/18 DRAWN BY [signature] SHEET NO.

FLOOR PLAN

SECTION

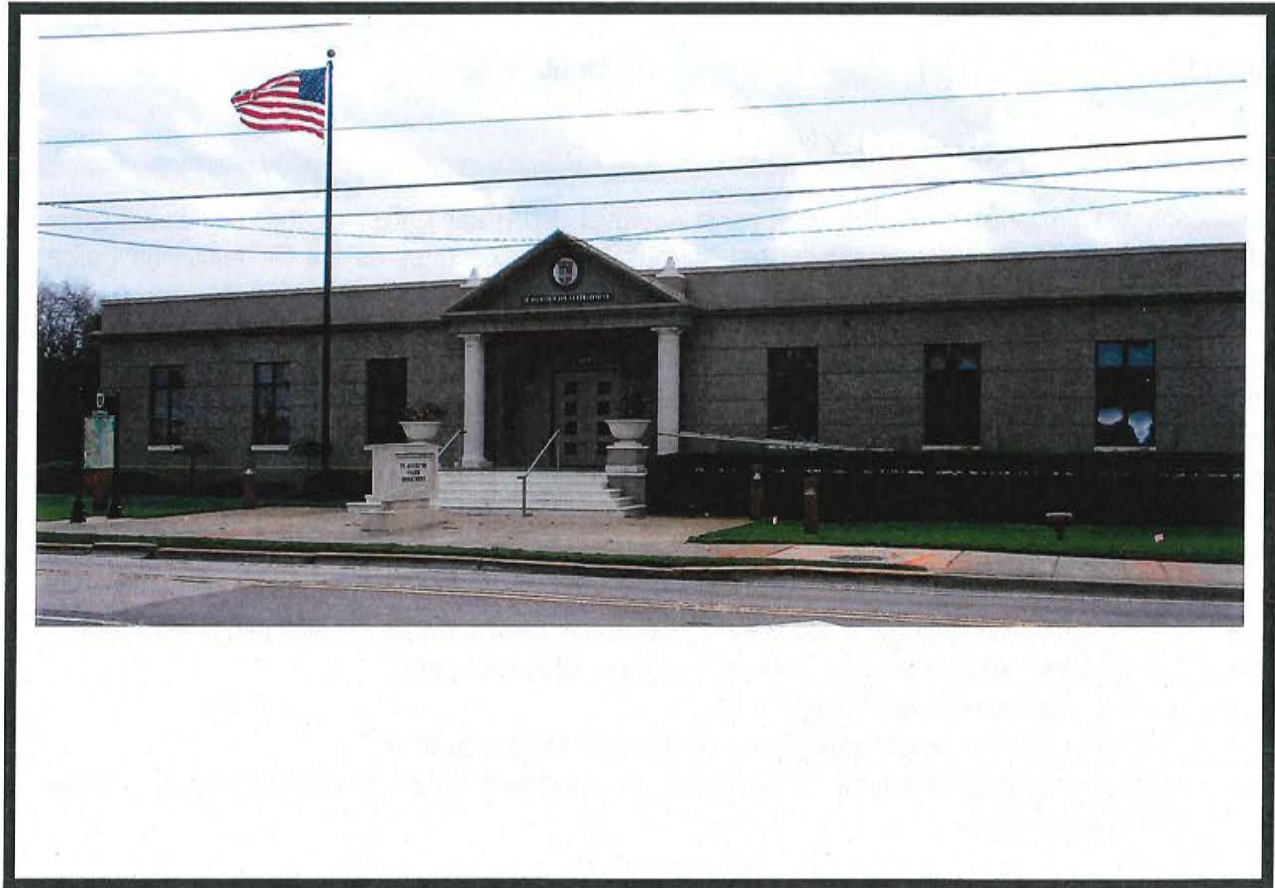
DETAILS

1 of 1



CITY OF
ST AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for November 15, 2018 Meeting



Application F2018-0148 Address: 151 King Street

City of St. Augustine Police Department, Applicant

City of St. Augustine, Owner

Project description: To install color LED light fixtures.

Architectural Style: N/A	Florida Master Site File: N/A
National Register: N/A	Construction date: 1993
Archaeology Zone: N/A	Zoning District: CL-2
Parcel number: 202260 0000	Typology: Institutional
Agenda Item: 11(a)	Previous Action(s): N/A

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Preliminary Design Approval (PDA) application for the King Street Entry Corridor for the property which is categorized "Institutional" and operates as the St. Augustine Police Department.

Staff cannot issue administrative approval for this feature as it is not consistent with type of lighting identified in the current Design Standards (accent lighting like white lights for Nights of Lights) and the proposed King Street Design Standards state color LED lighting must be approved by the board. In either source, HARB approval is required and staff applied the Preliminary Design Approval application process.

- Color LED lights are proposed for the police department to use to raise community awareness during awareness campaigns
- A sample light was provided to the Planning Department and shown in the attached photographs
- The unit label indicates it is 60w power in a range of RGB color bands
- The unit measures approximately 9" x 11"
- The building is not a historic building nor is a proposed legacy building
- HARB should discuss the impact of the project in terms of the impact on the building, property, and/or King Street corridor

STAFF RECOMMENDATION:

The Preliminary Design Approval requires a finding by HARB and does not include a staff recommendation because the purpose is to direct staff in subsequent administrative reviews. Therefore, HARB should evaluate this application for conformance with the below and determine if the application can proceed with an administrative level of review:

- 1. The project meets the intent of the Design Standards**
- 2. The project meets the standards for the associated urban design typology**
- 3. The project meets the character of the specific corridor where the project is located**


Jenny Wolfe, MS Architectural Studies
Historic Preservation Officer

CITY CODES/DESIGN GUIDELINES:

CITY OF ST. AUGUSTINE CODE OF ORDINANCES

Sec. 28-353. - Design standards for entry corridors.

The Design Standards for Entry Corridors, as originally prepared by Herbert-Halback, Inc., dated January 24, 2000, and subsequently amended by resolution from time to time ("DSEC standards"), are hereby adopted and incorporated herein by reference. All new construction and site development within the entry corridors, excluding work within right-of-way, shall conform to these standards unless a variance is granted pursuant to the criteria enumerated in the DSEC standards. Any change in the use of a parcel of property shall require that the site, excluding buildings and facilities, be developed to conform to these standards, unless technically infeasible. Each element or space of a building or facility that is altered shall comply with these standards, unless technically infeasible.

DESIGN STANDARDS FOR ENTRY CORRIDORS

URBAN DESIGN TYPOLOGY

3.2.1 Architectural Styles and Periods

This section is a general guide to the predominant architectural styles found in the corridors. The purpose is not to direct the style of new construction, but to provide a sense of the building's relationship with the site, general features, architectural form, and building details.

To preserve our architectural heritage and protect the authenticity of historic structures, one must acknowledge each building as a product of its own place and time. The styles of existing buildings, become form givers for the development of the urban design typologies previously identified.

Institutional Styles

Several institutional buildings are located within the King and San Marcos Avenue Corridor. These include Romanesque Revival, Italian Renaissance Revival, Mission and Classical Revival Styles.

3.4.9 Lighting

General Conditions

- Lighting shall be compatible with architectural design.
- No exposed exterior light is to be used. No lights are to glare directly at the right-of-way.
- Accent lighting applied for the Night of Lights celebration are to be installed and used following the same rules and regulations as required within the historic preservation district of St. Augustine. This regulation also includes the period of operation, which is from November through February.
- Permanent accent lighting designed to accentuate building details is encouraged.
- Exposed interior and exterior fluorescent bulbs that are visible from the public right-of-way are not allowed.
- No neon lighting shall be attached to the building exterior to accentuate building frame, profiles or details.
- Neon lighting shall be used as signs only.

****KING STREET DESIGN STANDARDS FOR ENTRY CORRIDORS** Draft only**

5.6. Site and Building Lighting

Acceptable lighting on the site may include lights on the exterior of a building, up or down lighting shining on buildings or trees, and parking lot pole lighting.

- a. Lighting fixtures on the building shall be compatible with the architecture of the building.
- b. Full cut-off lighting fixtures shall be used for all exterior lighting. No lights are to glare directly at the right-of-way or the sky and no source of illumination shall be visible from a residential district.
- c. Permanent accent lighting designed to accentuate building details is encouraged.
- d. Exposed interior and exterior fluorescent or incandescent bulbs that are visible from the public right-of-way are not allowed. Only exterior cut sheets shall be required for submittal.
- e. Color LED and/or neon may be used as architectural lighting to accentuate building frame, profiles or details, with Corridor Review Committee approval.

DSEC F2018-0148
151 King Street
November 15, 2018

LIST OF ATTACHMENTS:

1. Staff photographs

CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION



- ☒ **PRELIMINARY DESIGN APPROVAL FOR THE
DESIGN STANDARDS FOR ENTRY CORRIDORS**
☐ **AMENDMENT TO ASSIGNED TYPOLOGY**

Application Fee: \$200.00 PDA (\$250.00 with amendment) BDAC Project No. _____

Receipt No. N/A

Meeting Date: November 15, 2018

Advertising Costs \$ _____

Paid on _____

Receipt No. _____

1. NAME OF APPLICANT City of St. Augustine Police Department
Business (if applicable) _____
Address 151 King Street
City St. Augustine State FL Zip Code 32084
Daytime telephone _____ Other phone/email _____
2. NAME OF PROPERTY OWNER City of St. Augustine
Business (if applicable) _____
Address 75 King Street
City St. Augustine State FL Zip Code 32084
Daytime telephone (required) _____ Other phone _____
3. PROJECT STREET ADDRESS 151 King Street
4. LEGAL DESCRIPTION: Lot _____ Block _____ Subdivision _____ Parcel _____
5. EXISTING USE N/A PROPOSED USE N/A
6. ENTRY CORRIDOR: ☐ ANASTASIA ☒ KING ☐ SAN MARCO
7. TYPOLOGY: ☐ RESIDENTIAL ☒ INSTITUTIONAL ☐ TRADITIONAL COMMERCIAL ☐ MIXED
8. PROPOSED PROJECT WORK:

A. DEMOLITION: Buildings and architectural features that are 50 years old or older, listed on the Florida Master Site File, or which have been designated as an historical landmark require a Certificate of Demolition application to be filed separately.

☐ Yes ☒ No

- B. ☐ New construction on a vacant or redeveloped site exceeding 500 square feet
☐ New construction on an existing site which meets or exceeds the size of the existing lot coverage
☐ New construction that includes parking structures or parking canopies
☐ Construction on Anastasia Boulevard meeting one or more criteria in Section 4.3.1

C. PROJECT DESCRIPTION:

Install x# 60w color/LED lighting units to provide uplighting on the building in association with designated awareness events.

Complete #9 only if seeking an amendment to the assigned typology

9. AMENDMENTS TO THE ASSIGNED TYPOLOGY MAY BE MADE IN UNIQUE AND LIMITED CASES ONLY:

- A. PROPOSED: ☐ RESIDENTIAL ☐ INSTITUTIONAL ☐ TRADITIONAL COMMERCIAL ☐ MIXED
- B. DESCRIBE HOW THE ARCHITECTURAL OR HISTORIC CHARACTER OF THE EXISTING BUILDING AND LOT CONFIGURATION, THE ARCHITECTURAL CHARACTER OF THE EXISTING HISTORIC BUILDING(S) ON THE SAME SITE, OR THE HISTORIC AND ARCHITECTURAL CHARACTER OF THE CORRIDOR WILL BE ENHANCED WITH THE PROPOSED TYPOLOGY:

- C. DESCRIBE HOW THE PROJECT PRESERVES EXISTING HISTORIC RESOURCES AND IS COMPATIBLE WITH THESE RESOURCES, IF APPLICABLE:

Note that any approved change in typology will be associated with the approved development plan (PDA) and if the development plan fails to be constructed the typology will revert to the previously assigned typology.

10. AGREEMENT

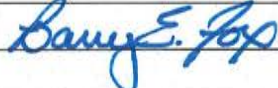
If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME Barry E. Fox, Chief of St. Augustine Police Department

SIGNATURE OF APPLICANT  DATE 10/25/2018

PRINT OWNER'S NAME _____

SIGNATURE OF OWNER _____ DATE _____

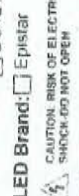
Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

LED FLOOD LIGHT

Power: ☐ 10W ☐ 20W ☐ 30W ☐ 40W ☐ 50W
☐ 60W ☐ 70W ☐ 80W ☐ 100W ☐ 120W
☐ 140W ☐ 150W ☐ 160W ☐ 200W ☐ 220W
☐ 300W ☐ 400W

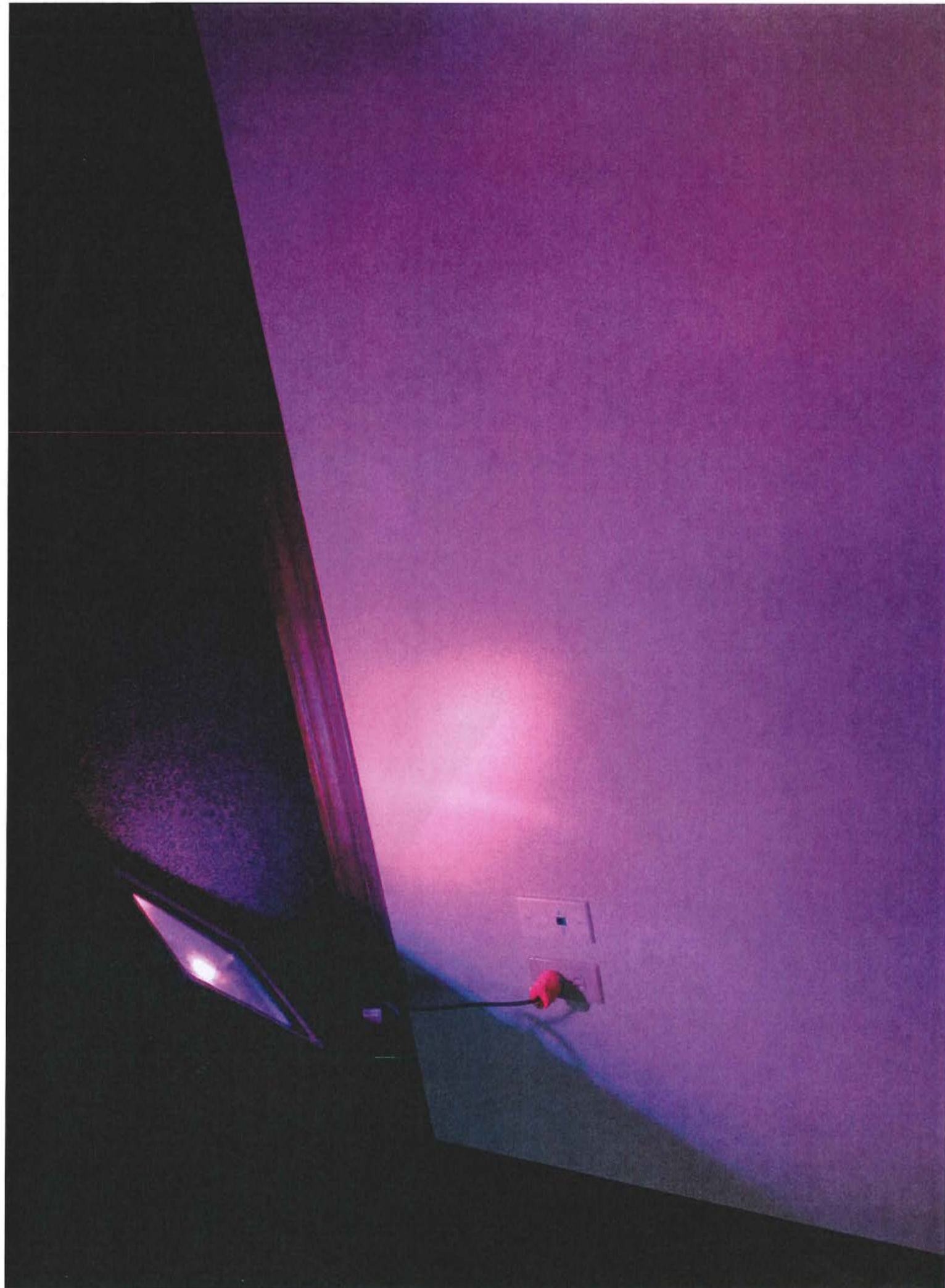
Color Temperature: ☐ WW ☐ NW ☐ CW ☐ RGB ☐ PIR
Input Voltage: ☒ AC100-240V ☐ AC100-277V ☐ 50/60Hz
☐ DC12V ☐ DC24V

LED Brand: ☐ Epistar ☐ Bridgelux ☒ Epileds
CAUTION: RISK OF ELECTRIC SHOCK-DO NOT OPEN













COMPLETENESS REVIEW CHECKLIST

A Preliminary Design Approval/Amendment Typology application and related plans shall be submitted as required for review and approval by the Historic Architectural Review Board for exterior alterations and new construction associated with any property in a designated entry corridor area (Anastasia Boulevard, King Street, San Marco Avenue). All proposed work items shall be reviewed for consistency and compliance with the Design Standards for Anastasia Boulevard or Design Guidelines for Entry Corridors as applicable. Please consult our website for digital versions of these documents or visit the Planning and Building Department to view a hardcopy during business hours. Relevant information necessary for this application shall include but not be limited to the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section of the Design Standards. The minimum application requirements for each scope of work are indicated below. Discuss the project with Planning Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal or will be advertised as incomplete and may be delayed. Minor details may be submitted up to 10 days before the meeting to the Planning and Building Department and HARB will determine if additional materials may be presented at the meeting.

☐ INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

The below is a list of requirements based upon the scope of work. To be completed by planning staff

OK	Need	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	PHOTOGRAHS OF ANY EXISTING CONDITIONS (SITE, BUILDING, FEATURES)
ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)			
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled drawing of existing and proposed conditions
EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)			
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled drawing of existing and proposed conditions
PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)			
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
AWNING/CANOPY			
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed awning/canopy
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)			
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed door
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> For new openings and new construction include a scaled wall section
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, hardware
WINDOWS (windows, shutters, and other associated features)			
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> For new openings and new construction include a scaled wall section with proposed window
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location
FOUNDATION (replacement, infill, alteration including elevation)			
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details

CONTINUED

The below is a list of requirements based upon the scope of work. (To be completed by planning staff)

EXTERIOR ELECTRICAL/MECHANICAL (light fixtures, vents, utilities, pool systems, vending)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building |

FENCES/WALLS/GATES

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section |

PARKING, LANDSCAPE OR OTHER SITE FEATURE (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Irrigation plan |

NEW CONSTRUCTION

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled landscape plan |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Wall sections |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Refer to required details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints |

❖ Other details necessary for review:

Project number: _____ Project Address: _____

Reviewed by: _____ Date: _____



St. Johns County, FL

Quick Links

[My Tax Bill](#)
[Tax Estimator](#)
[Proposed Hx](#)

2018 TRIM Notice

[2018 TRIM Notice](#)

2017 TRIM Notice

[2017 TRIM Notice](#)

Summary

Parcel ID 2022600000
Location Address 151 KING ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CITY/KING STREET (610.19)
Tax Description* CITY OF ST AUG W286FT OF BLK 46-D (EX E 100FT) & W286FT OF VACATED LOREDA ST OR808/1653
 *The Description above is not to be used on legal documents.
Property Use Code Municipally Owned (8900)
Subdivision City of St Augustine
Sec/Twp/Rng 18-7-30
District City of St Augustine (District 452)
Millage Rate 20.2171
Acreage 1.200
Homestead N

View Map

Owner

Owner Name City Of St Augustine 100%
Mailing Address PO BOX 210
 SAINT AUGUSTINE, FL 32085-0210

Valuation

	2018
Building Value	\$996,358
Extra Features Value	\$11,315
Total Land Value	\$1,305,000
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$2,312,673
Total Deferred	\$0
Assessed Value	\$2,312,673
Total Exemptions	\$2,312,673
Taxable Value	\$0

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$1,026,100	\$7,857	\$1,305,000	\$0	\$0	\$2,338,957	\$2,190,728	\$2,338,957	\$0
2016	\$959,816	\$7,857	\$130,500,000	\$0	\$0	\$131,467,673	\$1,991,571	\$131,467,673	\$0
2015	\$986,853	\$7,857	\$130,500,000	\$0	\$0	\$131,494,710	\$1,810,519	\$131,494,710	\$0
2014	\$954,249	\$7,857	\$683,820	\$0	\$0	\$1,645,926	\$1,645,926	\$1,645,926	\$0
2013	\$979,696	\$7,857	\$683,820	\$0	\$0	\$1,671,373	\$1,671,373	\$1,671,373	\$0
2012	\$1,005,142	\$8,163	\$683,820	\$0	\$0	\$1,697,125	\$1,697,125	\$1,697,125	\$0
2011	\$1,030,589	\$8,470	\$756,900	\$0	\$0	\$1,795,959	\$1,795,959	\$1,795,959	\$0
2010	\$1,043,312	\$8,778	\$835,200	\$0	\$0	\$1,887,290	\$1,887,290	\$1,887,290	\$0

Exemptions

Exemption Type	Amount
City	\$2,312,673

Building Information

Building	1	Roof Structure	Rigid Frame
Actual Area	12355	Roof Cover	Built Up
Conditioned Area	10905	Interior Flooring	Carpet, Ceramic Tile
Actual Year Built	1993	Interior Wall	
Use	Government Buildings	Heating Type	Air Duct
Style	04	Heating Fuel	
Class	N	Air Conditioning	Central
Exterior Wall	Concrete Block	Baths	

Category	Type	Pct
Exterior Wall	Concrete Block	100%
Roofing Structure	Rigid Frame	100%
Roofing Cover	Built Up	100%
Interior Flooring	Carpet	50%
Interior Flooring	Ceramic Tile	50%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Masonry	100%
Plumbing	21 Fixtures	100%
Electrical	Good	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Concrete Slab	100%
Condition	Good	100%

Description	Conditioned Area	Actual Area
BASE AREA	10905	10905
F GARAGE	0	1026
MASN UTILI	0	144
PATIO	0	280
Total SqFt	10905	12355

Extra Features

Code Description	BLD	Length	Width	Height	Units
Metal Fence 6'	0	0	0	0	428
CONC PAV 4	0	0	0	0	2000
2 ASPH 2BS	0	0	0	0	19000
Stops	0	0	0	0	31
Pole Light	0	0	0	0	56
Handicap Ramp	0	0	0	0	240

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Municipally Owned	0	0	52200	SF	\$1,305,000

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	1/1/1989	\$0.00		808	1653	U	V		CITY OF ST AUGUSTINE

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

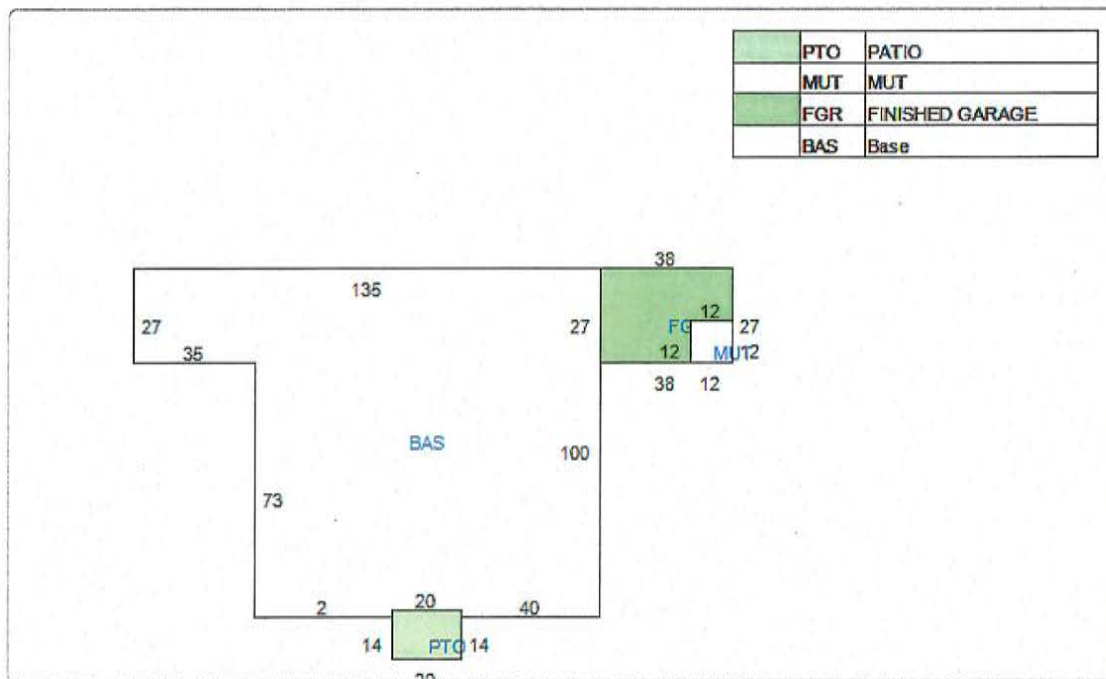
Tax Estimator

[Tax Estimator](#)

Map



Sketches



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